



**Village of Thiensville
Plan Commission
AGENDA**

Date:
Tuesday, November 11, 2025

LOCATION: 250 Elm Street, Thiensville, WI

Time: 6:00 PM

I. CALL TO ORDER

II. ROLL CALL

Chairman

John Rosing

**Director of Community
Services/Public Works**

Andy LaFond

Village Planner

Meredith Perks

Commissioners

Dan Daly

Rebecca Holyoke-
Odeja

David Lange

Joe Nelson

M. Randy Pasternak

Jerry Schmitz

III. CITIZENS TO BE HEARD

A. Open to any resident or taxpayer on items not subject to a public hearing: Please be advised per §19.84(2), information will be received from the public. Village policy limits a three (3) minute time period per person, with time extension by the presiding official's discretion or a vote of 2/3 of the Board or Committee; be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments. Written comments on agenda items are encouraged to be sent and addressed to the intended body by noon on the day of the meeting. Comments received timely will be forwarded to all members of the body. If you wish to speak, you must pre-register by emailing the Village Clerk at clandisch@thiensville.gov by 4:00 PM on the day of the meeting or by signing in immediately prior to the meeting.

IV. APPROVAL OF MINUTES

A. October 14, 2025 (att)

V. BUSINESS

A. Review and Action Regarding Front Stoop Removal and the Addition of a Front Porch and Deck at 517 Bel Aire Dr. (att)

B. Review and action regarding proposed floorplan and elevation updates and that the updated floorplan and elevation be added to the pre-approved housing styles subject to the Development Agreement at the Two Hundred Green subdivision (Lakeside Development), with the following conditions: (att)

1. The proposed floor plan and elevation may only be permitted on Lots 11, 12, and 13 as illustrated by the developer.
2. The developer must construct more than one of the proposed floorplans to avoid a one-off anomaly in the development.

VI. STAFF REPORT

A. October, 2025 (att)

VII. ADJOURNMENT



VILLAGE OF THIENSVILLE
Plan Commission
MINUTES

DATE: Tuesday, October 14, 2025

LOCATION: 250 Elm Street, Thiensville, WI

TIME: 6:00 PM

I. CALL TO ORDER

Chairman Rosing called the meeting to order at 6:00 PM.

II. ROLL CALL

Chairman

John Rosing

Director of Community Services/Public Works

Andy LaFond

Village Planner

Meredith Perks

Commissioners

Dan Daly

Rebecca Holyoke-Odeja (Excused)

David Lange

Joe Nelson

M. Randy Pasternak

Jerry Schmitz (Excused)

III. CITIZENS TO BE HEARD

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None.

IV. APPROVAL OF MINUTES

A. September 9, 2025 (att)

MOTION to approve by Commissioner Lange **SECONDED** by Commissioner Nelson. **MOTION CARRIED UNANIMOUSLY.**

Aye: 5

No: 0

Abstain: 0

V. BUSINESS

A. Review and Action Regarding Shed Project at 315 Grand Ave (att)

Applicant Taylor Englund presented the shed project to the Commission and clarified that the shed's color would be charcoal.

MOTION to Approve Shed Project at 315 Grand Ave by Commissioner Nelson **SECONDED** by Commissioner Pasternak. **MOTION CARRIED UNANIMOUSLY.**

Aye: 5

No: 0

Abstain: 0

B. Review and Action Regarding a Certified Survey Map to Split the Parcel at 112 Ellenbecker Road (att)

Planner Perks explained the intention and reasoning behind the Certified Survey Map to the Commission and stated that the parcel split was recommended by staff.

The parcel owner, Jim Desmond, clarified that there are no current plans for the split parcel, but that the intention is to develop it in the future, within the requirements of R-2 residential zoning.

MOTION to Recommend a Certified Survey Map to Split the Parcel at 112 Ellenbecker Road by Commissioner Lange **SECONDED** by Commissioner Pasternak. **MOTION CARRIED UNANIMOUSLY.**

Aye: 5

No: 0

Abstain: 0

C. Presentation and Action Regarding Architectural and Site Plan for TIF #2 Development at 301 N Main Street - Heimat Capital, LLC (att)

Joe Lak and Jim Sedgwick of the Heimat Group presented the current site plan for 301 N Main

Street to the Commission.

Mr. Lak highlighted some details in the site plan. These details included the inclusion of roughly one parking space per bedroom, projected rental prices ranging from \$1,680 for studio units to \$2,900 for two-bedroom units, the materials to be used in the project, and a reduction of hard surfaces alongside an increase in green space at the site.

The project timeline is estimated to be 14–15 months, with Spring 2027 as the target completion timeframe.

Commissioner Lange inquired if there were any additional easements that the Heimat Group needed to attain at this time. Mr. Lak answered that there are ongoing negotiations with We Energies regarding the parking area of the site.

Commissioner Pasternak inquired about the underground parking structure, specifically regarding the support beams and parking space size. Mr. Lak explained that the parking stall width was a standard 8 feet and that the structure had been designed in a modular fashion to ensure adequate turn radius and spacing.

Commissioner Lange questioned what the expectations were of the Village in terms of snow removal at the site. Heimat Group will be responsible for all snow removal.

Chairman Rosing inquired about the height of the finished structure in comparison to the neighboring condo development. Mr. Lak replied that the 301 N Main St structure would be within 3–5 feet of the height of the condo units.

Commissioner Lange inquired whether water connections had been made to the site, and Director LaFond explained that water connections had already been extended to the site.

MOTION to Recommend Architectural and Site Plan for TIF #2 Development at 301 N Main Street - Heimat Capital, LLC, with Staff Conditions Outlined in Planner's Memo by Commissioner Lange **SECONDED** by Commissioner Daly. **MOTION CARRIED UNANIMOUSLY.**

Aye: 5

No: 0

Abstain: 0

D. Review and Action Regarding a Request to Change the Zoning of Parcel Numbers 120500224001, 120500224002, 120500224003, and 120500224005, from B-4 Highway Business District to CMU Central Mixed Use for TIF #2 Development at 301 N Main Street - Heimat Capital, LLC (att)

MOTION to Recommend a Request to Change the Zoning of Parcel Numbers 120500224001, 120500224002, 120500224003, and 120500224005, from B-4 Highway Business District to CMU Central Mixed Use for TIF #2 Development at 301 N Main Street - Heimat Capital, LLC by Commissioner Nelson **SECONDED** by Commissioner Pasternak. **MOTION CARRIED UNANIMOUSLY.**

Aye: 5

No: 0
Abstain: 0

VI. STAFF REPORT

A. October, 2025 (att)

VII. ADJOURNMENT

MOTION to Adjourn at 6:55 PM by Commissioner Lange **SECONDED** by Commissioner Pasternak. **MOTION CARRIED UNANIMOUSLY.**

Aye: 5

No: 0

Abstain: 0

Submitted by,

Ben Honeck
Deputy clerk

Signed by,

Colleen Landisch-Hansen
Village Administrator/Clerk



**KUNKEL
517 BEL AIRE
FRONT PORCH AND DECK**

To: Thiensville Plan Commission	Prepared by: Andy LaFond, Director of Community Services
Date: November 11, 2025	
Applicant:	Turner & Jennifer Kunkel
Status of Applicant:	Homeowner
Location:	315 Grand Ave
Existing Zoning:	R-1 Single Family Residential District
Requested Action:	Approval of Front Porch and Deck

Report:

The applicants request approval to remove the existing front stoop and construct a new covered front porch and deck at their residence located at 517 Bel Aire Drive. The property is zoned residential and the proposed project meets all required setback standards. The new deck will extend approximately 6 feet 2 inches from the front of the home and span nearly the full width of the façade at roughly 39 feet. The structure will be supported by helical piles and 6x6 posts.

The proposed improvements include TimberTech composite decking in Brown Oak with Westbury aluminum railings in black fine texture. The porch roof will match the existing house pitch, incorporating a centered gable feature. Roofing will use Atlas StormMaster shingles in Black Shadow, with LP SmartSide wraps and trim in white to finish the posts and beams. The porch ceiling will feature white Vesta steel panels.

The project replaces the existing entry stoop with a full-width porch that includes a pitched roof and open deck area. The gable element and beam detailing are consistent with common residential porch construction, and the use of composite and engineered materials provides a durable, low-maintenance finish. The selected materials and color palette coordinate with the primary structure.

Staff finds the proposal consistent with applicable zoning, building, and design standards. Staff recommends approval of the proposed deck and porch roof at 517 Bel Aire Drive, subject to:

- The applicant secures a building permit prior to construction.

PLAN COMMISSION APPLICATION

Submission Information:

A complete application along with the appropriate fees shall be submitted by the deadline stated on the meeting schedule to the Village Clerk In order for an application to be considered complete, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. The applicant is responsible to pay planner charges after a first half hour of planner time. Owner, architect, builder or owner’s representative must attend the Plan Commission meeting for action to be taken. Work cannot begin until Plan Commission approval and paid and approved building permit.

Property Address: _____

 Tax Key #

 Current Zoning

Property Owner:

Applicant: Same as Owner

 Name

 Name

 Address

 Address

 Phone

 Phone

 Email Address

 Email Address

Project Description:

Please describe your project in detail. Include details about height and dimensions, color, materials used, and setbacks from the street and property lines. Provide any information that you believe will assist staff in reviewing and approving your request.



 Applicant Signature

 Date

Planner Fee Schedule: The Village provides the first half hour of the Village Planner’s services. Any additional plan review time is billed at \$130.00/hr.

Application Checklist: *Two paper copies and an electronic copy with files in PDF format (plan size 11X17) must be submitted for all applicable items below for planner review and the Plan Commission packet.*

- Submit scaled site plan with proposed location and setbacks with accurate dimensions indicating the property size, its relationship to surrounding properties, existing topography, key natural features and show the location of all existing and proposed:

<ul style="list-style-type: none"> A. Structures, showing all entrances B. Driveways & street access C. Parking areas D. Walkways E. Existing landscaping F. Abutting public and private streets G. Public easements H. Surrounding land uses and zoning I. Retaining walls J. Decorative accessories 	<ul style="list-style-type: none"> K. Dumpster location and screening L. Location, color, message, dimensions and materials of all signs M. Location, size and character of dedicated or private open space N. Location of sanitary sewer, storm sewer, water mains and services and storm water detention facilities O. Floor plan of building or addition
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- Storm water management plan.
- Completed building permit application (including two full size plan sets with state stamp for commercial and multi-family).
- Grading plan showing existing and finished grades.
- Professionally prepared landscape plan.
- Lighting plan; photometric plan, type of fixtures, wattage and location and height of lighting structures.
- Topographic data or pertinent grade elevations, if necessary, for proper remodeling of existing buildings showing finished exterior treatment.
- Colored elevations of proposed buildings, structures and fencing, or of proposed remodeling of existing buildings, showing finished exterior treatment and a listing of building materials.

Is this property in Thiensville’s Historic District? Yes No

If yes, you must apply for a Certificate of Appropriateness with the Historic Preservation Commission. Complete the COA application. Attendance at HPC meeting is required.

**All Commercial and Multi-Family projects including any change of occupancy, change of use, or construction/alteration must be submitted to the Southern Ozaukee Fire Department for review, approval, and inspections.*

Village Staff Review

Application Complete. Items needed: _____

Submitted to Village Planner on _____ Approved by planner on _____

Historic Preservation Approval (if needed) on _____

Additional Remarks/Conditions:

