



**Village of Thiensville
Plan Commission
AGENDA**

Date:
Tuesday, June 10, 2025

LOCATION: 250 Elm Street, Thiensville, WI

Time: 6:00 PM

I. CALL TO ORDER

II. ROLL CALL

Chairman

John Rosing

**Director of Community
Services/Public Works**

Andy LaFond

Village Planner

Meredith Perks

Commissioners

Dan Daly

Rebecca Holyoke-
Odeja

David Lange

Joe Nelson

M. Randy Pasternak

Jerry Schmitz

III. CITIZENS TO BE HEARD

A. Open to any resident or taxpayer on items not subject to a public hearing: Please be advised per §19.84(2), information will be received from the public. Village policy limits a three (3) minute time period per person, with time extension by the presiding official's discretion or a vote of 2/3 of the Board or Committee; be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments. Written comments on agenda items are encouraged to be sent and addressed to the intended body by noon on the day of the meeting. Comments received timely will be forwarded to all members of the body. If you wish to speak, you must pre-register by emailing the Village Clerk at clandisch@village.thiensville.wi.us by 4:00 PM on the day of the meeting or by signing in immediately prior to the meeting.

IV. APPROVAL OF MINUTES

A. May, 13 2025 (att)

B. Joint Meeting May 19, 2025 (att)

V. BUSINESS

A. Presentation and Discussion Regarding Christ Alone Church and School Expansion Project

1. Review and Action Regarding Certified Survey Map (att)

2. Review and Recommendation Regarding Re-Zoning Parcel 120500713004 from R5-PDO Multi Family Residential to I1-Institutional and Parcel 120500713002 from B4 Highway Business District to I1-Institutional (att)

3. Review and Action Regarding Architectural and Site Plan

VI. STAFF REPORT

A. May, 2025 (att)

VII. ADJOURNMENT



VILLAGE OF THIENSVILLE
Plan Commission
MINUTES

DATE: Tuesday, May 13, 2025

LOCATION: 250 Elm Street, Thiensville, WI

TIME: 6:00 PM

I. CALL TO ORDER

Chairman Rosing called the meeting to order at 6:00 PM

II. ROLL CALL

Chairman

John Rosing

**Director of Community
Services/Public Works**

Andy LaFond

Village Planner

Meredith Perks

Commissioners

David Lange

Rebecca Holyoke-
Odeja

Vacant

Joe Nelson (Excused)

M. Randy Pasternak

Jerry Schmitz

III. CITIZENS TO BE HEARD

A. Open to any resident or taxpayer on items not subject to a public hearing: Please be advised per §19.84(2), information will be received from the public. Village policy limits a three (3) minute time period per person, with time extension by the presiding official's discretion or a vote of 2/3 of the Board or Committee; be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments. Written comments on agenda items are encouraged to be sent and addressed to the intended body by noon on the day of the meeting. Comments received timely will be forwarded to all members of the body. If you wish to speak, you must pre-register by emailing the Village Clerk at clandisch@village.thiensville.wi.us by 4:00 PM on the day of the meeting or by signing in immediately prior to the meeting.

IV. APPROVAL OF MINUTES

A. April, 15 2025 (att)

MOTION to Approve by Commissioner Holyoke-Odeja **SECONDED** by Commissioner Pasternak. **MOTION CARRIED UNANIMOUSLY.**

Aye: 5

No: 0

Abstain: 0

V. BUSINESS

A. Review and Recommendation to the Village Board Regarding Mixed Use Zoning Text Amendment (att)

Planner Perks explained the two proposed mixed-use districts: central mixed-use and neighborhood mixed-use.

The proposed text amendments would allow individuals to make a request for rezoning, which would allow the Village to review proposals for rezoning on a case-by-case basis rather than being required to rezone entire areas of the Village.

Planner Perks further highlighted the text edits made from the March meeting to the current proposal.

The central mixed-use district now includes a definition for two-flat use, similar to a duplex, but rather than side-by-side, it would be top and bottom units.

Maximum building heights in both districts have been increased by 5 feet.

The neighborhood mixed-use district's maximum building length has been extended by 25 feet.

Commissioner Lange asked if there is a definition of "active" in the documentation.

Planner Perks explained that active use means non-residential use, such as retail or office space with transparency and windows.

Commissioner Lange inquired if most municipalities use similar language to the proposed definitions to have some control over what kind of building will be constructed and where.

Planner Perks responded that yes, many municipalities use similar language. Planner Perks elaborated, stating that this language allows a municipality an opportunity to negotiate details on a building project, whereas pre-emptive zoning would limit the municipality's input.

Planner Perks further continued, stating that the PDO process would still be an option if a particular building process calls for it.

Director LaFond explained that the density numbers in the proposed districts were the top end

of what is possible.

Director LaFond then noted some factors that could limit density, such as parking requirements, green space requirements, and storm water requirements. These limitations and requirements are another tool the Village can use in negotiating with prospective developers.

Commissioner Pasternak inquired about the parking availability for new developments.

Director LaFond stated that parking requirements would vary depending on type of retail, for example, and that underground parking is an option if above ground does not offer enough space to meet requirements. This is another example of a natural limiter on the density in the proposed districts.

Commissioner Pasternak questioned if the Village had the opportunity to create more parking.

Director LaFond replied that there are opportunities, particularly along Freistadt Rd. to add dedicated street parking and that some projects have already included those opportunities in the concept stage.

Director LaFond explained the concurrent processes for the comprehensive plan amendment and the mixed-use zoning amendment.

The public hearing for the comprehensive plan amendment will be held on May 19 in a joint meeting of the Plan Commission and the Village Board.

The Planning Commission will make a recommendation regarding the comprehensive plan change to the Village Board.