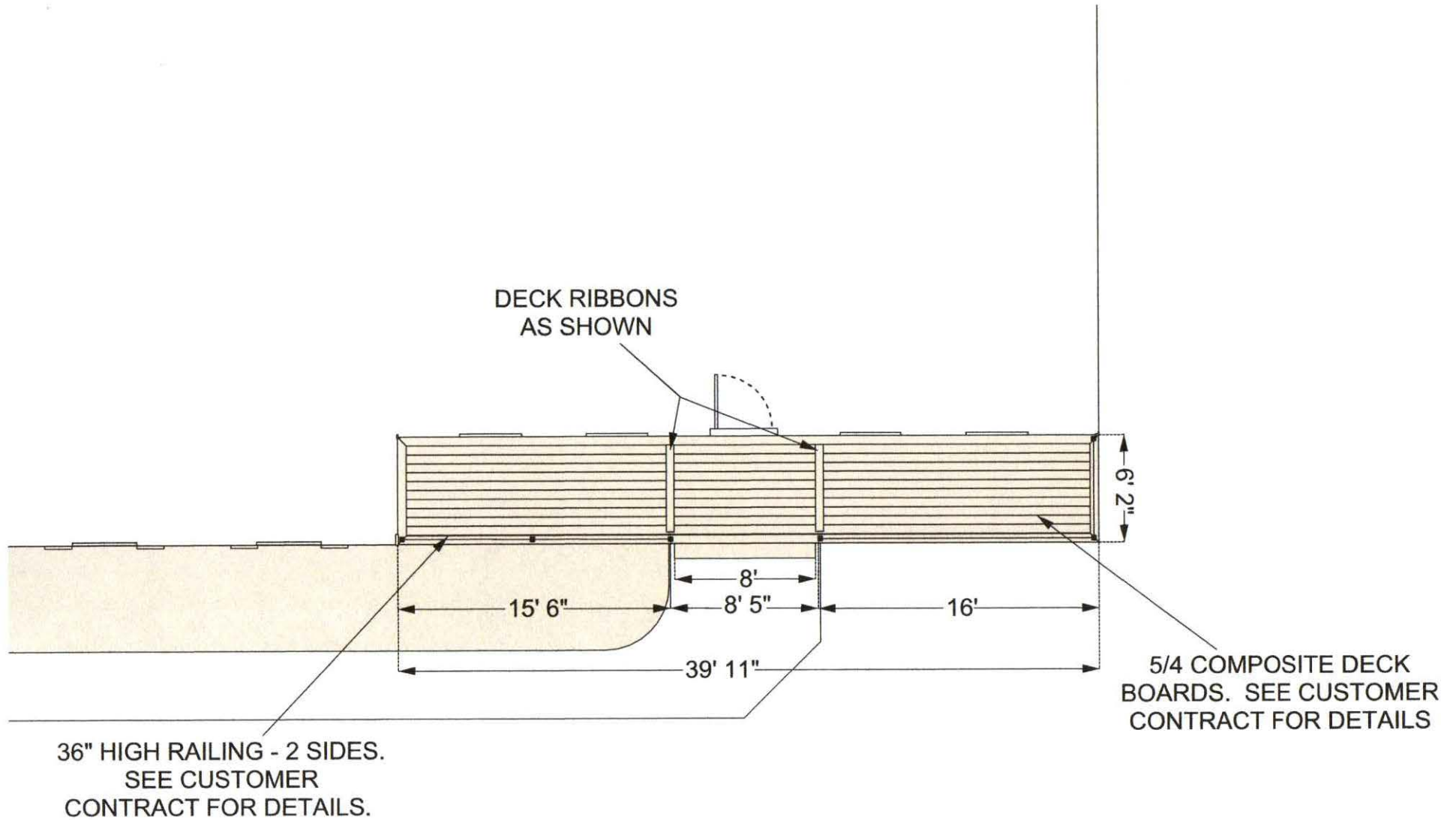
Village Staff Signature

Date

262-420-4732 SAFEbuilt	WI UNIFORM PERMIT APPLICATION WInspections@safebuilt.com <i>Inspections need to be called in by 4 pm for next business day inspections.</i>	PERMIT NO. _____ TAXKEY# 12																					
Village of THIENSVILLE	<input type="checkbox"/> TOWN <input checked="" type="checkbox"/> VILLAGE <input type="checkbox"/> CITY OF <u>Thiensville</u> COUNTY: <u>Ozaukee</u>	PROJECT LOCATION (Building Address) <u>517 Bel Aire DR. Thiensville, WI 53092</u>																					
PROJECT DESCRIPTION <input type="checkbox"/> COMMERCIAL <input checked="" type="checkbox"/> ONE & TWO FAMILY <u>install new deck w/ porch style roof above decking in existing footprint</u>																							
Owner's Name: <u>Turner Jennifer Kunkel</u> Mailing Address - Include City & Zip: <u>517 Bel Aire Dr. Thiensville, WI 53092</u> Telephone - Include Area Code: <u>303-668-8251</u>																							
Construction Contractor (DC Lic No.): <u>Siding Unlimited (DC-100400095)</u> Mailing Address - Include City & Zip: <u>605 Larry Ct. Waukesha, WI, 53186</u> Telephone - Include Area Code: <u>262-722-0737</u>																							
Dwelling Contractor Qualifier (DCQ Lic No.): <u>Eric Brown (DCQ-110700414)</u> Dwelling Contractor Qualifier shall be an owner, CEO, COB, or employee of Dwelling Contractor Telephone - Include Area Code: _____																							
Plumbing Contractor (Lic No.): _____ Mailing Address - Include City & Zip: _____ Telephone - Include Area Code: _____																							
Electrical Contractor (Lic No.): _____ Mailing Address - Include City & Zip: _____ Telephone - Include Area Code: _____																							
HVAC Contractor (Lic No.): _____ Mailing Address - Include City & Zip: _____ Telephone - Include Area Code: _____																							
PROJECT INFORMATION		Subdivision Name: <u>Century Estates</u> Lot No. <u>3</u> Block No. _____																					
Zoning District: _____ Lot Area: _____ Sq. Ft.	N.S.E.W. Setbacks: Front <u>46'</u> Ft. Rear <u>100</u> Ft.	Left <u>53</u> Ft. Right <u>6</u> Ft.																					
1a. PROJECT <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Raze <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Repair <input type="checkbox"/> Move <input checked="" type="checkbox"/> Other: <u>Deck/Front porch</u>	3. TYPE <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Two Family <input type="checkbox"/> Multi <input type="checkbox"/> Commercial	6. STORIES <input checked="" type="checkbox"/> 1-Story <input type="checkbox"/> 2-Story <input type="checkbox"/> Other																					
1b. GARAGE <input type="checkbox"/> Attached <input type="checkbox"/> Detached	4. CONST. TYPE <input type="checkbox"/> Site Constructed <input checked="" type="checkbox"/> Mfd. UDC <input type="checkbox"/> Mfd. HUD	9. HVAC EQUIPMENT <input type="checkbox"/> Forced Air Furnace <input type="checkbox"/> Radiant Baseboard or Panel <input type="checkbox"/> Heat Pump <input type="checkbox"/> Boiler <input type="checkbox"/> Central Air Conditioning <input type="checkbox"/> Other																					
2. AREA Basement _____ Sq. Ft. Living Area _____ Sq. Ft. Garage _____ Sq. Ft. Other <u>240</u> Sq. Ft. TOTAL <u>240</u>	5. ELECTRICAL Entrance Panel Size: _____ amp Service: ___ New ___ Rewire ___ Phase ___ Volts <input type="checkbox"/> Underground <input type="checkbox"/> Overhead Power Company: _____	12. ENERGY SOURCE <table border="1" style="width:100%; text-align: center;"> <tr> <th>Fuel</th> <th>Nat. Gas</th> <th>LP.</th> <th>Oil</th> <th>Elec. *</th> <th>Solid</th> <th>Solar</th> </tr> <tr> <td>Space Htg</td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td>Water Htg</td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table> * <input type="checkbox"/> Dwelling unit will have 3 kilowatt or more installed electric space heater equipment capacity.	Fuel	Nat. Gas	LP.	Oil	Elec. *	Solid	Solar	Space Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Water Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Fuel	Nat. Gas	LP.	Oil	Elec. *	Solid	Solar																	
Space Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																	
Water Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																	
7. FOUNDATION <input type="checkbox"/> Concrete <input type="checkbox"/> Masonry <input type="checkbox"/> Treated Wood <input type="checkbox"/> ICF <input type="checkbox"/> Other	8. USE <input type="checkbox"/> Seasonal <input type="checkbox"/> Permanent <input type="checkbox"/> Other	10. PLUMBING Sewer <input type="checkbox"/> Municipal <input type="checkbox"/> Septic No. _____																					
11. WATER <input type="checkbox"/> Municipal Utility <input type="checkbox"/> Private On-Site Well	13. HEAT LOSS (Calculated) Total _____ BTU/HR	14. ESTIMATED COST \$ <u>33,722.50</u>																					
I understand that I: am subject to all applicable codes, laws, statutes and ordinances, including those described on the Notice to Permit Applicants form; am subject to any conditions of this permit; understand that the issuance of this permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If one acre or more of soil will be disturbed, I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and the owner shall sign the statement on the Notice to Permit Applicants form. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.																							
<input type="checkbox"/> I vouch that I am or will be an owner-occupant of this dwelling for which I am applying for an erosion control or construction permit without a Dwelling Contractor Certification and have read the cautionary statement regarding contractor responsibility on the Notice to Permit Applicants form.																							
APPLICANT (PRINT): <u>Stephanie Wangelin</u> SIGN: <u>[Signature]</u> DATE: <u>10/13/25</u>																							
APPROVAL CONDITIONS This permit is issued pursuant to the attached conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. Owner/Builder solely responsible for compliance with all applicable State & Local Building and Zoning codes.																							
INSPECTIONS NEEDED Building <input type="checkbox"/> Footing <input type="checkbox"/> Foundation <input type="checkbox"/> Rough <input type="checkbox"/> Insulation <input type="checkbox"/> Bsmt. Fl. <input type="checkbox"/> Final Electric <input type="checkbox"/> Rough <input type="checkbox"/> Service <input type="checkbox"/> Final Plumbing <input type="checkbox"/> Rough <input type="checkbox"/> Underfloor <input type="checkbox"/> Final HVAC <input type="checkbox"/> Rough <input type="checkbox"/> Final																							
FEES: Building Fee _____ Zoning Fee _____ WI Seal _____ Electric Fee _____ Plumbing Fee _____ HVAC Fee _____ Adm. Fee <u>\$25.00</u> Other _____ Total <u>\$0.00</u>	PERMIT(S) ISSUED Bldg. # At top of form _____ Zoning # _____ Elec. # _____ Plmb. # _____ HVAC # _____	SEAL NO. _____ Municipality No. _____																					
RECEIPT CK # _____ Amount \$ _____ Date _____ From _____ Rec By. _____	PERMIT EXPIRATION: Permit expires two years from date issued unless municipal ordinance is more restrictive.	PERMIT ISSUED BY MUNICIPAL AGENT: Name _____ Date _____ Certification No. _____																					



Scale: 1/20" = 1 ft



REMOVE EXISTING FRONT STOOP. INSTALL DECK WITH PORCH STYLE ROOF ABOVE DECKING

Kunkel Project - 517 Bel Aire Dr., Thiensville WI 53092

- 1) Structure conforms to UDC SPS 320-325 Appendix B
- 2) All perimeter dimensioning is to outside of deck including overhang
- 3) All framing material to be pressure/preservative treated southern pine

Scale: 1/8" = 1 ft

ALL JOISTS ATTACHED WITH LUS210 HANGERS

DECK FLUSH WITH PATIO DOOR

TENSION TIES REQUIRED ON LEDGER

2"x12" LEDGER CONNECTED TO HOUSE WITH 3 5/8" LONG LEDGER LOCKS

2" x 12" JOISTS 16" O.C.

FLUSH BEAM CONSTRUCTED USING (3) 2" x 12" S.Y.P. TREATED JOISTS.

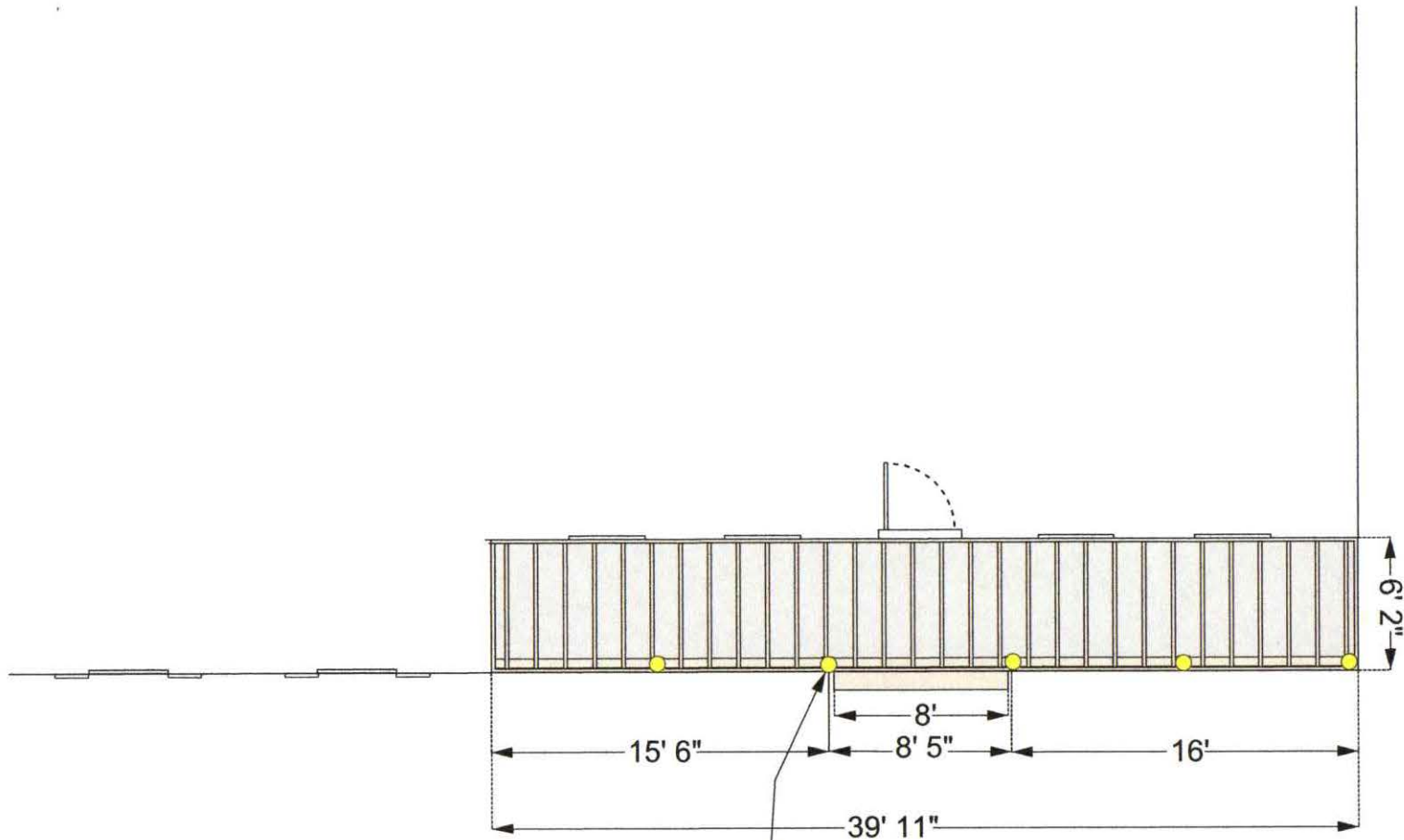
BEAM SUPPORTED BY 6" X 6" POSTS WITH 9" HELICAL PILINGS. BEAM CONNECTED TO EACH POST USING LPC6 OR AC6 POST CAP CONNECTORS

INSTALL ACCESS PANELS FOR WATER SPIGOT AND SUMP PUMP, SIZE AND LOCATION TBD ON SITE

Kunkel Project - 517 Bel Aire Dr., Thiensville WI 53092

- 1) Structure conforms to UDC SPS 320-325 Appendix B
- 2) All perimeter dimensioning is to outside of deck including overhang
- 3) All framing material to be pressure/preservative treated southern pine

Scale: 1/8" = 1 ft

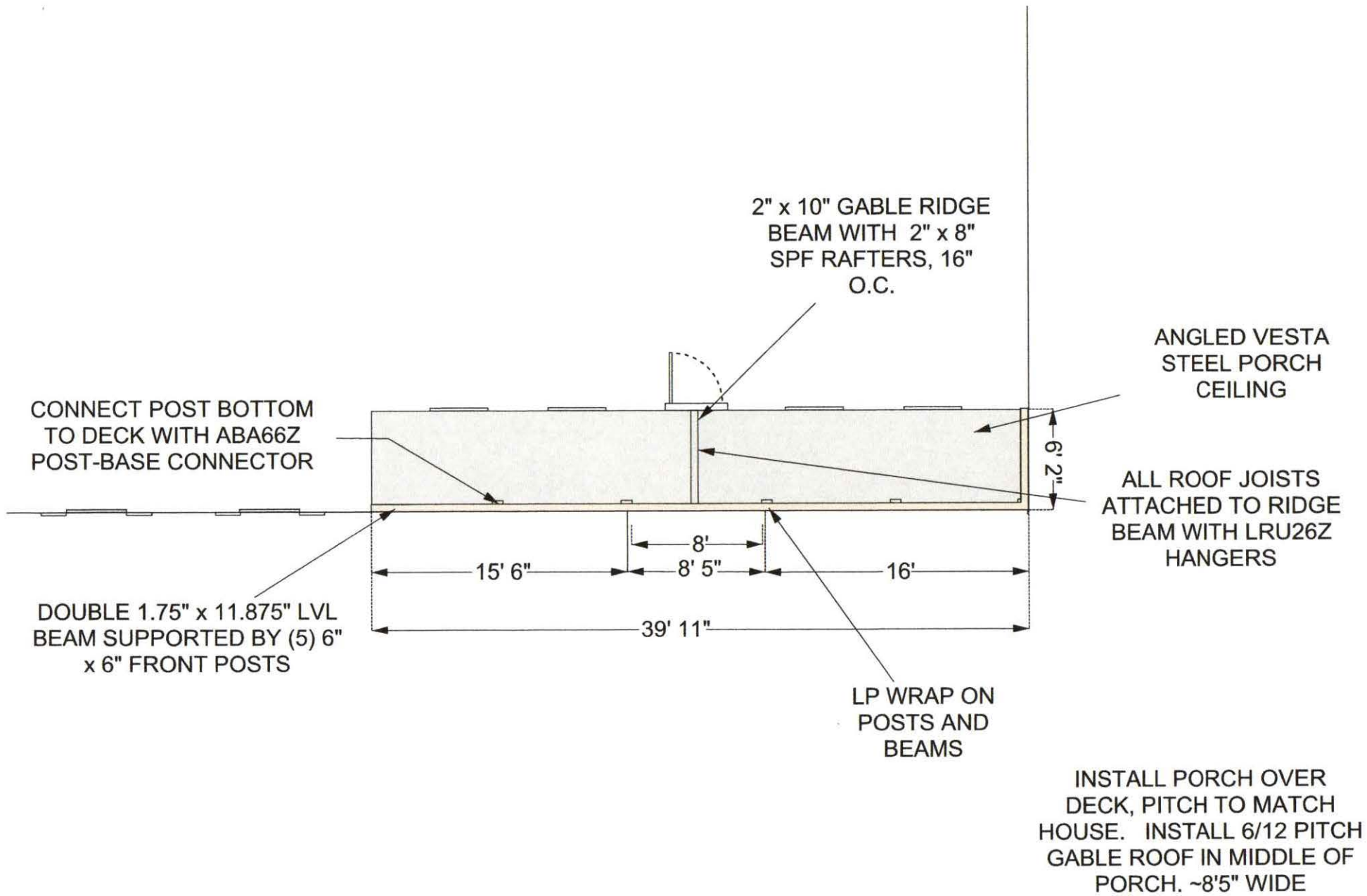


(5) 9" MIN DIA HELICAL PILINGS
 - ESTIMATED LOCATIONS
 SHOWN, VERIFY ON SITE

Kunkel Project - 517 Bel Aire Dr., Thiensville WI 53092

- 1) Structure conforms to UDC SPS 320-325 Appendix B
- 2) All perimeter dimensioning is to outside of deck including overhang
- 3) All framing material to be pressure/preservative treated southern pine

Scale: 1/8" = 1 ft



Kunkel Project - 517 Bel Aire Dr., Thiensville WI 53092

- 1) Structure conforms to UDC SPS 320-325 Appendix B
- 2) All perimeter dimensioning is to outside of deck including overhang
- 3) All framing material to be pressure/preservative treated southern pine

Scale: 1/8" = 1 ft













517

**200 GREEN WAY LAKESIDE DEVELOPMENT
PLANNED DEVELOPMENT AMENDMENT
PLAN COMMISSION**

To: Thiensville Plan Commission
Date: November 6, 2025

Prepared by: Meredith Perks, Village Planner

General Information

Applicant:	Lakeside Development
Status of Applicant:	Developer, Property Owner
Location:	200 Green Way
Requested Action:	Planned Development, Architectural Approval
Existing Zoning:	PDO

Background Information:

In 2021, the Village entered a Development Agreement with Lakeside Development Company to construct sixteen single-family residences. As part of that Development Agreement and under the Planned Development Overlay (PDO) zoning, the Plan Commission pre-approved the site plan and architectural plans for four distinct housing styles based on designs presented at the time. The applicant is returning to the Plan Commission to request the alteration of one of the pre-approved housing designs.

While the construction of the development has been successful to date, the developer has received feedback that homebuyers would prefer the patio access be closer to the kitchen rather than in the current location between the primary bedroom and the garage in housing models with the primary bedroom on the first floor. In response to this feedback, the developer has proposed a new floor plan as illustrated in the application documents dated September 17, 2025.

The updated floor plan alters the exterior appearance of the home, particularly the roofline. The applicant met with Village staff to discuss staff concerns with the new elevation, including the altered roofline and concerns about how these three lots might differ from the housing styles of its neighbors, creating potential conflicts between the outdoor space and dwelling area windows of neighboring properties. Though the applicant has acknowledged that the original elevation is preferred, they have submitted the altered floor plan without changes based on staff comments.

This proposed altered floor plan may only be constructed on three available lots on the west side of the development. Upon completion of the full development plan, these three lots will be on the interior of the development, with minimum visibility from the Riverview Drive or Green Bay Road.

Section 4.04 of the Development Agreement states:

*Developer will be responsible for constructing sixteen (16) single-family residences, consistent with the drawings included in the Developer's Plans which shall be approved by all approving authorities required by Village ordinance. The developer shall secure Plan Commission approval for each distinct house style and accessory garage, including but not limited to elevations for a minimum of four (4) distinct house styles and floor plans. All garage walls that face a street or walking path shall include windows. The two homes adjacent to Riverview shall include a bay window on the south elevation. The developer may have all sixteen (16) homes pre-approved by the Plan Commission. **Any variation of the approved housing style shall be approved by the Plan Commission unless Village staff deems the change as minor.** No front elevation shall be repeated more than two times per the east and west side of the subdivision. Repeating elevations must have distinct paint schemes. Two of the same elevations may not be built adjacent to each other.*

Village staff determined that this floor plan alteration constituted a major change of the pre-approved housing style and are therefore requesting review and action by the Plan Commission. By approving the new floor plan and elevation it will be pre-approved for development.

The new floor plan should be implemented in more than one of the available lots in the development to avoid a one-off anomaly in the design styles. Additionally, the Development Agreement requirements regarding alternating front elevations, distinct paint schemes, and no two of the same front elevations being built adjacent to each other remain in place and apply to the proposed floor plan and elevation.

Recommendation:

Staff recommend that the proposed floor plan and elevation be approved by the Plan Commission and added to the Development Agreement, with the following conditions:

1. The proposed floor plan and elevation may only be permitted on Lots 11, 12, and 13 as illustrated by the developer.
2. The developer must construct more than one of the proposed floorplans to avoid a one-off anomaly in the development.

Action:

Motion to approve the proposed floorplan and elevation updates and that the updated floorplan and elevation be added to the pre-approved housing styles subject to the Development Agreement, with the following conditions:

1. The proposed floor plan and elevation may only be permitted on Lots 11, 12, and 13 as illustrated by the developer.
2. The developer must construct more than one of the proposed floorplans to avoid a one-off anomaly in the development.

Lakeside is reaching out to provide an update on our development in two hundred Green, and to request approval for a modification to our initial design of our existing first-floor primary.

I am thrilled to share that sales have been strong and consistent. All homes have been sold at list price or higher, and we have not seen any resales to date. Currently, we offer two floor plans: a first-floor primary (attached as Exhibit A) and a second-floor primary (attached as Exhibit B). At present, there is one first-floor primary in two hundred Green.

After careful consideration and feedback from our residents who have lived in the homes for a while, it has been suggested that we move the bedroom location to align with our new layout (attached as Exhibit C). This change aims to enhance the overall living experience and better meet the needs of our residents. As a result of this modification, there is a change in the exterior elevation (attached as Exhibit D) compared to the original elevation (attached as Exhibit E).

Upon reviewing the changes with our staff, it is acknowledged that the new elevation's roofline differs and that the original elevation is superior. While we acknowledge that the original elevation has its merits, we strongly believe that the improvements made to the floorplan significantly outweigh the changes to the exterior elevation.

We have had several discussions with the staff, and it is clear that they understand and support our rationale behind these adjustments. We are confident that the enhanced floorplan will offer greater benefits and better meet our overall goals.

We plan to implement this modified plan in only three houses (see Exhibit F). Despite the original elevation being superior, we feel that the close proximity of the houses, combined with the houses on either side, will render the modification unnoticed.

Consequently, the modification will be irrelevant when looking at the entire project. With that, we are requesting approval for modifying the initial design.

Thank you for your time and consideration.

Ryan Zabjek



PLAN COMMISSION APPLICATION

Submission Information:

A complete application along with the appropriate fees shall be submitted by the deadline stated on the meeting schedule to the Village Clerk. In order for an application to be considered complete, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. The applicant is responsible to pay planner charges after a first half hour of planner time. Owner, architect, builder or owner's representative must attend the Plan Commission meeting for action to be taken. Work cannot begin until Plan Commission approval and paid and approved building permit.

Property Address: 199 Two Hundred Green Way, 201 Two Hundred Green Way, and 203 Two Hundred Green Way
 12-097-0011, 12-097-0012, 12-097-0013

Tax Key #

Residential

Current Zoning

Property Owner:

Lakeside Development Company

Name

10033 N Port Washington Rd STE 300, Mequon, WI 53092

Address

414-530-0573

Phone

ryan@lakesidedevelopment.com

Email Address

Applicant: Same as Owner

Name

Address

Phone

Email Address

Project Description:

Please describe your project in detail. Include details about height and dimensions, color, materials used, and setbacks from the street and property lines. Provide any information that you believe will assist staff in reviewing and approving your request.

Please see attached narrative that outlines our request to have the existing first floor master plan modified.

Applicant Signature

10/20/2025

Date

Planner Fee Schedule: The Village provides the first half hour of the Village Planner’s services. Any additional plan review time is billed at \$130.00/hr.

Application Checklist: Two paper copies and an electronic copy with files in PDF format (plan size 11X17) must be submitted for all applicable items below for planner review and the Plan Commission packet.

- Submit scaled site plan with proposed location and setbacks with accurate dimensions indicating the property size, its relationship to surrounding properties, existing topography, key natural features and show the location of all existing and proposed:

<ul style="list-style-type: none"> A. Structures, showing all entrances B. Driveways & street access C. Parking areas D. Walkways E. Existing landscaping F. Abutting public and private streets G. Public easements H. Surrounding land uses and zoning I. Retaining walls J. Decorative accessories 	<ul style="list-style-type: none"> K. Dumpster location and screening L. Location, color, message, dimensions and materials of all signs M. Location, size and character of dedicated or private open space N. Location of sanitary sewer, storm sewer, water mains and services and storm water detention facilities O. Floor plan of building or addition
---	--

- Storm water management plan.
- Completed building permit application (including two full size plan sets with state stamp for commercial and multi-family).
- Grading plan showing existing and finished grades.
- Professionally prepared landscape plan.
- Lighting plan; photometric plan, type of fixtures, wattage and location and height of lighting structures.
- Topographic data or pertinent grade elevations, if necessary, for proper remodeling of existing buildings showing finished exterior treatment.
- Colored elevations of proposed buildings, structures and fencing, or of proposed remodeling of existing buildings, showing finished exterior treatment and a listing of building materials.

Is this property in Thiensville’s Historic District? Yes No

If yes, you must apply for a Certificate of Appropriateness with the Historic Preservation Commission. Complete the COA application. Attendance at HPC meeting is required.

**All Commercial and Multi-Family projects including any change of occupancy, change of use, or construction/alteration must be submitted to the Southern Ozaukee Fire Department for review, approval, and inspections.*

Village Staff Review

Application Complete. Items needed: _____

Submitted to Village Planner on _____ Approved by planner on _____

Historic Preservation Approval (if needed) on _____

Additional Remarks/Conditions:

Village Staff Signature

Date



SHEET INDEX

- ST SITE PLAN
- 1 EXTERIOR ELEVATIONS
- 1.1 EXTERIOR ELEVATIONS
- 2 FOUNDATION PLAN
- 3 1ST FLOOR PLAN
- 4 2ND FLOOR PLAN
- 4.1 ROOF PLAN
- 5 SECTIONS / DETAILS
- 5.1 SECTIONS / DETAILS
- 6 INTERIOR ELEVATIONS
- 7 1ST FLOOR ELECTRICAL
- 7.1 2ND FLOOR ELECTRICAL
- 8 SCHEDULES
- 9 SPECIFICATIONS
- B WALL BRACING

SQUARE FEET

TOTAL FINISHED SF	2093
LOWER LEVEL FINISHED SF	0
FIRST FLOOR SF	1402
SECOND FLOOR SF	691

ELEVATION NOTE

PROPOSED TOP OF FOUNDATION WALL	664.98
PROPOSED GRADE	664.41
FIRST FLOOR SUBFLOOR	666.5

TOP OF FIRST FLOOR SUBFLOOR (A&F-1) REFERENCED AS 0'-0" HEREAFTER

HEIGHT ELEVATIONS ARE REFERENCED FROM THE FOLLOWING:

- ABOVE FIRST FLOOR SUBFLOOR IF NOTED A&F-1
- ABOVE SECOND FLOOR SUBFLOOR IF NOTED A&F-2
- BELOW FIRST FLOOR SUBFLOOR IF NOTED B&F-1

LEGEND

- PLAN DETAILS SEE SHEETS 2 THRU 4.1
- ELEVATION DETAIL SEE SHEETS 1 AND 1.1
- INTERIOR ELEVATION DETAILS SEE SHEET 6 AND 6.1
- DOOR NUMBER
- ELEVATION DATUM
- 2X4 STUD WALL W/ 1/2" GYP. BD. BOTH SIDES
- 2X4 STUD WALL W/ 1/2" GYP. BD. BOTH SIDES - INSULATED
- 2X4 FLAT STUD WALL FLAT FRAMING W/ 1/2" GYP. BD. BOTH SIDES
- 2X6 STUD WALL W/ 1/2" GYP. BD. BOTH SIDES
- 2X6 STUD WALL W/ 1/2" GYP. BD. BOTH SIDES - INSULATED
- CONCRETE FOUNDATION WALL THICKNESS AND HEIGHT PER PLAN

APPROVED
BY: _____
BY: _____
DATE: _____

REVISIONS

10/13/2025 13:44 PM

LOT 11, 1ST FLOOR MASTER REV, ELEV. "E"
 LAKESIDE DEVELOPMENT
 THIENSVILLE, WISCONSIN

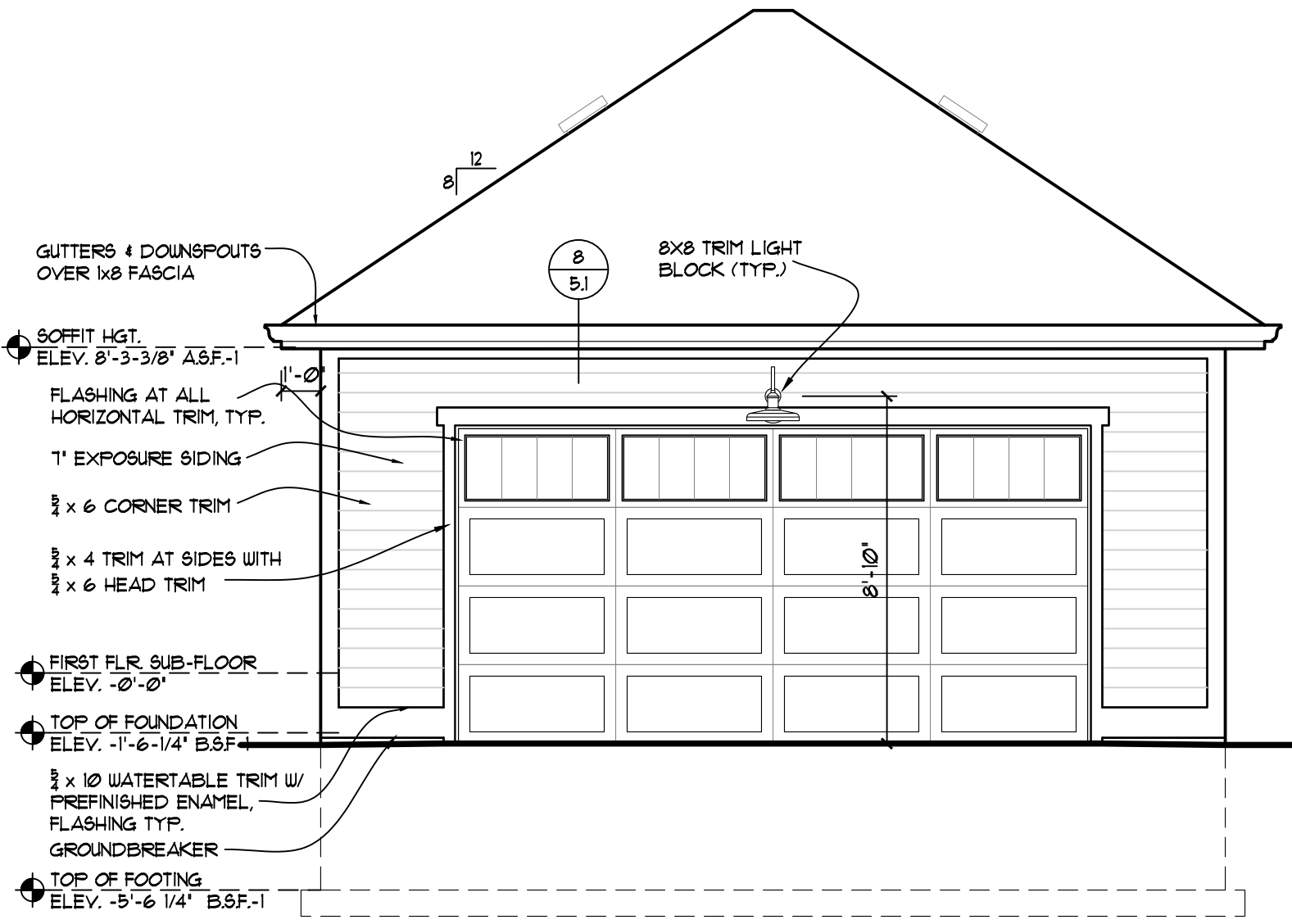
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 10033 N Port Washington Rd
 Mequon, Wisconsin 53092
 Tel: (262) 241-2300
 www.lakesidedevelopment.com