MOTION to Recommend to the Village Board Regarding Mixed Use Zoning Text Amendment by Commissioner Schmitz **SECONDED** by Commissioner Pasternak. **MOTION CARRIED UNANIMOUSLY.**

Aye: 5

No: 0

Abstain: 0

VI. STAFF REPORT

A. April, 2025 (att)

VII. ADJOURNMENT

MOTION to Adjourn at 6:35 PM by Commissioner Pasternak **SECONDED** by Commissioner Holyoke-Odeja. **MOTION CARRIED UNANIMOUSLY.**

Aye: 5

No: 0

Abstain: 0

Submitted by,

Ben Honeck
Deputy clerk

Signed by,

Colleen Landisch-Hansen
Village Administrator/Clerk



VILLAGE OF THIENSVILLE
Board of Trustees
MINUTES

DATE: Monday, May 19, 2025

LOCATION: 250 Elm Street, Thiensville, WI

TIME: 6:00 PM

I. CALL TO ORDER

President Rosing called the meeting to order at 6:00 PM

II. ROLL CALL

BOARD OF TRUSTEES

President

John Rosing

Administrator

Colleen Landisch-Hansen

Staff

Director of Community Services/Public Works Andy LaFond

Police Chief Curt Kleppin

Deputy Village Clerk/Administrative Coordinator Ben Honeck

Board of Trustees

Jennifer Abraham

Angelina Apostolos

Kristina Eckert

Vacant

David Lange

Richard Longabaugh

PLAN COMMISSION

Chairman

John Rosing

Director of Community Services/Public Works

Andy LaFond

Village Planner

Meredith Perks

Commissioners

David Lange

Rebecca Holyoke-Odeja

Vacant

Joe Nelson

M. Randy Pasternak

Jerry Schmitz

III. PUBLIC HEARING FOR THE PURPOSE OF SEEKING PUBLIC INPUT TO CONSIDER AMENDMENTS TO THE VILLAGE OF THIENSVILLE 2035 COMPREHENSIVE PLAN

A. Motion to Open Public Hearing

MOTION to Open Public Hearing by Trustee Longabaugh **SECONDED** by Trustee Abraham. **MOTION CARRIED UNANIMOUSLY.**

Aye: 10

No: 0

Abstain: 0

1. Administrator to Read and Explain Notice (att)

See attached file "LUP Amendment 5_19_2025" for reference

Administrator Landisch-Hansen read the notice and explained the effect of the proposed amendments.

2. Village Planner and Village Staff to Give Brief Explanation of Proposed Comprehensive Plan Amendments (att)

Planner Perks and Director LaFond gave a brief overview of the proposed comprehensive plan amendments.

Planner Perks explained that due to the amendments requiring action from both the Plan Commission and the Village Board, the joint public hearing was decided on as the most efficient way to receive public input and allow both bodies to take action on the amendments.

Planner Perks further explained that only the Comprehensive Plan amendments were being addressed by this meeting. Either body can and will be able to review specific projects in the future with regard to any needed zoning changes.

Planner Perks introduced the proposed changes to the Planned Land Use Map and explained the two new districts, namely Neighborhood Mixed Use and Commercial Mixed Use.

3. Comments from Anyone Present to be Heard

None.

4. Administrator to Read any Correspondence Received Related to Proposed Comprehensive Plan Amendments

No correspondence received.

5. Comments from the Village Board and Plan Commission

Trustee Lange shared that the only concern that has been heard is in regard to potential congestion from added traffic at the Christ Alone location.

Trustee Eckert stated that during the Plan Commission meeting on May 13, 2025 this issue had been discussed and satisfactorily addressed by the Christ Alone project team.

Commissioner Holyoke-Odeja echoed the opinion that the Christ Alone project team addressed the congestion concern in the May 13, 2025 Plan Commission meeting.

Planner Perks reiterated that there will be an additional public hearing regarding the Christ Alone project and that hearing will allow for any concerns to be heard and potentially addressed.

B. Motion to Close Public Hearing

MOTION to Close Public Hearing at 6:14 PM by Trustee Eckert **SECONDED** by Trustee Longabaugh. **MOTION CARRIED UNANIMOUSLY.**

Aye: 10

No: 0

Abstain: 0

IV. PLAN COMMISSION BUSINESS

A. Review and Recommendation Regarding Resolution 2025-07 Resolution Recommending Amendments to the Village of Thiensville 2035 Comprehensive Plan - Village of Thiensville (att)

MOTION to Recommend Resolution 2025-07 Resolution Recommending Amendments to the Village of Thiensville 2035 Comprehensive Plan - Village of Thiensville by Commissioner Holyoke-Odeja **SECONDED** by Commissioner Schmitz. **MOTION CARRIED UNANIMOUSLY.**

Aye: 6

No: 0

Abstain: 0

B. Review and Recommendation Regarding Resolution 2025-08 Resolution Recommending Amendment to the Village of Thiensville 2035 Comprehensive Plan -

Christ Alone Evangelical Lutheran Church (att)

MOTION to Recommend Resolution 2025-08 Resolution Recommending Amendment to the Village of Thiensville 2035 Comprehensive Plan - Christ Alone Evangelical Lutheran Church by Commissioner Holyoke-Odeja **SECONDED** by Commissioner Nelson. **MOTION CARRIED UNANIMOUSLY.**

Aye: 6

No: 0

Abstain: 0

V. BOARD OF TRUSTEES BUSINESS

A. Review and Action Regarding Proposed Ordinance 2025-03 to Adopt Amendments to the Village of Thiensville Comprehensive Plan (Tax Parcels 120500224003, 120500224005, 120500224002, 120500224001) (att)

MOTION to Approve Ordinance 2025-03 to Adopt Amendments to the Village of Thiensville Comprehensive Plan (Tax Parcels 120500224003, 120500224005, 120500224002, 120500224001) by Trustee Eckert **SECONDED** by Trustee Apostolos. **MOTION CARRIED UNANIMOUSLY.**

Aye: 6

No: 0

Abstain: 0

B. Review and Action Regarding Proposed Ordinance 2025-04 to Adopt Amendments to the Village of Thiensville Comprehensive Plan (Tax Parcels 120500713002, 120500713004, 120500711000) (att)

MOTION to Approve Ordinance 2025-04 to Adopt Amendments to the Village of Thiensville Comprehensive Plan (Tax Parcels 120500713002, 120500713004, 120500711000) by Trustee Lange **SECONDED** by Trustee Apostolos. **MOTION CARRIED UNANIMOUSLY.**

Aye: 6

No: 0

Abstain: 0

VI. ADJOURNMENT

MOTION to Adjourn at 6:18 PM by Trustee Eckert **SECONDED** by Commissioner Schmitz. **MOTION CARRIED UNANIMOUSLY.**

Aye: 10

No: 0

Abstain: 0

Submitted by,

Ben Honeck
Deputy clerk

Signed by,

Colleen Landisch-Hansen
Village Administrator/Clerk

**CHRIST ALONE 247 SOUTH MAIN STREET
CHRIST ALONE EVANGELICAL LUTHERAN CHURCH
PLAN COMMISSION REVIEW**

To: Thiensville Plan Commission
Date: June 1, 2025

Prepared by: Meredith Perks, Village Planner

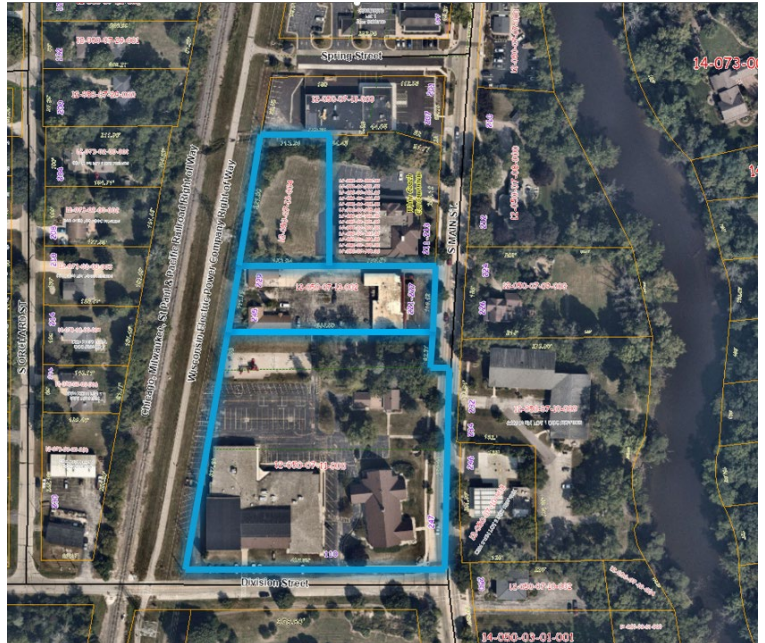
General Information

Applicant:	Geoff Grossman, Christ Alone Evangelical Lutheran Church and School
Status of Applicant:	Parish Administrator
Location:	247 South Main Street
Requested Action:	A. CSM Review and Approval B. Building and Site Plan Review and Approval C. Rezoning Review and Recommendation
Existing Zoning:	I-1, B-4, PDO

Background Information:

The applicant is proposing an expansion of both the school and church buildings that require numerous steps in the review and approval processes. The project includes a Certified Survey Map (CSM) to combine parcels, a Comprehensive Plan Amendment and rezoning to convert the new parcel to Institutional, building, site plan and sign plan review, and review by the Historic Preservation Commission. The Plan Commission and Village Board have amended the 2035 Comprehensive Plan Planned Land Use Map to update the site's land use categories to Governmental and Institutional.

As stated in the Plan Commission Application narrative and at the consultation on April 15, 2025, the proposed plan will include the demolition of existing single story buildings on the current site. The primary improvements in the plan include a 27,750 sf addition to the existing school building on the west side of the site and a new 10,550 sf addition to the existing Church building for a new Fellowship Hall. The plan will also include expanding parking and drive lanes, a new access point on South Main Street, and a 750 sf garage on the north side of the site. New parking is also shown along Division Street on the south side of the school building.



CSM Review:

The proposed CSM will combine three parcels, owned by the applicant, to a single parcel. The CSM will benefit the applicant and the Village by simplifying the parcels as well as zoning map to reflect the present ownership. Planning and engineering review do not have comments and recommend approval.

Building and Site Plan Review:

The proposed project was reviewed for compliance with the I1-Institutional Zoning District standards, as described in the table below.

Yard/Height Requirement	I1-Institutional Standard	Proposed Project Compliance
Minimum Total Lot Area	15,000 sf	Yes
Minimum Lot Width	100 ft	Yes
Minimum Street Setback (Division)	40 ft	Yes*
Minimum Street Setback (Main)	32 ft	Yes*
Minimum Side Yard	15 ft	Yes
Maximum Building Height	35 ft	Yes

*Although the zoning standard requires a 32 ft yard setback on the Main Street frontage and a 40 ft yard setback on the Division Street frontage, the Church and School existing buildings are located 20 feet from the respective property lines. The proposed Fellowship Hall expansion to the Church aligns with the existing building setback. Allowing for this modification, per Section 17.0604 of the Zoning Code, will create a better designed and more consistent project overall and is to the benefit of the Village.

The application proposes a total of 161 to 198 parking stalls, including 6 ADA stalls. The Thiensville Zoning Code parking regulations, Section 17.0503.M.(5), Elementary Schools require 1 space per teacher and staff member and Churches require 1 space per 3 seats at maximum capacity of the facility. According to the application, this would require a minimum of 117 spaces to accommodate the Church maximum demand. Approximately 59 spots will be blocked during school hours to create an outdoor play area. The parking lot is designed according to zoning standards, however, Engineering comments have noted that the new driveway proposed to open on Main Street exceeds the maximum width set in Section 17.0504. Staff are comfortable with this modification to allow for safer circulation.

The applicant provided a queueing exhibit, illustrating the pickup/dropoff circulation pattern. According to the exhibit, 60 vehicles can queue in a double stack around the parking area on-site without impacting traffic on Main Street. Additionally, the proposed Main Street drive will be an entrance only during dropoff and pickup times, limiting congestion on Main Street at peak times.

The proposed parking area landscape plan differs from the Zoning Code, proposing landscape areas in the parking area of 8.8% rather than the 10% required in the Code. This reduction in landscaping allows for the parking lot play area and the ability to maintain safety and visibility. Staff recommend allowing for this modification, per Section 17.0503.G. The proposed landscaping plan also illustrates the proposed screening of the parking area. Parking areas will be appropriately screened from the residential uses to the north. Screening requirements for the Main Street frontage requires a masonry wall with plantings at the sidewalk. The proposed landscaping plans do not indicate a masonry wall or plantings in front of the parking area. The applicant has indicated that modern school safety standards prioritize site lines and visibility. Staff are comfortable with modern design and safety standards for schoolyards and parking areas, but would like to work with the applicant on some low landscaping to soften the parking edge fronting Main Street. The proposed light poles meet the Code height maximums and will be cutoff type fixtures as required.