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 DATE: SEPT. 17, 2025
 JOB: 2028-11
 DRAWN BY: MAN
 CHECKED BY: MAN
 ARCH REVIEW

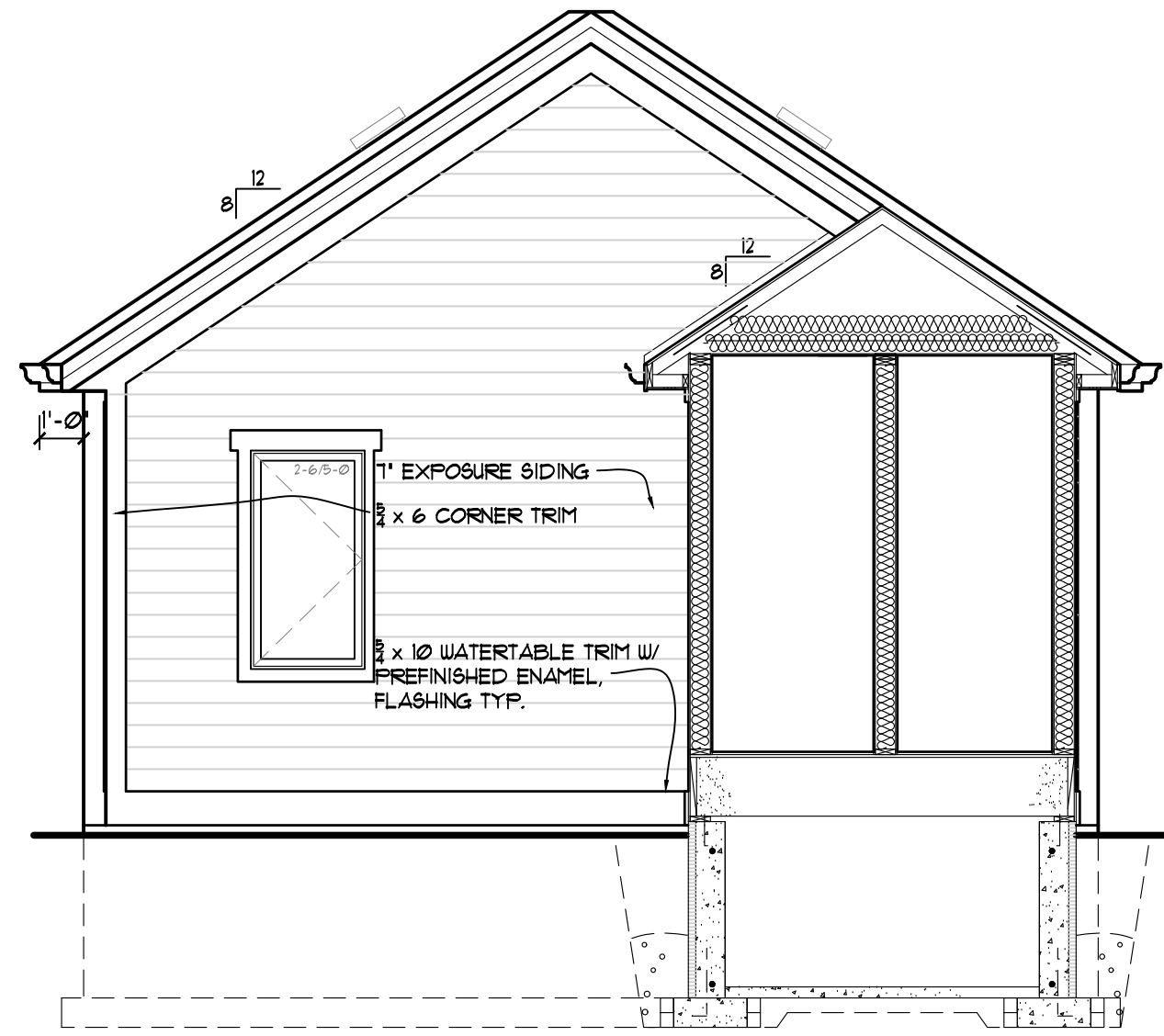
ST
 SITE PLAN

EXTERIOR FINISH SCHEDULE			
LOCATION	MATERIAL	FINISH	COLOR
SIDING	LP SMARTSIDE	PREFINISHED	
FRONT DOOR	FIBERGLASS	PRIMED, REQUIRE (2) COATS OF PAINT	
FRONT DOOR STORM / SCREEN	ALUMINUM	PREFINISHED	
FRONT VERANDA CEILING	LP SMARTSIDE PANEL W/ 1X4 TRIM @ PERIMETER	PREFINISHED	
GARAGE DOOR	C.H.I. STAMPED CARRIAGE HOUSE 5983	PREFINISHED	
WINDOWS	VINYL	PREFINISHED	
COLUMNS	WRAPPED LP SMARTSIDE TRIM	PREFINISHED	
TRIM	LP SMARTSIDE TRIM	PREFINISHED	
FRIEZE	LP SMARTSIDE TRIM	PREFINISHED	
SOFFITS	LP SMARTSIDE	PREFINISHED	
GUTTERS / DOWNSPOUTS	ALUMINUM	PREFINISHED	
DECKING / RAILINGS	COMPOSITE	PREFINISHED	
FRONT VERANDA LATTICE	AZEK	PREFINISHED	



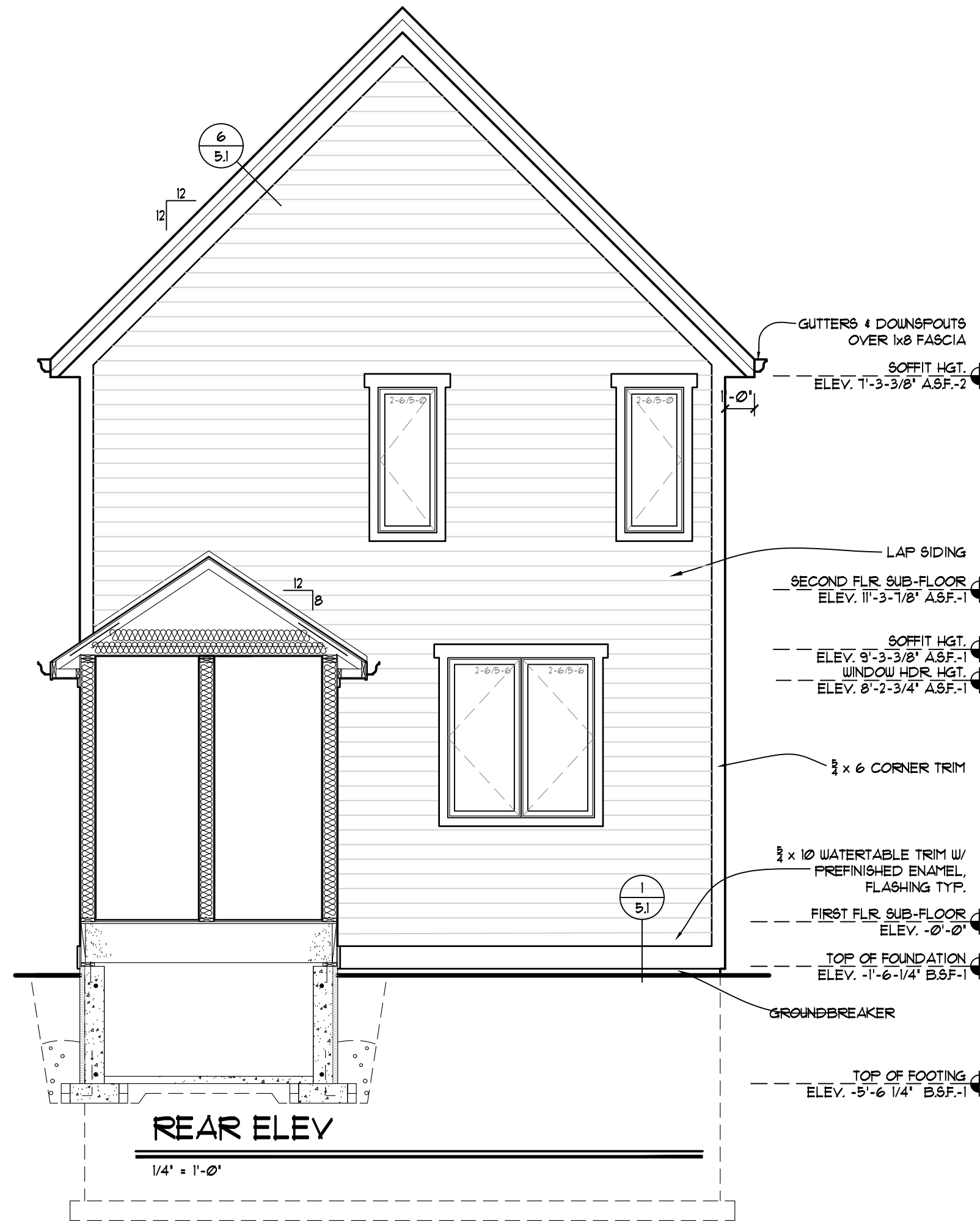
GARAGE ELEVATION - REAR

1/4" = 1'-0"



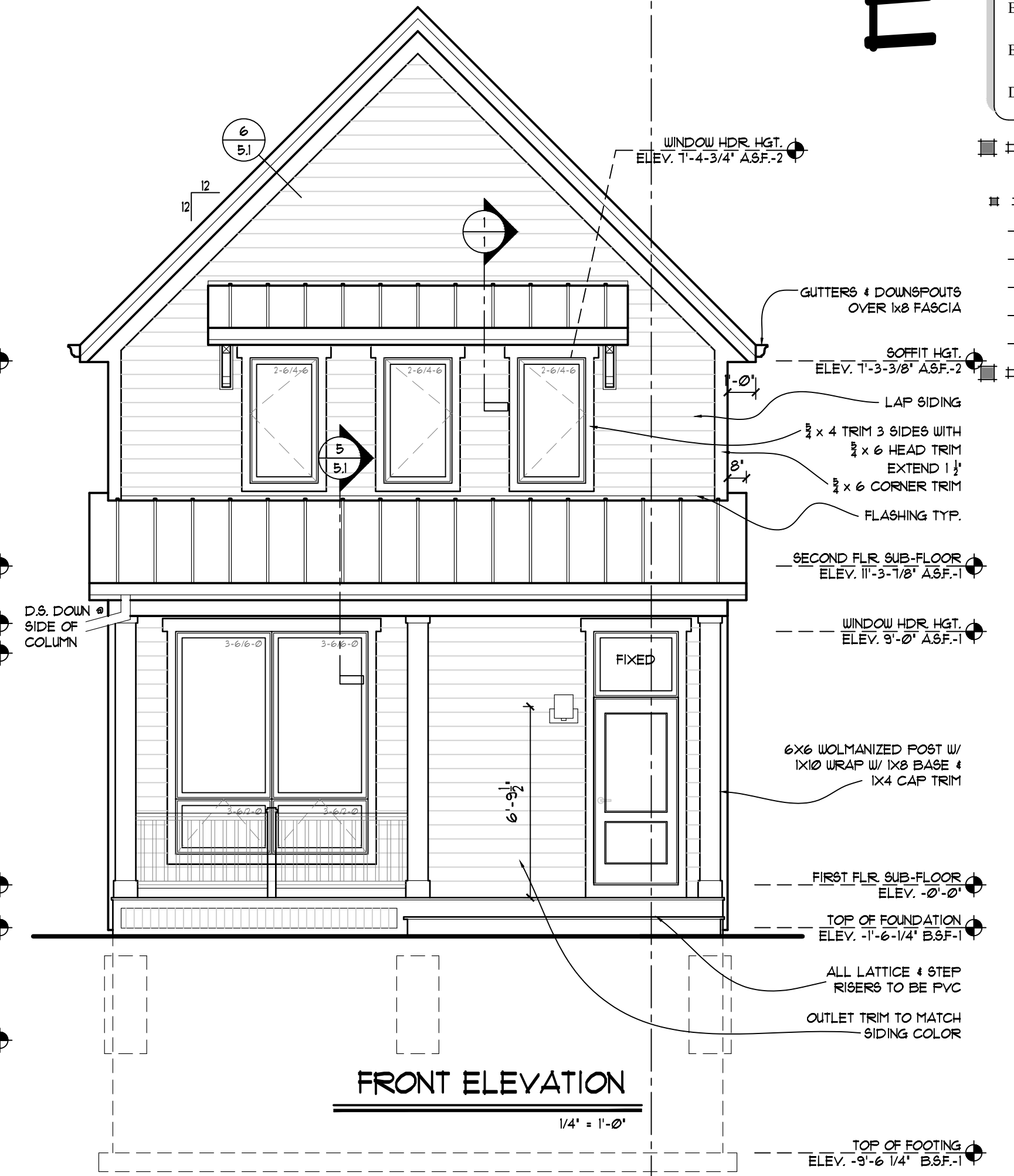
GARAGE ELEVATION - FRONT

1/4" = 1'-0"



REAR ELEV

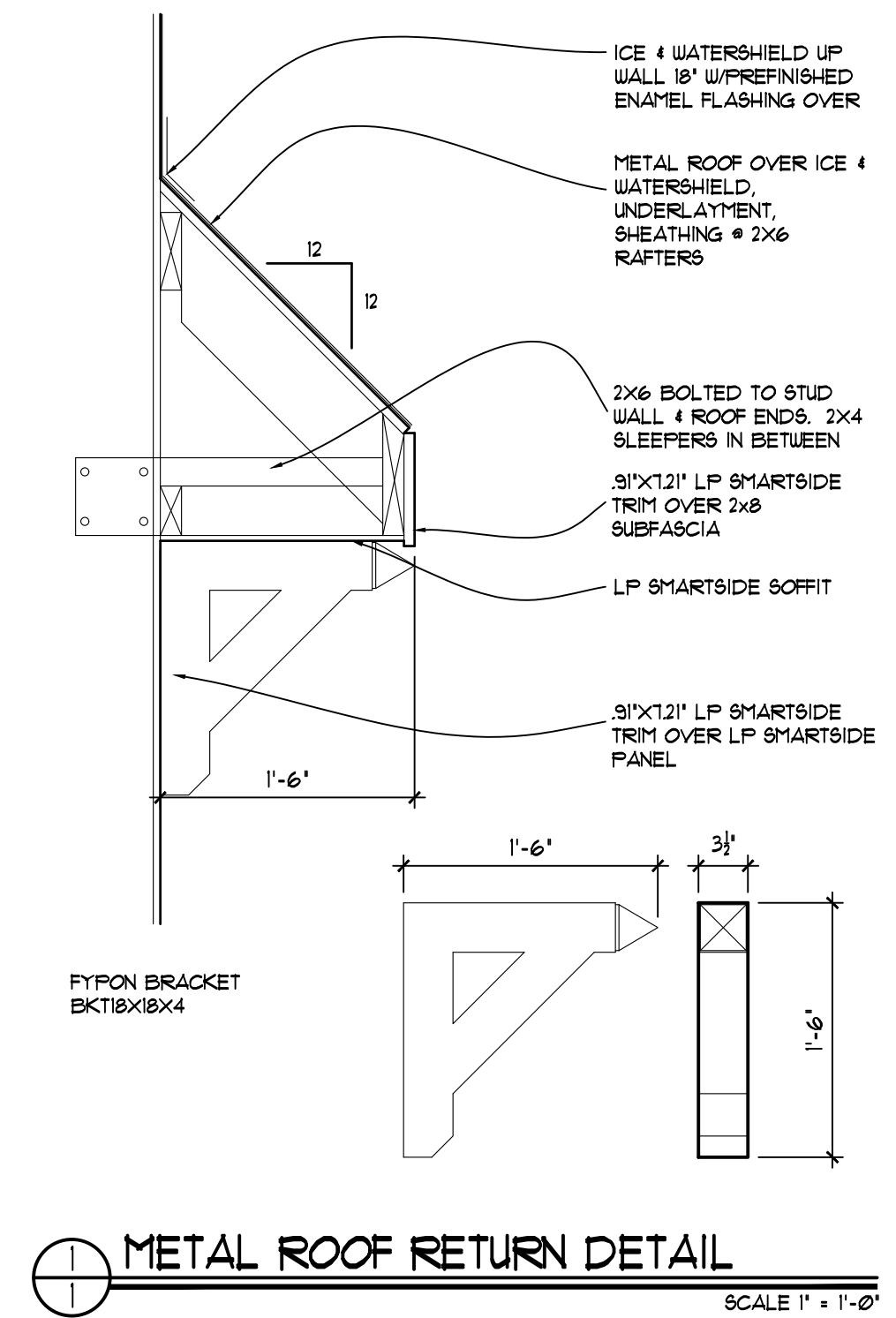
1/4" = 1'-0"