Review of the application finds that the proposed project meets the Criteria for Review and Approval, Section 17.1209. This includes the project’s consistency with the Comprehensive Plan as well as the general welfare of the Village. The project is compatible with surrounding uses, does not cause undue strain on Village infrastructure or public services, demonstrates adequate traffic and circulation plans, and meets zoning requirements. Staff recommends Site Plan approval with the following conditions:

1. Applicant should work with Village staff to address parking area screening requirements, including low plantings along Main Street frontage.
2. Applicant should work with Village staff to confirm all proposed luminaires comply with Village code standards, including maximum wattage.
3. Applicant should provide additional detail on the building materials proposed for the School expansion and plans for screening rooftop mechanical equipment.
4. Applicant shall provide a Sign Plan and permit application per the Village of Thiensville Sign Code.
5. Applicant shall comply with all Engineering comments attached in “Christ Alone Village Engineering Review”.

Architectural Review:

The proposed buildings will be consistent and compatible with the design and materials of the existing Church and School structures. Proposed materials are generally of acceptable quality and will be compatible with the existing buildings, including in color. The applicant has improved the color and siding on the Church and garage buildings. The applicant also enhanced the landscape screening of the maintenance garage. Staff recommend architectural approval, but requests additional detail on the materials used for the School expansion and screening of rooftop mechanicals from the applicant.

Sign Code:

The applicant requests approval to relocate the existing monument sign to the proposed driveway on Main Street. The applicant also proposes 2 new wayfinding signs at the site’s Division Street entrance. Staff request that the applicant submit a Sign Plan and permit application to describe the planned landscaping around the monument sign and the design, materials, and placement of the wayfinding signs.

Rezoning Review:

The applicant is also requesting to rezone the newly combined parcel to I1-Institutional. Current zoning of the three parcels includes I1-Institutional, B4-Highway Business District, and a Planned Development Overlay, which has expired. Rezoning the entire property to I1-Institutional will reflect its current and future use. Private schools and places of worship are permitted by right in the I1-Institutional Zoning District. On May 19, 2025, the Plan Commission and Village Board approved an amendment to the 2035 Comprehensive Plan, creating consistency between the Planned Land Use Map and Zoning Map. Staff recommend that the Plan Commission recommend the rezoning request to the Village Board for approval, pending a public hearing.

Recommendations:

1. Staff recommends the Plan Commission approve the Attachment “CSM-Christ Alone Evangelical Lutheran”
2. Staff recommends the Plan Commission approve the Building and Site Plan and Architectural Review with the following conditions:
 - a. Applicant should work with Village staff to address parking area screening requirements, including low plantings along Main Street frontage.

- b. Applicant should work with Village staff to confirm all proposed luminaires comply with Village code standards, including maximum wattage.
 - c. Applicant should provide additional detail on the building materials proposed for the School expansion and plans for screening rooftop mechanical equipment.
 - d. Applicant shall provide a Sign Plan and permit application per the Village of Thiensville Sign Code.
 - e. Applicant shall comply with all Engineering comments attached in “Christ Alone Village Engineering Review”
3. Staff recommend the applicant provide a complete Sign Plan and permit application prior to construction permitting.
4. Staff recommend the Plan Commission recommend the rezoning request to I1-Institutional to the Village Board for approval following a public hearing.

May 16, 2025

Mr. Andy LaFond
Director of Community Services/ Public Works
Village of Thiensville
250 Elm Street
Thiensville, WI 53092

Re: Christ Alone Building Addition
Site Plans and Storm Water Review

Dear Andy,

We have reviewed the Plan Commission submittal documents submitted for review on March 20, 2025. The site development plan set is dated March 19, 2025 and the stormwater management plan is dated March 21, 2025. We offer the following comments:

Certified Survey Map and Rezoning Exhibits

1. We have reviewed the proposed consolidated Certified Survey Map and Rezoning Exhibits "A" and "B" dated March 18, 2025 and have no review comments regarding these documents.

Site Development Plans

2. Plan Sheet T1 Cover Sheet:
 - a. Under General Notes no. 1, revise Village of Mequon reference to "City of Mequon Standard Specifications."
 - b. Under General Notes no. 12, revise Village of Thiensville reference to "City of Mequon Water Utility."
3. Plan Sheet C1.0 Existing Site Plan:
 - a. Show proper abandonment of existing 6" water service on Main Street.
 - b. Show existing storm sewer on property (north of existing church building) to be removed and add note to cap/bulkhead 8" sewer opening in existing storm manhole.
 - c. There are 5 active sanitary laterals along Main Street to this site. Per Section 78-134.1 of the Village Code, any unused laterals shall be severed from the main and a permanent seal placed at the main connection.
4. Plan Sheet C1.1 Proposed Site Plan:
 - a. Show concrete curb and gutter replacement of existing concrete driveway opening being removed on Main Street (south of proposed driveway opening).
 - b. Proposed driveway opening off of Main Street is 34 feet at the street line, which exceeds the 24 feet maximum width set in Section 17.0504 of the Village Zoning Code. The wider driveway opening is proposed to accommodate designated right-turn and left-turn lanes for safer traffic circulation.
 - c. Based on the drawing hatch, it appears that the public sidewalk along Main Street and Division Street is being replaced. If that's not the case, the proposed sidewalk hatch should be removed.