FRONT ELEVATION

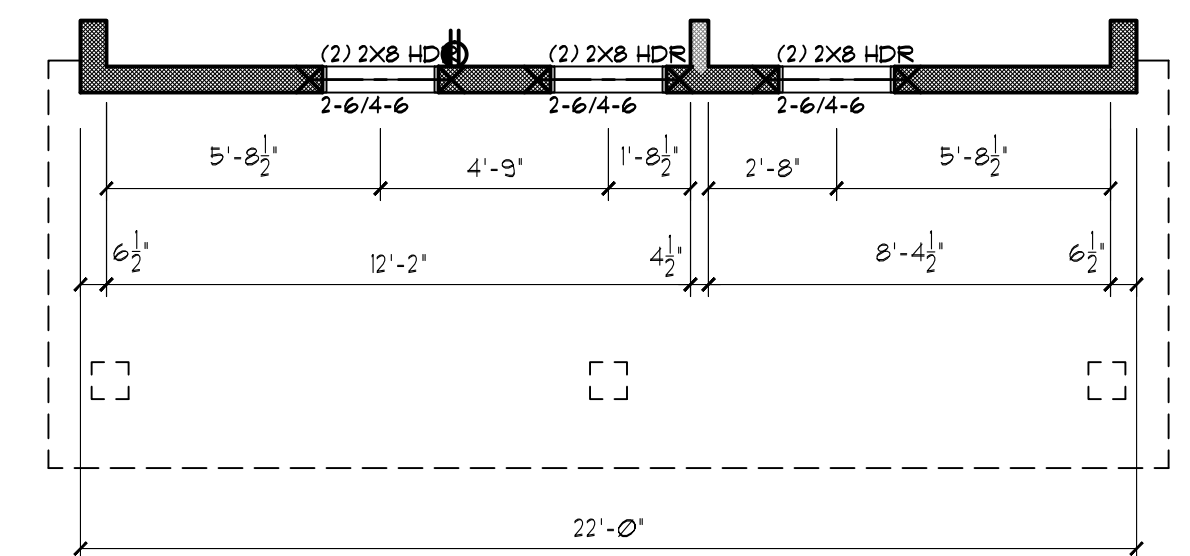
1/4" = 1'-0"

WINDOW SPECIFICATIONS	
MANUFACTURER	T.B.D.
FRAME	VINYL
GLASS TYPE	LOW-E2 ARGON GAS
GRIDS	NONE
HARDWARE COLOR	WHITE
SCREEN COLOR	WHITE
EXTERIOR COLOR	WHITE
BRICKMOULD	NONE
INTERIOR FINISH	WHITE VINYL
EXTENSION JAMBS	STANDARD, DRYWALL RETURN
NOTE WINDOW SUPPLIER TO PRICE AND SUPPLY TEMPERED GLASS WHERE REQUIRED	

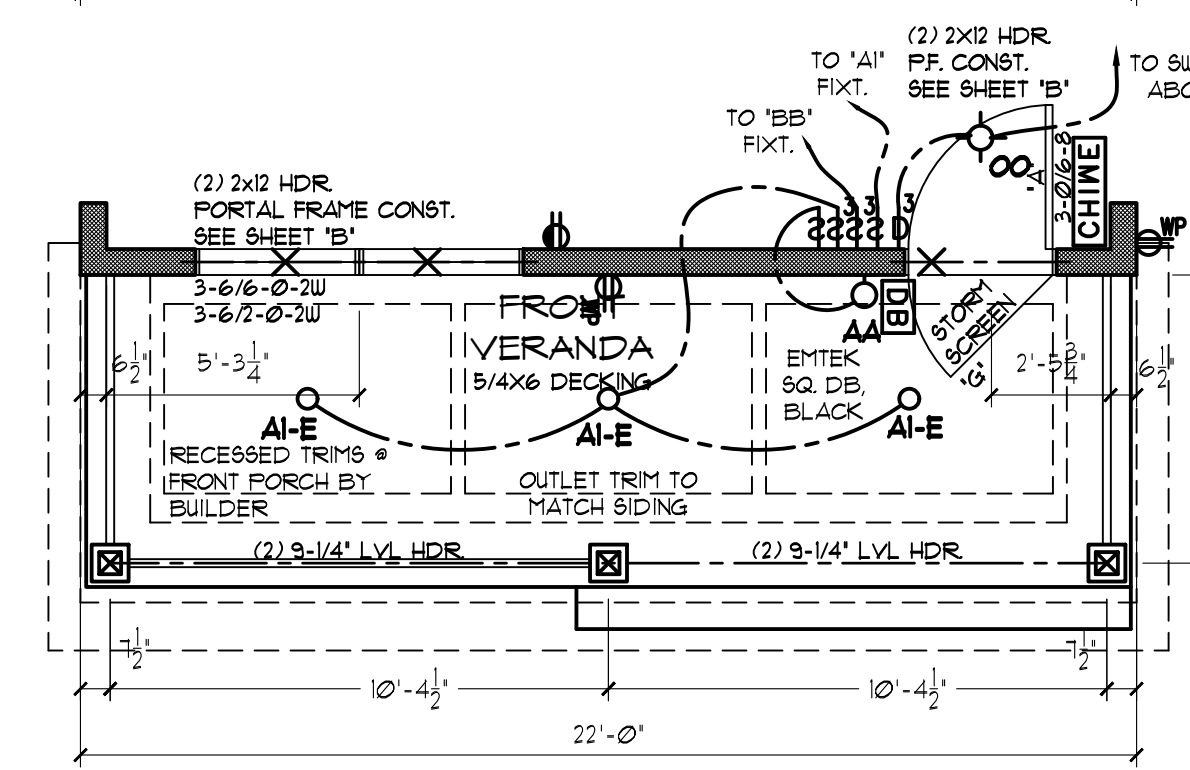


METAL ROOF RETURN DETAIL

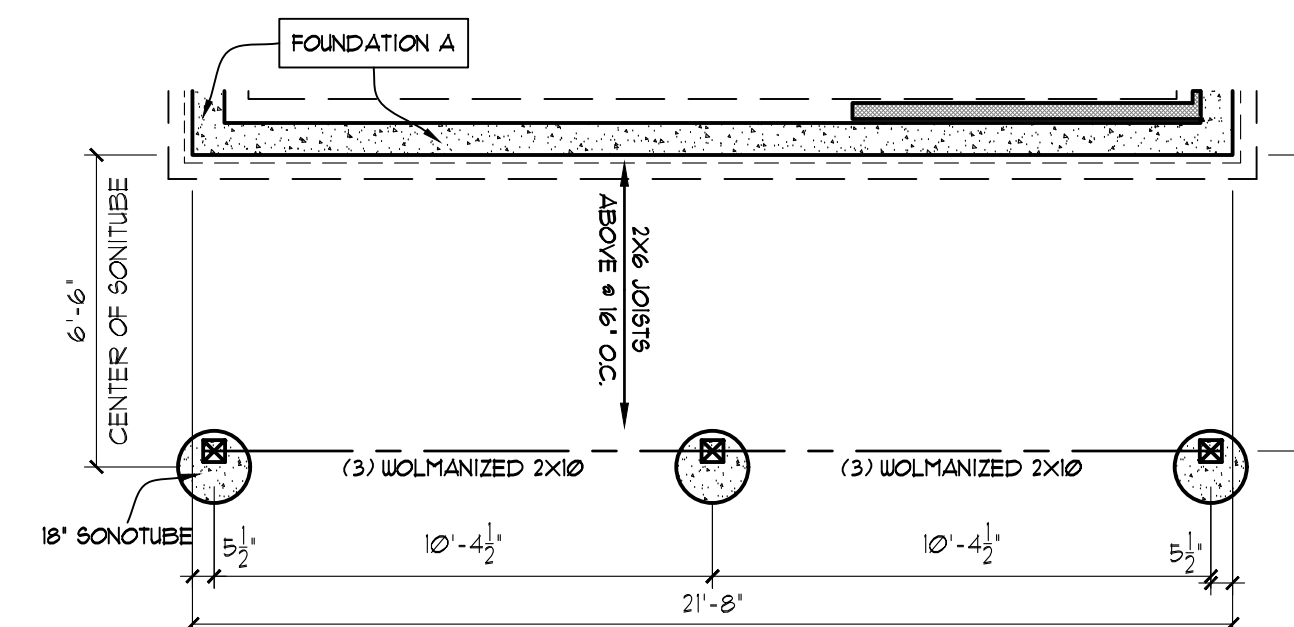
SCALE 1" = 1'-0"



PARTIAL 2ND FLOOR ELEVATION E



PARTIAL 1ST FLOOR ELEVATION E



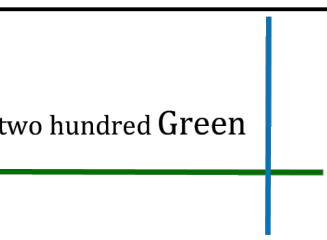
PARTIAL FOUNDATION ELEVATION E

APPROVED
BY: _____
BY: _____
DATE: _____

REVISIONS

NO.	DESCRIPTION

LOT 11, 1ST FLOOR MASTER REV, ELEV. "E"
LAKESIDE DEVELOPMENT
THIENSVILLE, WISCONSIN



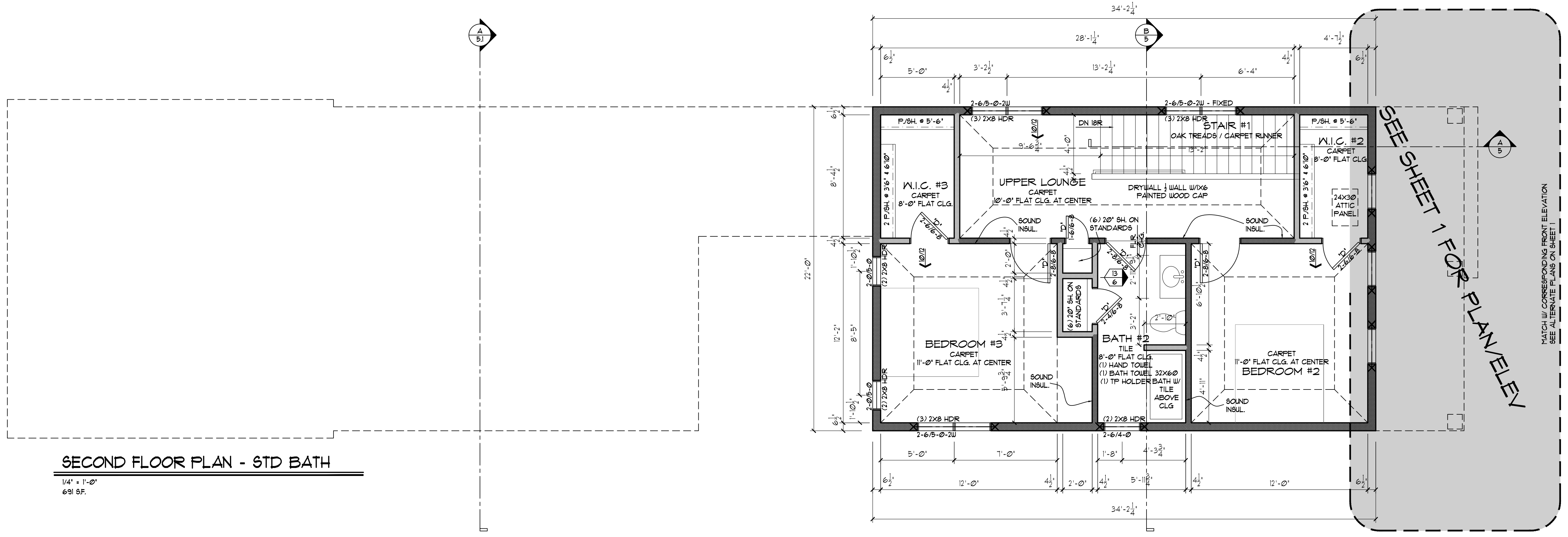
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Tel: (262) 241-2300
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DATE:	SEPT. 17, 2025
JOB:	2028-11
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CHECKED BY:	TAR
ARCH REVIEW	

1
ELEVATIONS



SECOND FLOOR PLAN - STD BATH

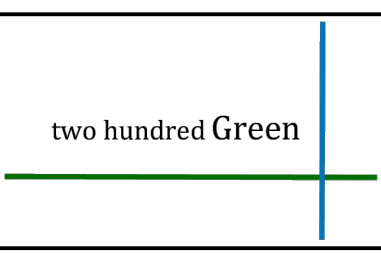
1/4" = 1'-0"
6/91 5F.

GENERAL SECOND FLOOR NOTES

- FIRST FLOOR SUBFLOOR = 0'-0"
 - TYPICAL FLUTE HEIGHT 0'-1 1/8" UNLESS NOTED OTHERWISE
 - TYPICAL FLAT CEILING TO BE 8'-0" UNLESS NOTED OTHERWISE
 - TYPICAL INTERIOR HEADER TO BE 4x4 UNLESS NOTED OTHERWISE
 - TYPICAL EXTERIOR HEADER TO BE (2) 2x8 UNLESS NOTED OTHERWISE
 - ALL HEADERS ARE DROPPED UNLESS NOTED AS 'FLUSH'
 - 2x4 TYPICAL INTERIOR WALL UNLESS DIMENSIONED OTHERWISE
 - VERIFY PLUMBING SELECTIONS FOR TUBS AND SHOWER MODULES
 - SEE 'GENERAL FOUNDATION NOTES' FOR LIVE AND DEAD LOAD INFORMATION
- - STRUCTURAL WOOD POST
 - X - POINT LOAD FROM ABOVE
 - - UNINSULATED WALL
 - - INSULATED WALL