5. Plan Sheet C2.0 Grading & Drainage Plan:
 - a. Show locations of catch versus reject curb and gutter.
 - b. Review and revise spot grades between new building additions, as some of the grades are in the 550's elevations.
6. Plan Sheet C2.1 Underground Detention System Plan:
 - a. On the Restrictor Structure detail, there's a note for the 3" orifice to be partially plugged to a 4" diameter during construction. Is this the correct size?
7. Plan Sheet C3.0 Erosion Control Plan:
 - a. Add to note no. 8 of the Construction Sequence Plan to contact Mequon Water Utility prior to connecting to existing water main.
 - b. Include installation of underground detention system in construction sequence.
 - c. Remove reference to bio-filtration basin in construction sequence.
 - d. Recommend calling out type of inlet protection on plans such that proper inlet protection is installed in the correct locations, specifically Type D inlet protection in low lying areas.
 - e. Provide inlet protection to existing storm inlet on Division Street, south of existing church.
8. Plan Sheet C4.0 Utility Plan:
 - a. Revise storm sewer note for connection on Main Street to connect to "EX. STM MH" not INL.
 - b. Provide utility pipe slopes, lengths, inverts and rim grades for structures.
 - c. Utility trenches within 5 feet of an existing public roadway shall be backfilled with slurry backfill.
9. All water main construction shall meet the requirements of the City of Mequon Standard Specifications. Proposed water main plans must be submitted to the City of Mequon Water Utility Planning Engineer for approval.
10. Provide construction details for the private water hydrants and valves, public concrete sidewalk, curb & gutter, and concrete pavement replacement on Main Street.
11. A sequencing plan shall be developed for on-site safety, traffic control, protection, phasing, etc. for installation and removals of existing and proposed driveways, site security fence, separation of construction activities from active school activities, contractor access and parking locations, etc. It is not clear how construction activities will coincide with existing school activities, how safe vehicular and pedestrian access will be maintained.

Stormwater Management Plan (SWMP)

12. The proposed development is defined as a redevelopment involving a net increase of more than one-half acre of impervious surface. Per this definition the site requires a stormwater runoff management plan per MMSD Chapter 13 rules.

Mr. Andy LaFond
Christ Alone Building Addition
May 16, 2025
Page 3

13. The proposed stormwater management plan will meet or exceed the requirements of MMSD's Chapter 13 Surface Water and Stormwater Rules.
14. Final development plans and Stormwater Management Plan will need to be submitted to MMSD to independently evaluate compliance with MMSD's runoff management requirements. Plans are due within 30 days after all relevant design decisions are complete and the Village has concluded that the development meets all local requirements.
15. Provide Total Phosphorus modeling results in the WinSLAMM analysis. This data also needs to be provided in the water quality summary in the Stormwater Management Plan.

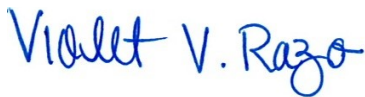
General Comments

16. Provide copy of approved WDNR construction site storm water permit (NOI) prior to construction.
17. A stormwater maintenance agreement will need to be implemented for on-site BMPs and conveyance systems prior to construction.
18. Based on the most current FEMA Floodplain maps, the site is not in the regional floodplain.
19. Provide copies of all vacated and new easements as part of this project.
20. Final Drawings and Stormwater Management Plan will need to be stamped and signed by a Professional Engineer licensed to practice in the State of Wisconsin.

As plans are developed and finalized, additional comments may be forthcoming prior to final approval. If you should have any questions regarding this, please feel free to contact me at (262) 542-5733.

Respectfully,

RUEKERT & MIELKE, INC.



Violet V. Razo, P.E. (WI)
Project Manager
vrzo@ruekert-mielke.com

VVR:sjs

cc: Jerad J. Wegner, P.E., Ruekert & Mielke, Inc.

PLAN COMMISSION APPLICATION

Submission Information:

A complete application along with the appropriate fees shall be submitted by the deadline stated on the meeting schedule to the Village Clerk In order for an application to be considered complete, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. The applicant is responsible to pay planner charges after a first half hour of planner time. Owner, architect, builder or owner's representative must attend the Plan Commission meeting for action to be taken. Work cannot begin until Plan Commission approval and paid and approved building permit.

Property Address: Christ Alone - 247 S. Main St., 221-227 S. Main St., 229 S. Main St., 211 S. Main St., North Campus and 245 S. Main St.

12-050-07-11-000, 12-050-07-13-002,
Tax Key # and 12-050-07-13-004

I-1, B-4, and PDO (lapsed)

Current Zoning

Property Owner:

Geoff Grossman, Parish Administrator

Name Christ Alone Lutheran School
247 S. Main St. Thiensville, WI 53092

Address

(262) 242-4710

Phone

geoff_grossman@christalnewels.org

Email Address

Applicant: Same as Owner

Name

Address

Phone

Email Address

Project Description:

Please describe your project in detail. Include details about height and dimensions, color, materials used, and setbacks from the street and property lines. Provide any information that you believe will assist staff in reviewing and approving your request.

The project involves the demolition of existing single story buildings at the property to create a new campus plan for Christ Alone Lutheran School North Campus. The proposed plan includes a new 27,750 SF addition to the existing school building, a new 10,550 SF addition to the existing Church building, expanded parking and new drive lanes, and a new 750 SF maintenance garage. The setbacks are indicated on the attached site plan. All proposed new buildings will be single-story slab on grade structures. The height of the proposed school addition is 26'-8". The height of the proposed church addition is 32'-8". The height of the garage is 17'-4". The exterior materials for the school addition include brick veneer to match the existing school, precast wall panels, prefinished aluminum windows and doors, and prefinished metal roof coping. The exterior materials for the church addition include stone veneer to match the existing church, architectural precast accents, fiber cement siding to match the color of siding on the existing church, prefinished aluminum windows and doors, and prefinished metal roof coping. The garage will have fiber cement siding to match the church addition. The roof on the school will be EPDM. The roof on the church will be dimensional asphalt shingles on sloped roofs and EPDM on low-slope (flat) roofs. The roof on the garage will be dimensional asphalt shingles on the sloped roof to match the church addition. See attached Owner narrative for more information.


Applicant Signature

3/20/2025

Date

Planner Fee Schedule: The Village provides the first half hour of the Village Planner’s services. Any additional plan review time is billed at \$130.00/hr.