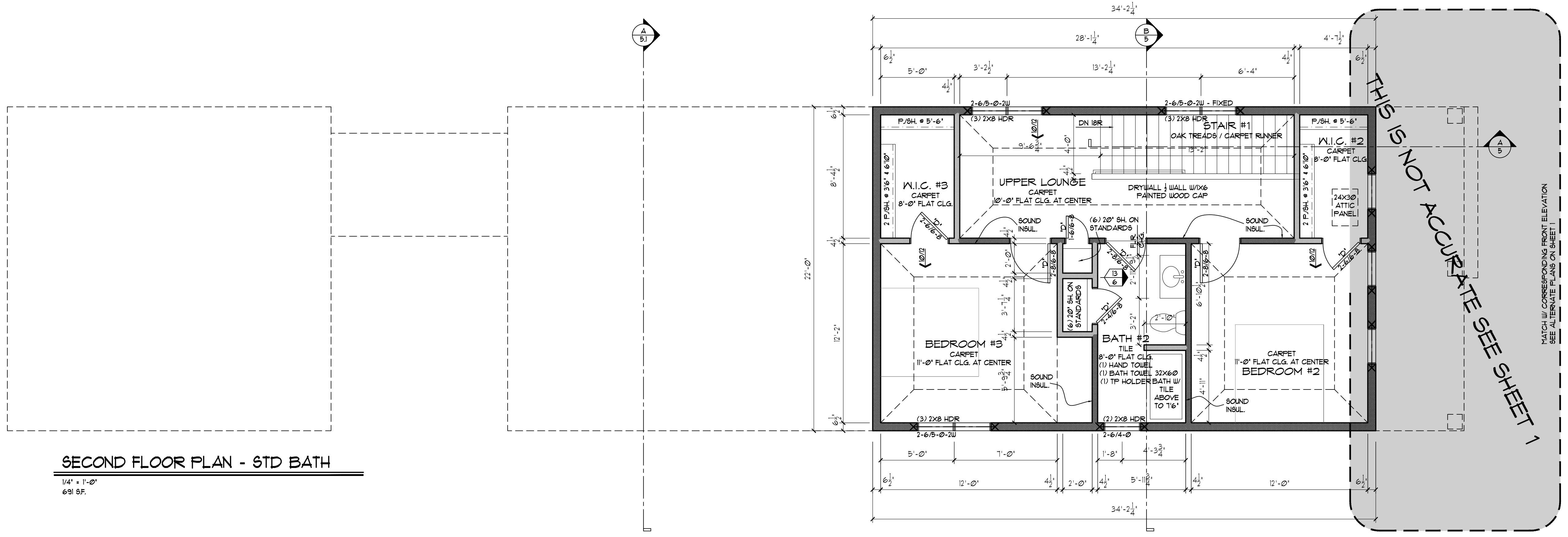
APPROVED
BY: _____
BY: _____
DATE: _____
REVISIONS

LOT 11, 1ST FLOOR MASTER REV, ELEV. "E"
 LAKESIDE DEVELOPMENT
 THIENSVILLE, WISCONSIN



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DRAWN BY:	MAN
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ARCH REVIEW	



THIS IS NOT ACCURATE SEE SHEET 1

MATCH W/ CORRESPONDING FRONT ELEVATION
SEE ALTERNATE PLANS ON SHEET 1

SECOND FLOOR PLAN - STD BATH

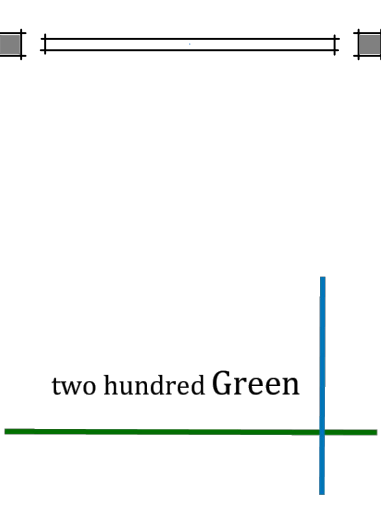
1/4" = 1'-0"
6/91 5F.

GENERAL SECOND FLOOR NOTES

- FIRST FLOOR SUBFLOOR = 0'-0"
 - TYPICAL FLATE HEIGHT 0'-1 1/8" UNLESS NOTED OTHERWISE
 - TYPICAL FLAT CEILING TO BE 8'-0" UNLESS NOTED OTHERWISE
 - TYPICAL INTERIOR HEADER TO BE 4x4 UNLESS NOTED OTHERWISE
 - TYPICAL EXTERIOR HEADER TO BE (2) 2x8 UNLESS NOTED OTHERWISE
 - ALL HEADERS ARE DROPPED UNLESS NOTED AS 'FLUSH'
 - 2x4 TYPICAL INTERIOR WALL UNLESS DIMENSIONED OTHERWISE
 - VERIFY PLUMBING SELECTIONS FOR TUBS AND SHOWER MODULES
 - SEE 'GENERAL FOUNDATION NOTES' FOR LIVE AND DEAD LOAD INFORMATION
- - STRUCTURAL WOOD POST
 - x - POINT LOAD FROM ABOVE
 - - UNINSULATED WALL
 - - INSULATED WALL

APPROVED	
BY:	_____
BY:	_____
DATE:	_____
REVISIONS	

LOT 10, FIRST FLOOR MASTER, ELEV "C"
 PIASEK ENTERPRISES - EMILIE ANSAY GERECHOFF
 197 TWO HUNDRED GREEN WAY
 THIENSVILLE, WI 53092

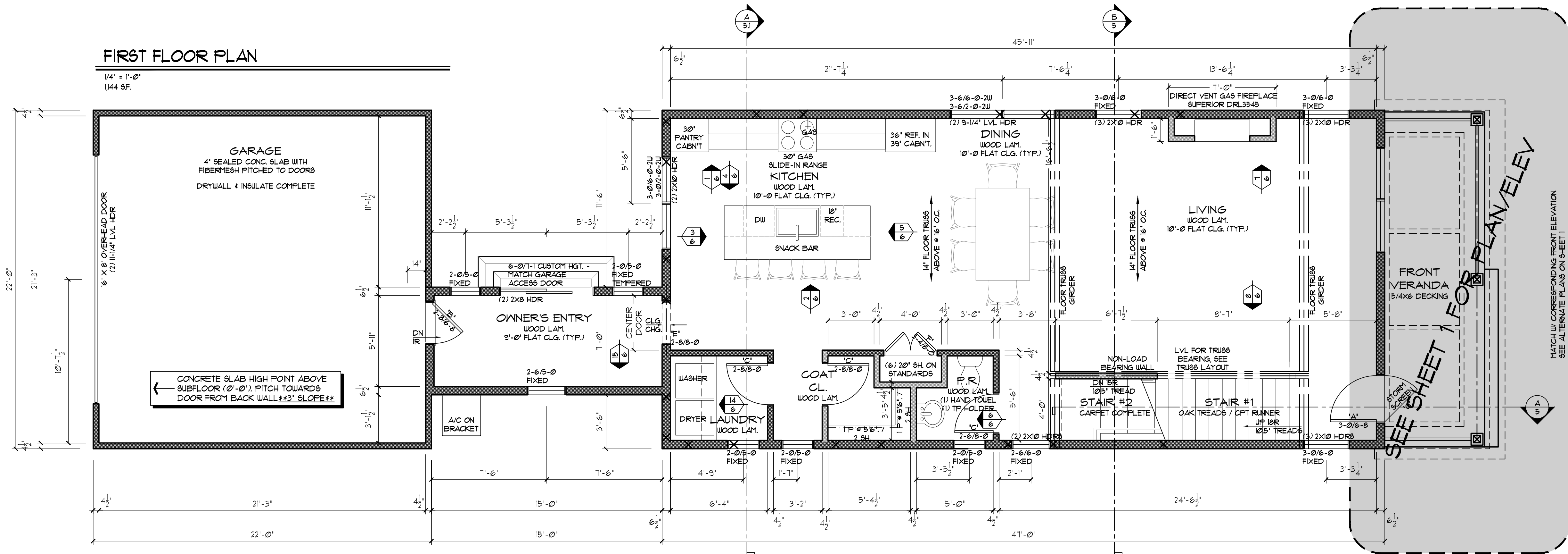


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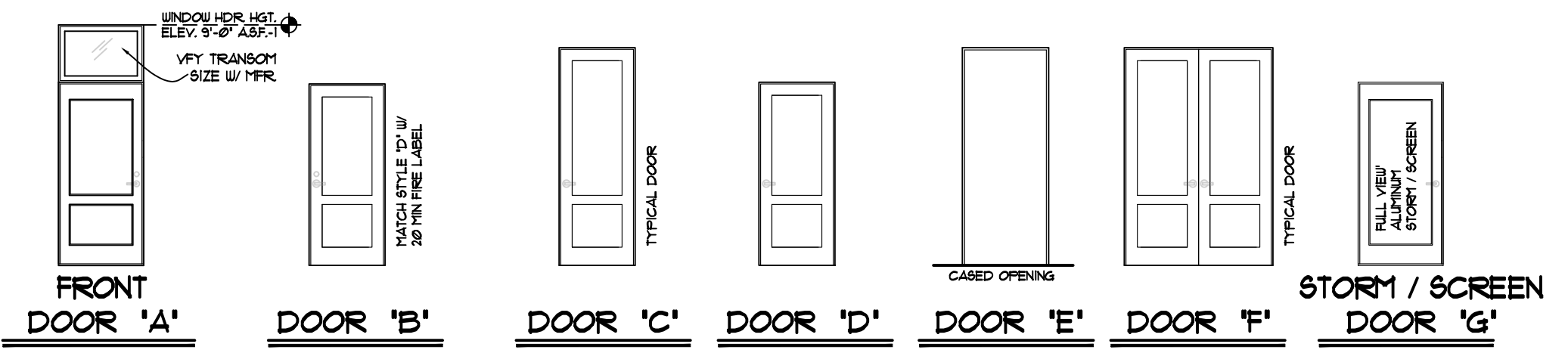
DATE:	JULY 8, 2024
JOB:	1900-14
DRAWN BY:	MAN
CHECKED BY:	TAR
CONTRACT SET	

FIRST FLOOR PLAN

1/4" = 1'-0"
144 SF.



LOCATION	MANUFACTURER	MODEL	FINISH
FRONT DOOR LATCHSET	SCHLAGE	TBD	BLACK
FRONT DOOR DEADBOLT	SCHLAGE	TBD	BLACK
EXTERIOR SLIDING FRENCH DOORS	HARDWARE BY WINDOW MANUFACTURER		
WINDOW HARDWARE	HARDWARE BY WINDOW MANUFACTURER		
GARAGE DOOR LATCHSET	SCHLAGE	TBD	TBD
GARAGE DOOR DEADBOLT	SCHLAGE	TBD	TBD
TYPICAL DOOR HARDWARE	SCHLAGE	TBD	TBD
DOUBLE DOOR HARDWARE			
DOOR HINGES			TBD
DOOR BASE BOARD & HINGE STOPS			TBD
STAIR RAILING BRACKETS			
SHOWER DOOR HARDWARE			
CABINET KNOBS & PULLS			

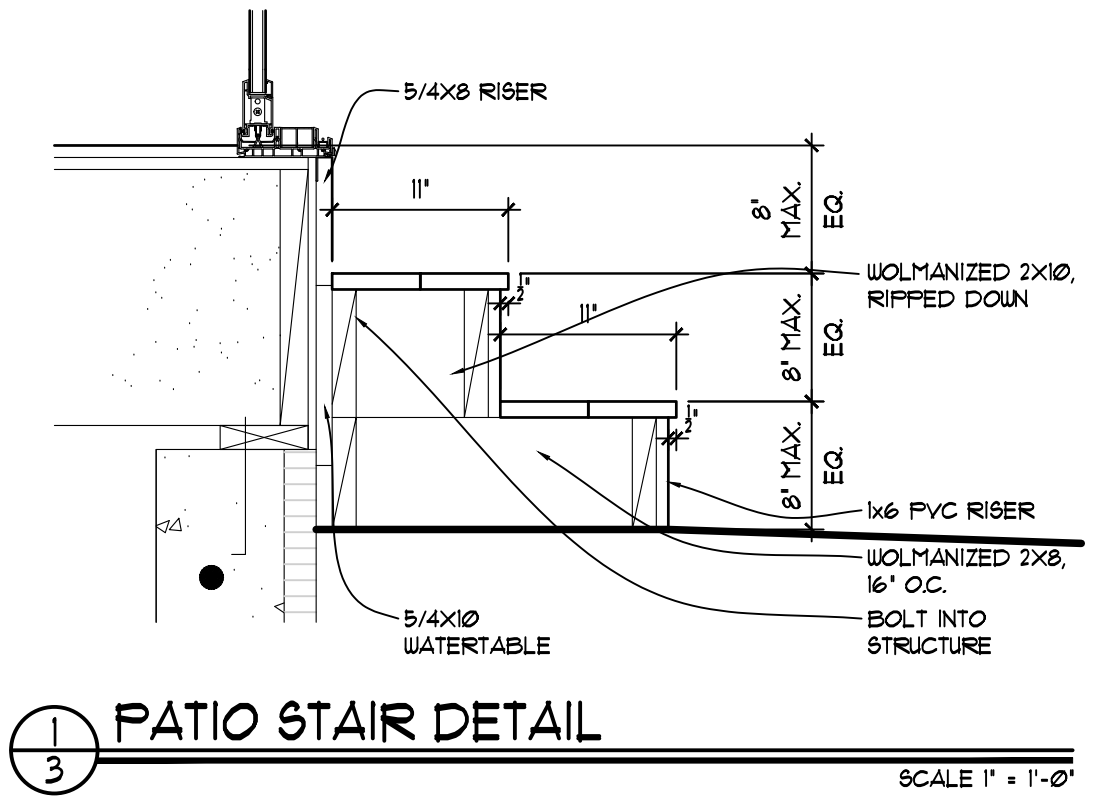


- NOTE:**
- ENTRY DOORS TO RECEIVE KEYED LOCK AND DEADBOLT
 - ALL DOORS TO BE RAISED PANEL
 - BEDROOM AND BATHROOM DOORS TO RECEIVE PRIVACY HARDWARE
 - TYPICAL SUING DOORS TO RECEIVE PASSAGE HARDWARE
 - POCKET DOORS TO BE SELF-CLOSING
 - DOUBLE DOORS TO RECEIVE HALF PASSAGE HANDLE AND CONCEALED MAGNETIC CATCH
 - 6'-8" DOORS TO HAVE (3) HINGES, 8'-0" DOORS TO HAVE (4) HINGES

GENERAL FIRST FLOOR NOTES

- FIRST FLOOR SUBFLOOR = 0'-0"
 - TYPICAL PLATE HEIGHT 10'-1 1/8" UNLESS NOTED OTHERWISE
 - TYPICAL FLAT CEILING TO BE 10'-0" UNLESS NOTED OTHERWISE
 - TYPICAL INTERIOR HEADER TO BE 4x4 UNLESS NOTED OTHERWISE
 - TYPICAL EXTERIOR HEADER TO BE (2) 2x8 UNLESS NOTED OTHERWISE
 - ALL HEADERS ARE DROPPED UNLESS NOTED AS 'FLUSH'
 - 2x4 TYPICAL INTERIOR WALL UNLESS DIMENSIONED OTHERWISE
 - VERIFY FLUMBING SELECTIONS FOR TUBS AND SHOWER MODULES
 - SEE 'GENERAL FOUNDATION NOTES' FOR LIVE AND DEAD LOAD INFORMATION
- - STRUCTURAL WOOD POST
 - × - POINT LOAD FROM ABOVE
 - ▭ - UNINSULATED WALL
 - - INSULATED WALL

- NOTE:**
IT IS THE CONCRETE CONTRACTOR'S RESPONSIBILITY TO VERIFY EMBEDDED CONNECTIONS NEEDED FOR TIE DOWNS VERIFY WITH CONSTRUCTION MANAGER
- NOTE:**
FLOOR JOIST MANUFACTURER TO SUBMIT LAYOUT TO LAKESIDE DEVELOPMENT CO. FOR REVIEW, & COMPLIANCE AND APPROVAL PRIOR TO DELIVERY AND INSTALLATION
- NOTE:**
LUMBER COMPANY TO CONFIRM REQUIRED POINT LOADS



PATIO STAIR DETAIL
SCALE 1" = 1'-0"

APPROVED
BY: _____
DATE: _____

REVISIONS

1/8/2024 12:41:18 PM

LOT 2, SECOND FLOOR MASTER, ELEV "D"
LAKESIDE DEVELOPMENT
196 TWO HUNDRED GREEN WAY
THIENSVILLE, WI 53092

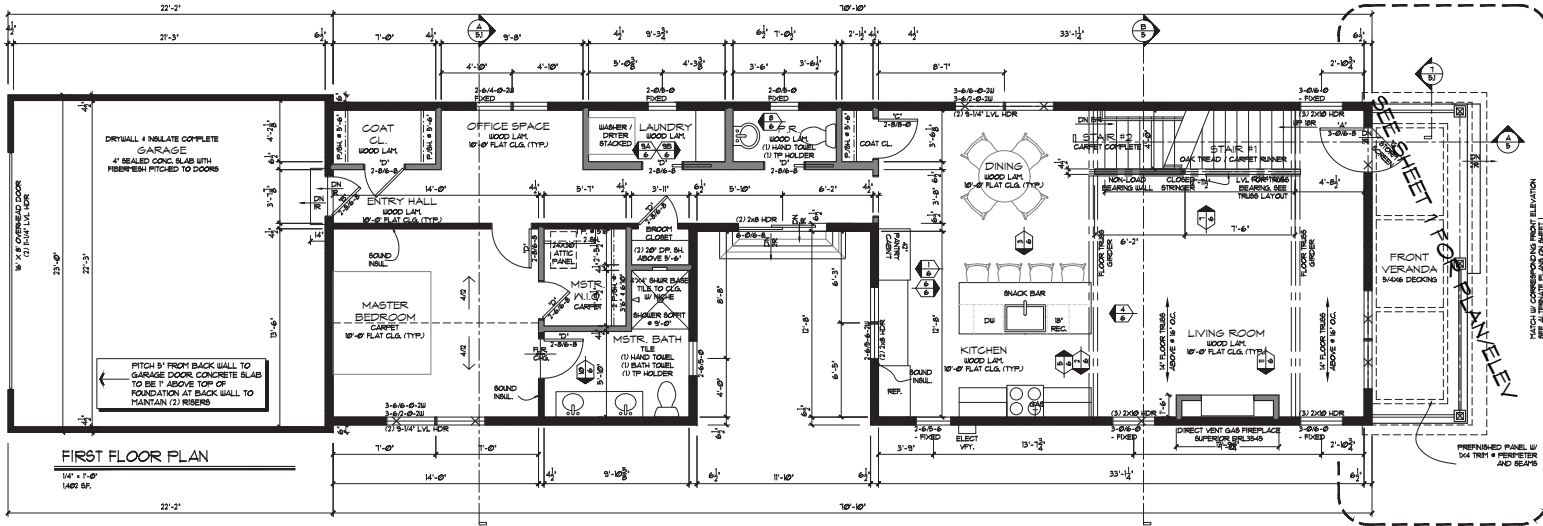


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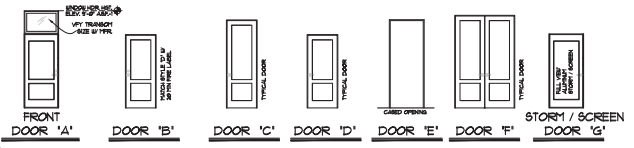
DATE: JULY 15, 2024
JOB: 2024-2
DRAWN BY: MAN
CHECKED BY: TAR

PERMIT SET



FIRST FLOOR PLAN

LOCATION	MANUFACTURER	MODEL	FINISH
FRONT DOOR LATCHSET	SCHLAGE	TBD	BLACK
FRONT DOOR DEADBOLT	SCHLAGE	TBD	BLACK
EXTERIOR SLIDING FRENCH DOORS	HARDWARE BY WINDOW MANUFACTURER		
WINDOW HARDWARE	HARDWARE BY WINDOW MANUFACTURER		
GARAGE DOOR LATCHSET	SCHLAGE	TBD	TBD
GARAGE DOOR DEADBOLT	SCHLAGE	TBD	TBD
TYPICAL DOOR HARDWARE	SCHLAGE	TBD	TBD
DOUBLE DOOR HARDWARE			
DOOR HINGES			TBD
DOOR BASE BOARD + HINGE STOPS			TBD
STAIR RAILING BRACKETS			
SHOWER DOOR HARDWARE			
CABINET KNOBS + PULLS			

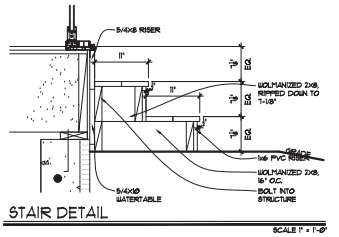


NOTE:
 * ENTRY DOORS TO RECEIVE KEYED LOCK AND DEADBOLT
 * ALL DOORS TO BE RABBIT PANEL
 * RESERVING AND SHOWER DOORS TO RECEIVE FRAMING HARDWARE
 * TYPICAL WALL DOORS TO RECEIVE PASSAGE HARDWARE
 * POCKET DOORS TO BE SELF-CLOSING
 * DOUBLE DOORS TO RECEIVE HALF-PASSAGE HANDLE AND CONCEALED FRAMING CATCH
 * 8'-0" DOORS TO HAVE (2) HINGES, 8'-6" DOORS TO HAVE (4) HINGES

GENERAL FIRST FLOOR NOTES

- *FIRST FLOOR SUBFLOOR - 0'-0"
 - *TYPICAL FLOOR HEIGHT 10'-0" UNLESS NOTED OTHERWISE
 - *TYPICAL FLOOR CEILING TO BE 10'-0" UNLESS NOTED OTHERWISE
 - *TYPICAL INTERIOR CEILING TO BE 4'-4" UNLESS NOTED OTHERWISE
 - *TYPICAL EXTERIOR CEILING TO BE (2) 2x8 UNLESS NOTED OTHERWISE
 - *ALL HEADERS ARE DROPPED UNLESS NOTED AS "RUSH"
 - *3/4" TYPICAL INTERIOR WALL UNLESS DIMENSIONED OTHERWISE
 - *VERIFY FINISHING SELECTIONS FOR TRIMS AND SHOWER MODULES
 - *SEE GENERAL FOUNDATION NOTES FOR LIVE AND DEAD LOAD INFORMATION
- - STRUCTURAL WOOD POST
 - X - POINT LOAD FROM ABOVE
 - ▨ - UNINSULATED WALL
 - - INSULATED WALL

- NOTE:
 IT IS THE CONCRETE CONTRACTOR'S RESPONSIBILITY TO VERIFY DIMENSIONS AND CONNECTIONS NEEDED FOR TIE DOUGS VERIFY WITH CONSTRUCTION MANAGER
- NOTE:
 FLOOR JOIST MANUFACTURER TO SUBMIT LAYOUT TO LAKESIDE DEVELOPMENT CO. FOR REVIEW, COMPLIANCE AND APPROVAL PRIOR TO DELIVERY AND INSTALLATION
- NOTE:
 LUMBER COMPANY TO CONFIRM REQUIRED POINT LOADS



SCALE 1/4" = 1'-0"

APPROVED BY: _____ DATE: _____

REVISIONS

LOT 11, 1ST FLOOR MASTER REV, ELEV. "E"
 LAKESIDE DEVELOPMENT
 THIENSVILLE, WISCONSIN



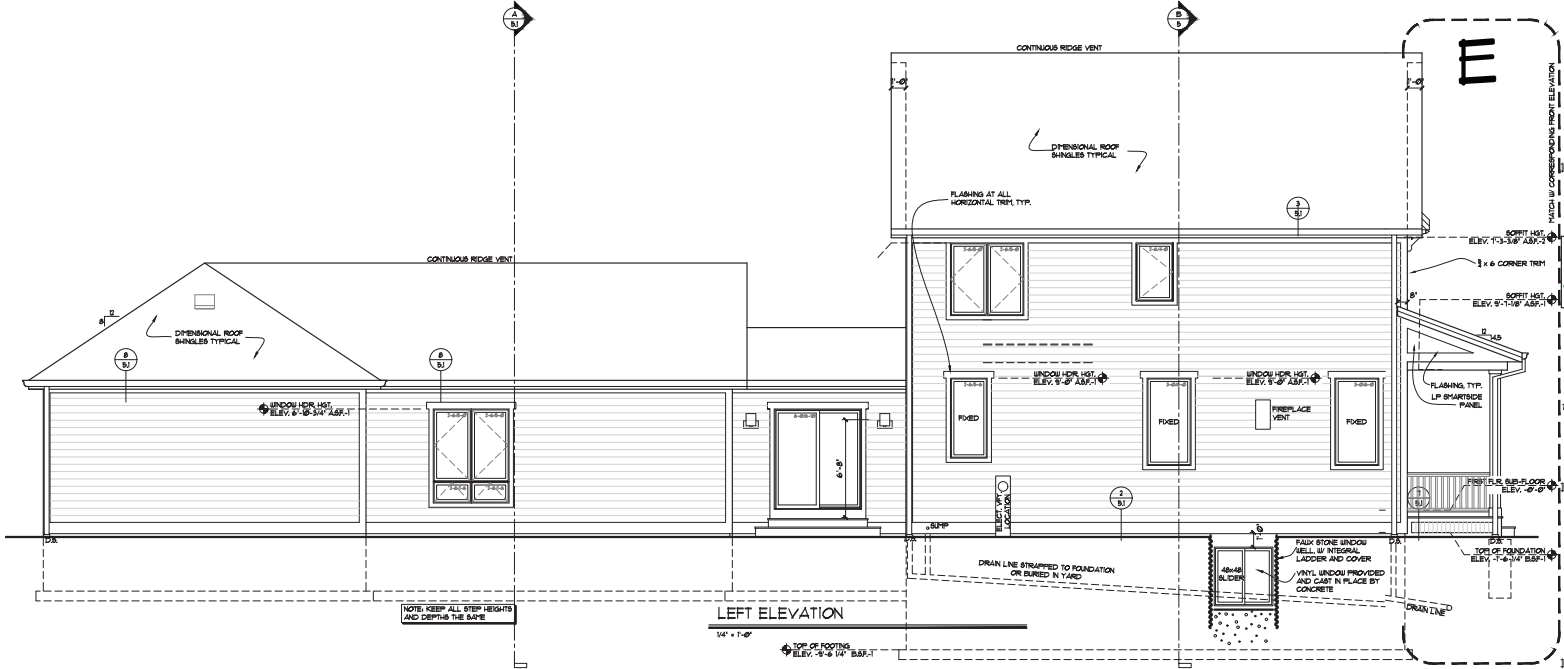
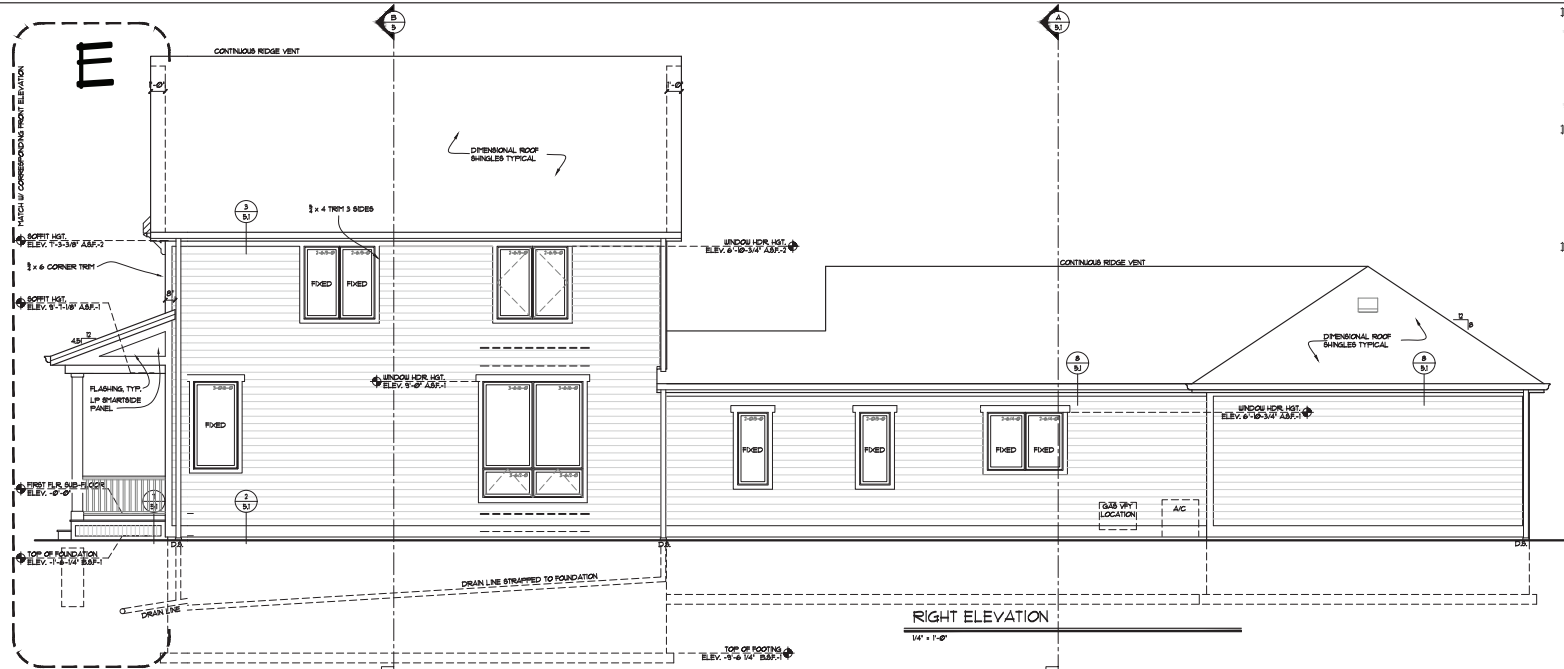
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 Mequon, Wisconsin 53092
 Tel: (262) 241-2300
 www.2hundredgreen.com

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 LakeSide Development Company (1389)