Application Checklist: *Two paper copies and an electronic copy with files in PDF format (plan size 11X17) must be submitted for all applicable items below for planner review and the Plan Commission packet.*

Submit scaled site plan with proposed location and setbacks with accurate dimensions indicating the property size, its relationship to surrounding properties, existing topography, key natural features and show the location of all existing and proposed:

A. Structures, showing all entrances	K. Dumpster location and screening
B. Driveways & street access	L. Location, color, message, dimensions and materials of all signs
C. Parking areas	M. Location, size and character of dedicated or private open space
D. Walkways	N. Location of sanitary sewer, storm sewer, water mains and services and storm water detention facilities
E. Existing landscaping	O. Floor plan of building or addition
F. Abutting public and private streets	
G. Public easements	
H. Surrounding land uses and zoning	
I. Retaining walls	
J. Decorative accessories	

Storm water management plan.

Completed building permit application (including two full size plan sets with state stamp for commercial and multi-family). N/A - Building Drawings are concept plans at this time. Not applying for Building Permit yet.

Grading plan showing existing and finished grades.

Professionally prepared landscape plan.

Lighting plan; photometric plan, type of fixtures, wattage and location and height of lighting structures.

Topographic data or pertinent grade elevations, if necessary, for proper remodeling of existing buildings showing finished exterior treatment.

Colored elevations of proposed buildings, structures and fencing, or of proposed remodeling of existing buildings, showing finished exterior treatment and a listing of building materials.

Is this property in Thiensville’s Historic District? Yes No

If yes, you must apply for a Certificate of Appropriateness with the Historic Preservation Commission. Complete the COA application. Attendance at HPC meeting is required.

**All Commercial and Multi-Family projects including any change of occupancy, change of use, or construction/alteration must be submitted to the Southern Ozaukee Fire Department for review, approval, and inspections.*

Village Staff Review

Application Complete. Items needed: _____

Submitted to Village Planner on _____ Approved by planner on _____

Historic Preservation Approval (if needed) on _____

Additional Remarks/Conditions:

Village Staff Signature

Date

ZONING & DEVELOPMENT APPLICATION

Submission Information:

In order for applications to be processed, all required information drawings, application signatures, and fees must be submitted at the time of application. The Zoning Administrator reserves the right to deny any application that is incomplete or that is not accompanied by the required documents and plans.

Project Name: _____ **Date:** _____

Submittal deadline for next Plan Commission meeting: _____

Property Address: _____

Tax Key #	Current Zoning	Proposed Zoning

Property Owner:

Name

Address

Phone

Email Address

Applicant: Same as Owner

Name

Address

Phone

Email Address

If the applicant is not the owner of record, the applicant must submit a signed letter of authorization along with the application.

Project Description:

→ Current use of the site or tenant space: _____

→ Proposed use of site or tenant space: _____

→ Will there be any exterior changes to the building, site, or signage? Yes No

If yes, a Planning Commission application form and existing and proposed exterior elevations shall be submitted to the Community Services Department for approval. Some projects may be approved at the staff level while others may require Plan Commission approval.

Describe in detail the proposed activities to be conducted or the proposed construction at the subject property, and any accessory activities to be conducted:

Applicant and Owner hereby certify that they have read and understand all the information in this form.

 Applicant Signature 

 Owner Signature

 Date

 Date

Application Checklist (Review Submittal Required):

- Two paper copies and an electronic copy with files in PDF format
- Owners' statement
- Related exhibits (See Plan Commission checklist)
- Application and fees due 14 days prior to Plan Commission meeting for small projects; 30 days for large projects

Parcel 12-050-07-13-004 is in the Historic District

Is this property in Thiensville's Historic District? Yes No

If yes, you must apply for a Certificate of Appropriateness with the Historic Preservation Commission.

VILLAGE OF THIENSVILLE DEVELOPMENT APPLICATION FEE SCHEDULE

TYPE OF REQUEST	BASE FEE	✓	Receipt
Pre-Application – Phone Consultation	\$25.00		
Pre-Application Conference/ Conceptual approval before Plan Commission	\$350.00		
Rezoning Requests*/Parcel Splitting	\$1,000.00 plus consultant rate for time over 6 hours		
SITE PLAN REVIEW			
Minor Requests (no construction)	\$350.00 plus consultant rate for time over 6 hours		
Minor Site Plan Request			
Zoning Code Research/Review			
BSOP Construction (<10,000sf)	\$350.00 plus consultant rate for time over 6 hours		
BSOP Construction (10,000sf – 50,000sf)	\$1,050.00 plus consultant rate for time over 6 hours		
Certified Survey Map	\$525.00 plus consultant rate for time over 3 hours		
Amendment to the Zoning Ordinance (Map or Text)*	\$1,050.00 plus consultant rate for time over 6 hours		
Planned Unit Development Overlay*	\$2,000.00 plus consultant rate for time over 8 hours		
Request for Variance*	\$350.00 plus consultant & legal rates for time over 6 hours		
Conditional Use Permit*	\$750.00 plus consultant rate for time over 4 hours and cost of the public hearing notice		
Special Exception Request	\$350.00 plus consultant & legal rates for time over 6 hours		
Certificate of Appropriateness – Historic Preservation, Residential or Commercial Historic Preservation District	No Charge		
Plan Commission Review (Residential)	No Charge		

DATE: _____

TOTAL FEE(S): _____

*Public Hearing required. The costs of Mailing/Delivering and Publication of Notice, Drafting of Ordinance/Resolution to be billed separately by Village Clerk’s Office.

The Village will invoice monthly with deposits refunded (if applicable) upon payment of all invoices. Until ALL application fees and the cost of additional review time is paid in full, no rezoning ordinance will take effect, no Plat nor Certified Survey Map will be released for recording, no building permit will be issued nor will any deposits be refunded

CHRIST ALONE EVANGELICAL LUTHERAN CHURCH
247 S. MAIN STREET
THIENSVILLE, WI 53092

March 20, 2025

Village of Thiensville Plan Commission
250 Elm St.
Thiensville, WI 53092

RE: Rezoning and Expansion of Christ Alone Evangelical Church and School – North Campus
247 S. Main St., 221-227 S. Main St., 229 S. Main St., 245 S. Main St., and 211 S. Main St.