DATE: SEPT 17, 2023
 JOB: 2023-11
 DRAWN BY: MAN
 CHECKED BY: TAD
 ARCH REVIEW

3

1ST FLOOR PLAN



APPROVED
 BY: _____
 DATE: _____

NO.	REVISIONS

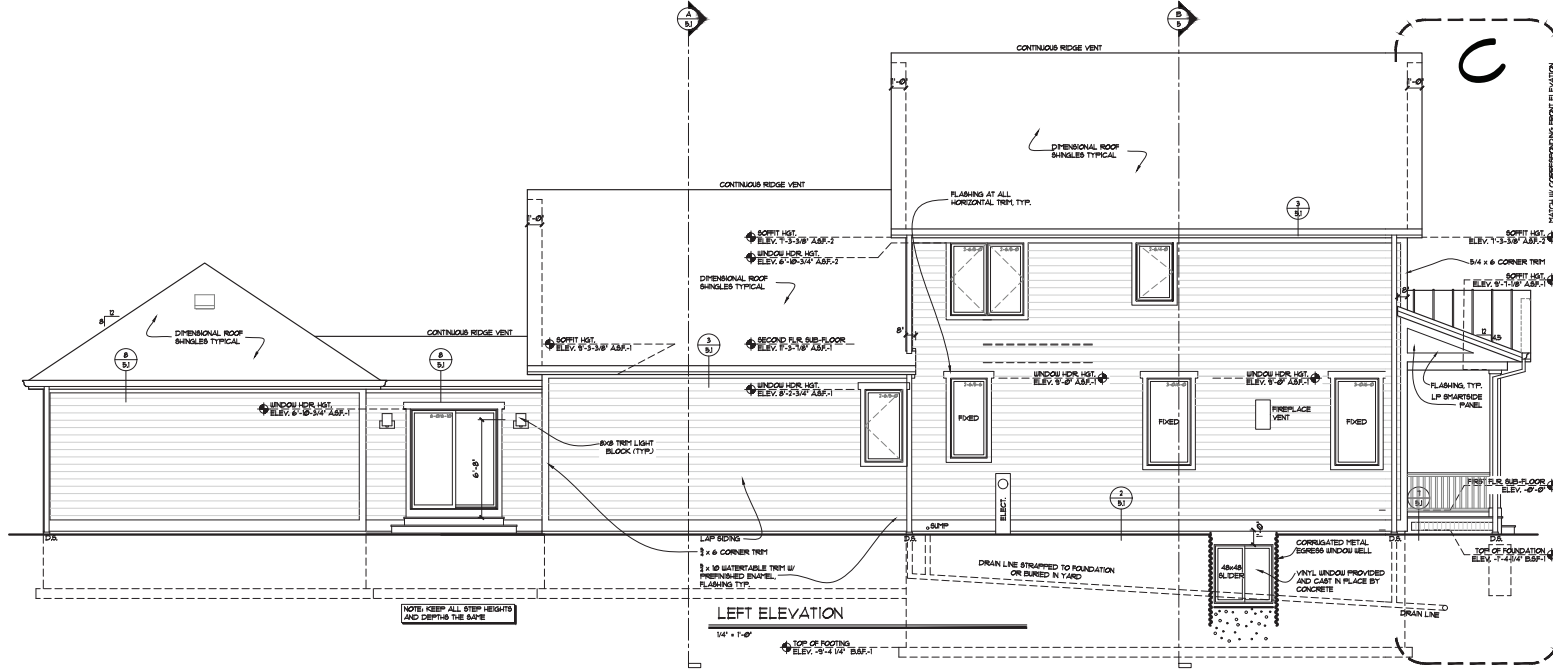
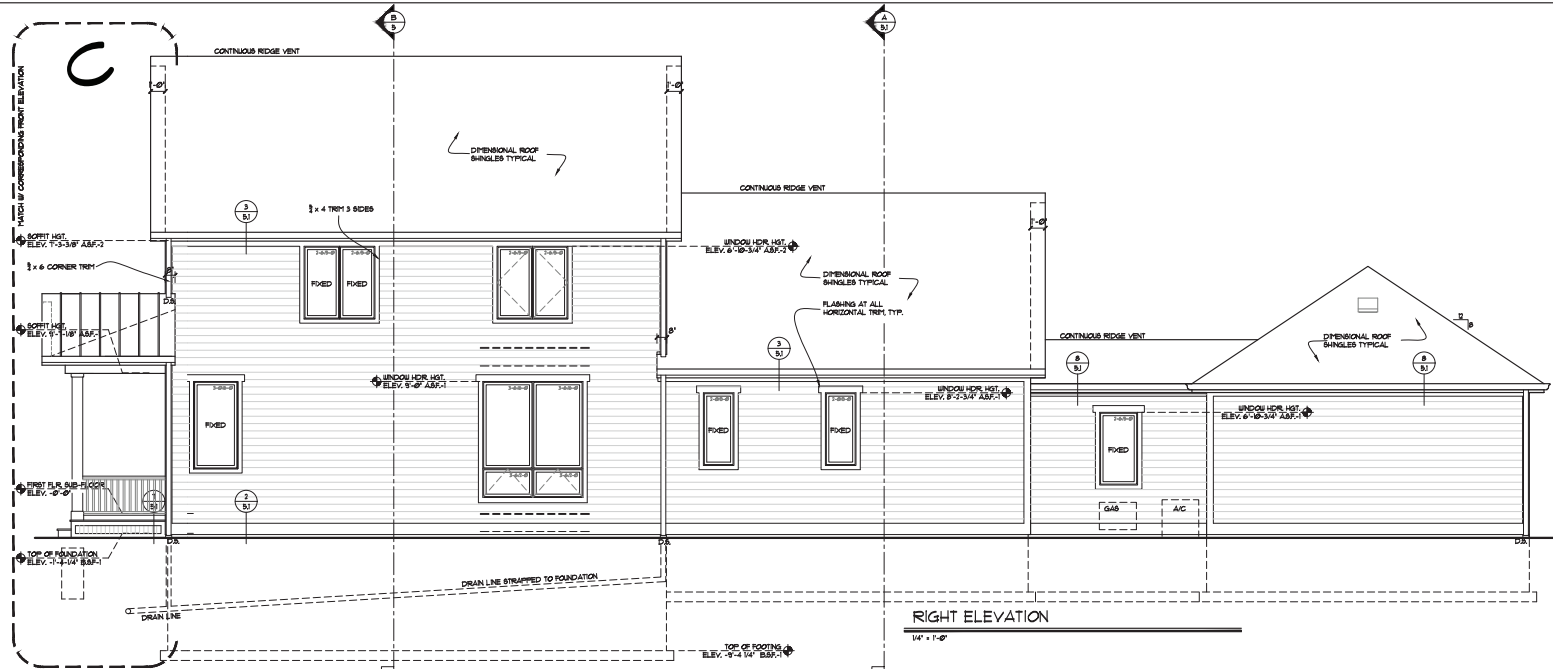
LOT 11, 1ST FLOOR MASTER REV, ELEV. "E"
 LAKESIDE DEVELOPMENT
 THIENSVILLE, WISCONSIN

two hundred Green

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 www.billandbobconstruction.com

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ARCH REVIEW
1.1
 ELEVATIONS



APPROVED
BY: _____
BY: _____
DATE: _____

REVISIONS	

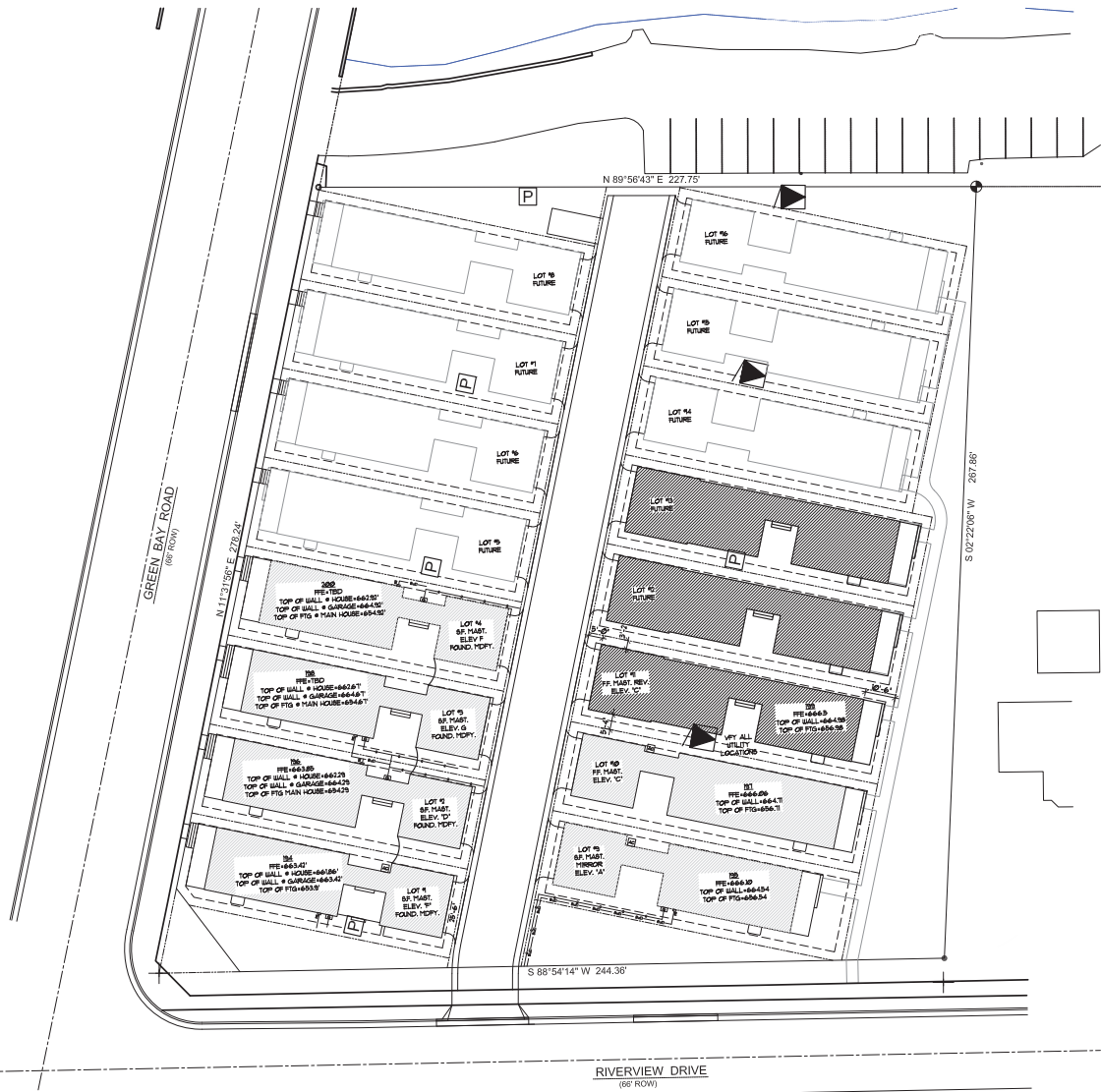
LOT 10, FIRST FLOOR MASTER, ELEV "C"
PIASEK ENTERPRISES - EMILIE ANSAY GERECHOFF
197 TWO HUNDRED GREEN WAY
THIENSVILLE, WI 53092

two hundred Green
A division of
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10033 N Port Washington Rd
Mequon, Wisconsin 53092
Tel: (262) 241-2300
www.l&lconstruction.com

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DATE: JULY 8, 2024
JOB: 190014.H
DRAWN BY: MAN.H
CHECKED BY: TAR.H

CONTRACT SET

1.1
ELEVATIONS



SHEET INDEX

- ST SITE PLAN
- 1 EXTERIOR ELEVATIONS
- 11 EXTERIOR ELEVATIONS
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APPROVED
BY: _____
DATE: _____

REVISIONS

SQUARE FEET

TOTAL FINISHED SF	2093
LOWER LEVEL FINISHED SF	0
FIRST FLOOR SF	1402
SECOND FLOOR SF	691

ELEVATION NOTE

PROPOSED TOP OF FOUNDATION WALL	664.38
PROPOSED GRADE	664.41
FIRST FLOOR SUBFLOOR	666.5

TOP OF FIRST FLOOR SUBFLOOR (A.S.F.-1) REFERENCED AS 0'-0" HEREAFTER
 HEIGHT ELEVATIONS ARE REFERENCED FROM THE FOLLOWING:
 ---ABOVE FIRST FLOOR SUBFLOOR IF NOTED A.S.F.-1
 ---ABOVE SECOND FLOOR SUBFLOOR IF NOTED A.S.F.-2
 ---BELOW FIRST FLOOR SUBFLOOR IF NOTED B.S.F.-1

LEGEND

- PLAN DETAILS SEE SHEETS 2 THRU 4.1
- ELEVATION DETAIL SEE SHEETS 1 AND 11
- INTERIOR ELEVATION DETAILS SEE SHEET 6 AND 6.1
- DOOR NUMBER
- ELEVATION DATUM
- 2x4 STUD WALL W/ 1/2" GYP. BD. BOTH SIDES - INSULATED
- 2x4 FLAT STUD WALL FLAT FRAMING W/ 1/2" GYP. BD. BOTH SIDES
- 2x6 STUD WALL W/ 1/2" GYP. BD. BOTH SIDES
- 2x6 STUD WALL W/ 1/2" GYP. BD. BOTH SIDES - INSULATED
- CONCRETE FOUNDATION WALL THICKNESS AND HEIGHT PER PLAN

LOT 11, 1ST FLOOR MASTER REV, ELEV. "E"
 LAKESIDE DEVELOPMENT
 THIENSVILLE, WISCONSIN

two hundred Green

A division of
Lakeside Development Company
 10033 N Port Washington Rd
 Mequon, Wisconsin 53092
 Tel: (262) 241-2300
 www.lakesidedevelopment.com

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■ DATE: SEPT 17, 2024 ■
 ■ JOB: 2024-1 ■
 ■ DRAWN BY: MAN ■
 ■ CHECKED BY: MAN ■
 ■ ARCH REVIEW ■

ST

SITE PLAN

Thiensville Plan Commission Staff Report - October 2025

Staff Approved Projects October 2025

Date	Address	Applicant	Project	Staff Approval	ZBOA	Approved	Denied

Code Compliance October 2025

Community Services			
Address	Owner	Complaint	Action
202 Woodside Ln	Glenn Heim	Vision Corner Obstruction	letter sent to HO
500 Oakwood Dr	Karen Anderson	Vision Corner Obstruction	letter sent to HO
506 Green Bay Rd	Polina Makievsky	Vision Corner Obstruction	letter sent to HO
600 Oakwood Dr	Donna Umpir	Property Maintenance Violation	letter sent via certified mail to HO

Police Department October 2025

Date	Location	Complaint	Action
10/1/2025	600 Oakwood		attempted to deliver property maintenance letter from village to HO - no answer
10/1/2025	129 N Highland	mattress outside in village ROW for weeks	moved mattress into yard; could not contact HO; upon looking again a few days later, mattress was gone
10/2/2025	251 Elm St	2 men fishing in fish passage	subjects were warned
10/2/2025	512 Grand Ave	garbage cans not screened	pamphlet left in front door
10/4/2025	508 Laurel Lake	expired registration on car	contact memo left on windshield
10/4/2025	316 Green Bay Rd	expired registration on car	final notice contact memo left on windshield
10/4/2025	524 Laurel Lake	expired registration on car	final notice contact memo left on windshield
10/4/2025	107 Concord	expired registration on car	contact memo left on windshield
10/4/2025	326 Riverview	excessive amount of large items on roadway and set out too early, for large item pick up	HO was made aware of ord and warned, DPW okay'd the amount of items
10/4/2025	201 W Alta Loma Cir	expired registration on car	spoke to HO who said it would be corrected the next day
10/6/2025	305 Sunny Ln	full temp dumpster in driveway	unable to contact HO, left copy of ord and contact memo
10/7/2025	423 N Main	2 cars with expired or no registration	left copies of ord and contact memo giving one week to correct issue
10/8/2025	250 S Main	full temp dumpster in driveway	upon looking again a week later, dumpster was gone
10/9/2025	316 Green Bay Rd	expired registration on car still	given multiple contact memos/warnings to correct; citation issued and mailed to HO due to not being able to make in-person contact
10/9/2025	216 S Orchard	car parked in yard	contact memo and copy of ord left on windshield
10/9/2025	108 Grand Ave	full temp dumpster in driveway	contact memo left for HO with copy of vill ord
10/9/2025	416 Oakwood	garbage cans not screened	pamphlet left on cans/attached
10/9/2025	500 Oakwood	garbage cans not screened	pamphlet left in drop box on garage
10/9/2025	503 Oakwood	garbage cans not screened	HO advised of ord, will correct issue
10/11/2025	703 Heidel	garbage cans not screened	HO advised of ord, corrected on spot
10/14/2025	338 Riverview	garbage cans not screened	pamphlet left on 6/8; will continue to attempt HO contact
10/15/2025	421 Bel Aire Dr	car parked in yard	contact memo and copy of ord left on windshield - HO did correct issue
10/15/2025	Green Bay/Grand	ad sign in village ROW	sign removed
10/16/2025	228 E Alta Loma Cir	full temp dumpster in driveway	will watch home to see if bag removed in required time
10/16/2025	718 Coronada	complaint of long grass at residence	spoke to HO, will correct within the week
10/16/2025	415 Bel Aire Dr	garbage cans not screened	HO advised of ord, was aware of it and will correct issue
10/16/2025	201 Madero	garbage cans not screened	HO advised of ord, will correct issue
10/17/2025	201 Spring St	car parked in yard	contact memo and copy of vill ord left on windshield
10/17/2025	200blk Williamsburg	car with expired registration still parked in lot	spoke with RO of vehicle; RO had vehicle towed away
10/18/2025	100blk Freistadt	ad sign in village ROW	sign removed
10/20/2025	112 S Highland	complaint of neighbor burning w/out permit	spoke with HO, they were only grilling with propane gas - no violation
10/22/2025	412 Bel Aire Dr	large chair in roadway (large item pick up not for another 2 weeks)	contact memo left telling HO to remove items until large pick up day
10/24/2025	250 Green Bay	ad sign in village ROW	sign removed
10/24/2025	Riverview/Green Bay	ad sign in village ROW	sign removed
10/24/2025	300blk N Main	ad sign in village ROW	sign removed

meeting date: 11/11/25