Dear Plan Commissioners:

Enclosed please find the following in support of our application for rezoning and expansion of Christ Alone Evangelical Lutheran Church and School located at 247 S. Main Street:

- Site Plan (including expansion to 221-227 S. Main St., 229 S. Main St., 245 S. Main St. and 211 S. Main St.);
- Building elevations;
- Floor plans;
- Conceptual Renderings / Material Visuals
- Landscape plan;
- Signage elevations;
- Photometric/dispersion plan;
- Lighting cut-sheets;
- Preliminary civil engineering;
- Certified Survey Map;
- Rezoning exhibit

Zoning: The 4.902 acre site is currently zoned I-1, B-4 and PDO. We are requesting that the entire site be zoned I-1. We also request removal of the northerly parcel at 211 S. Main Street from an existing PDO.

Building Uses: Church, school (and general office uses associated therewith) and accessory garage/maintenance building.

Building Size, Floor Area Ratio:

Building Footprint SF	FAR
78,220	36.6%

Building and Parking Setbacks and Offsets: As set forth in the tables at the end of this document.

Project and Architecture: The project involves the demolition of existing single-story buildings at the property to create a new campus plan for Christ Alone Evangelical Lutheran Church North Campus. The proposed plan includes a new 27,750 SF addition to the existing school building, a new 10,550 SF addition to the existing Church building, expanded parking and new drive lanes, and a new 750 SF maintenance garage. The setbacks are indicated on the attached site plan. All proposed new buildings will be single-story slab on grade structures. The height of the proposed school addition is 26'-8". The height of the proposed church addition is 32'-8". The height of the garage is 17'-4". The exterior materials for the school addition include brick veneer to match the existing school, precast wall panels, prefinished aluminum windows and doors, and prefinished metal roof coping. The exterior materials for the church addition include stone veneer to match the existing church, architectural precast accents, fiber cement siding to match the color of siding on the existing church, prefinished aluminum windows and doors, and prefinished metal roof coping. The garage will have fiber cement siding to match the church addition. The roof on the school will be EPDM. The roof on the church will be dimensional asphalt shingles on sloped roofs and EPDM on low-slope (flat) roofs. The roof on the garage will be dimensional asphalt shingles on the sloped roof to match the church addition.

The maintenance garage building is included in building footprint and FAR calculations above.

Parking & Access: We are proposing a total of 198 parking spaces, including 6 ADA stalls, while the existing site, which includes all three current properties, has 145 stalls for an increase of 53 total stalls. The proposed property use includes a church and school which will have offsetting peak uses. As such, the required parking count has been defined as the largest of the two uses at 1 space per 3 church seats, or 117 spaces. Parking areas will be accessible from both Main Street and Division Street, with internal drive aisle. Pavement will be striped with pedestrian walkways along accessible routes and the building. Expansion of existing permission from the utility company for parking stalls located in the right-of-way along the western property line is in progress.

Landscaping: A preliminary landscaping plan is enclosed. Based on recommendations from the Police Department, the intent is to minimize foliage and landscape screening for safety and security reasons. We are proposing approximately 22.6% open space. We are requesting approval for a minimum of 8.8% of the parking lot to be landscaped with islands as shown on the enclosed plans and approval for parking lot shading as shown on the enclosed plans. The landscaping plan is designed to avoid interference with pedestrian sight lines and minimize maintenance and snow removal costs for parking areas that are primarily utilized on Sunday mornings.

Signage: We are requesting approval to relocate the existing monument sign to the location shown on the enclosed site plan adjacent to the main drive lane. Additionally, we request approval for 2 wayfinding and directional signage within the paved areas as shown on the enclosed plans and depicted in the enclosed renderings.

Building and Site Lighting: The site will be illuminated with 16, sixteen foot (16') high, cut-off type light fixtures on poles with concrete bases (total combined height of poles and bases not to exceed 18.5'). 16 poles are new, 0 are existing. In addition, 15 new and 8 existing LED cylinder pendant downlights, 17 new and 8 existing LED wall sconces, and 15 LED linear adjustable canopy lights will be installed on the building along with landscape lighting in conformance with Village code. A dispersion plan and lighting fixture specifications are enclosed.

Refuse: Existing garbage and refuse containers shall be screened from view from streets and adjacent sites by an existing trash enclosure located on the west side of the existing site.

Historic District: We are pursuing approvals from the Historic Preservation Commission with respect to the maintenance garage building.

Water: The project is served by municipal water connected to the public water main in Main Street. We are proposing to abandon two (2) existing wells and well building located on the northerly portion of the site.

Sanitary: The project is served by municipal sewer by connecting to the public sanitary sewer located along the west side of Main Street.

Utilities: Utilities shall be primarily underground. Any above ground facilities (such as transformers or pedestals) shall be appropriately screened.

Certified Survey Map: We request approval of the enclosed Certified Survey Map to combine the parcels.

Operational Information: Hours of operation will be consistent with typical operations of religious and school uses, with peak Church attendance occurring on Sunday mornings.

Stormwater Management: The proposed site will require stormwater management with the increased impervious areas associated with the site. Stormwater management requirements will be met by the addition of an underground stormwater management device. The device will manage runoff for both water quality and quantity control. Ultimately, discharge will be reduced to meet local, WDNR, and MMSD requirements, and will discharge to the storm sewer within Main Street, meeting existing conditions.

Departures from Code: We are requesting approval for certain departures from code as follows:

	Proposed	Standards per Ordinance (I-1)
Building Offset Street:	25.6 ft (Division Street Existing Bldg) 19.2 ft (Main Street, Existing Bldg) 20.5 ft (Main Street, Proposed Bldg)	40 feet (Division Street) 32 feet (Main Street, 20% reduction per 17.0605)

Additional Information:

	Proposed	Standards per Ordinance (I-1)
Lot Area:	213,518 sf	15,000 sf (minimum)
Lot Width:	505+/- lf	100 lf (minimum)
Building Height:	32 feet 7 inches	35 feet (maximum)
Open Space:	48,198 sf (22.6%)	
Building Offset Side Yard:	15 feet	15 feet

We are looking forward to working with the Village on this expansion project. Should you have any questions, please call me at 262.242.4710. Thank you.

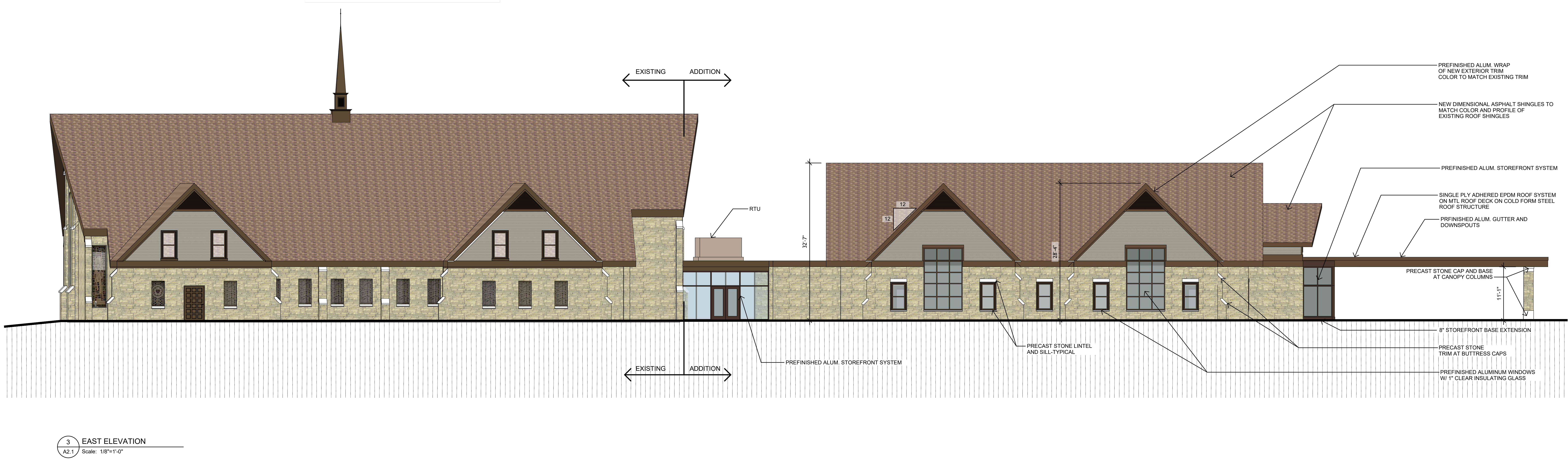
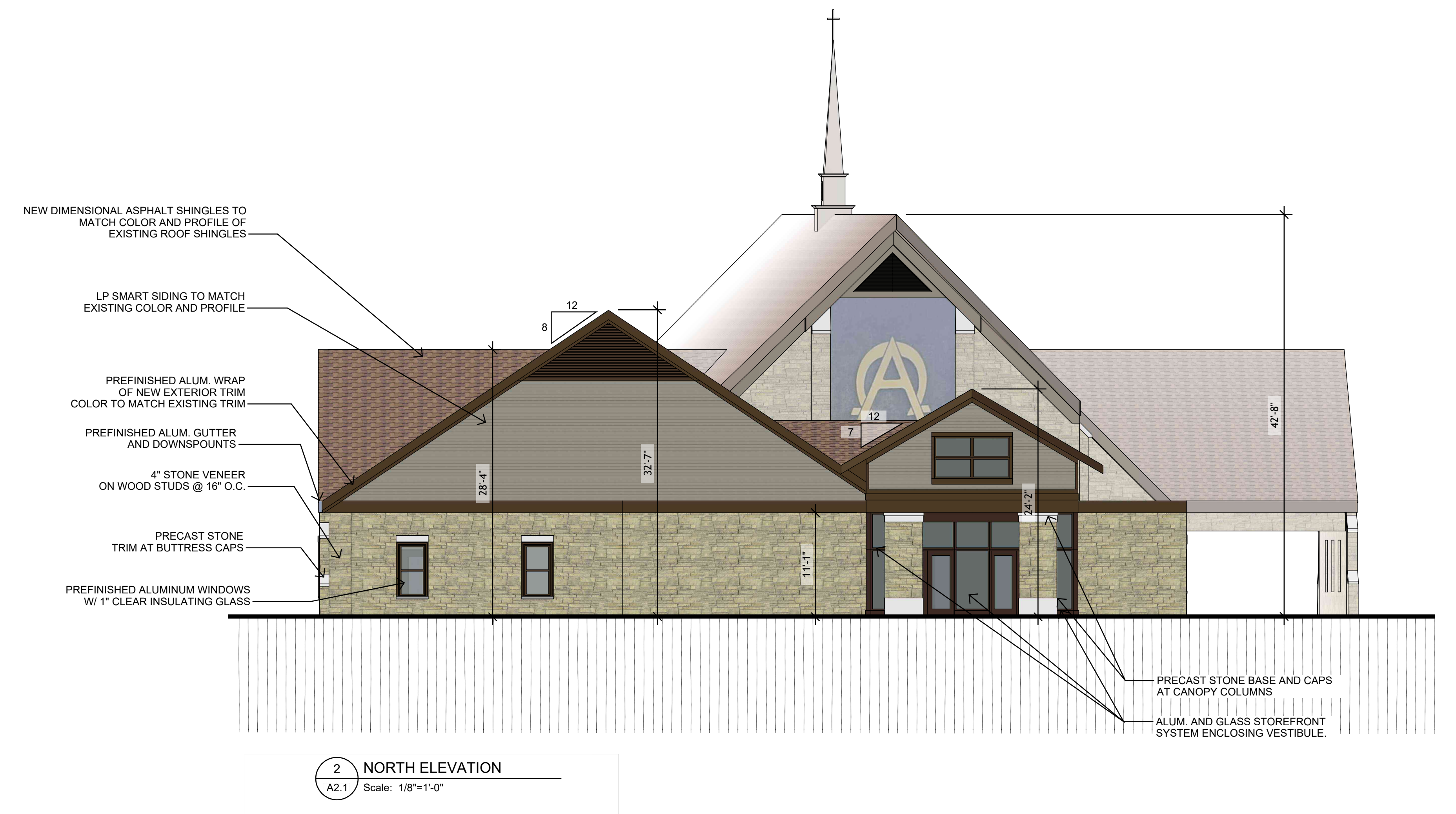
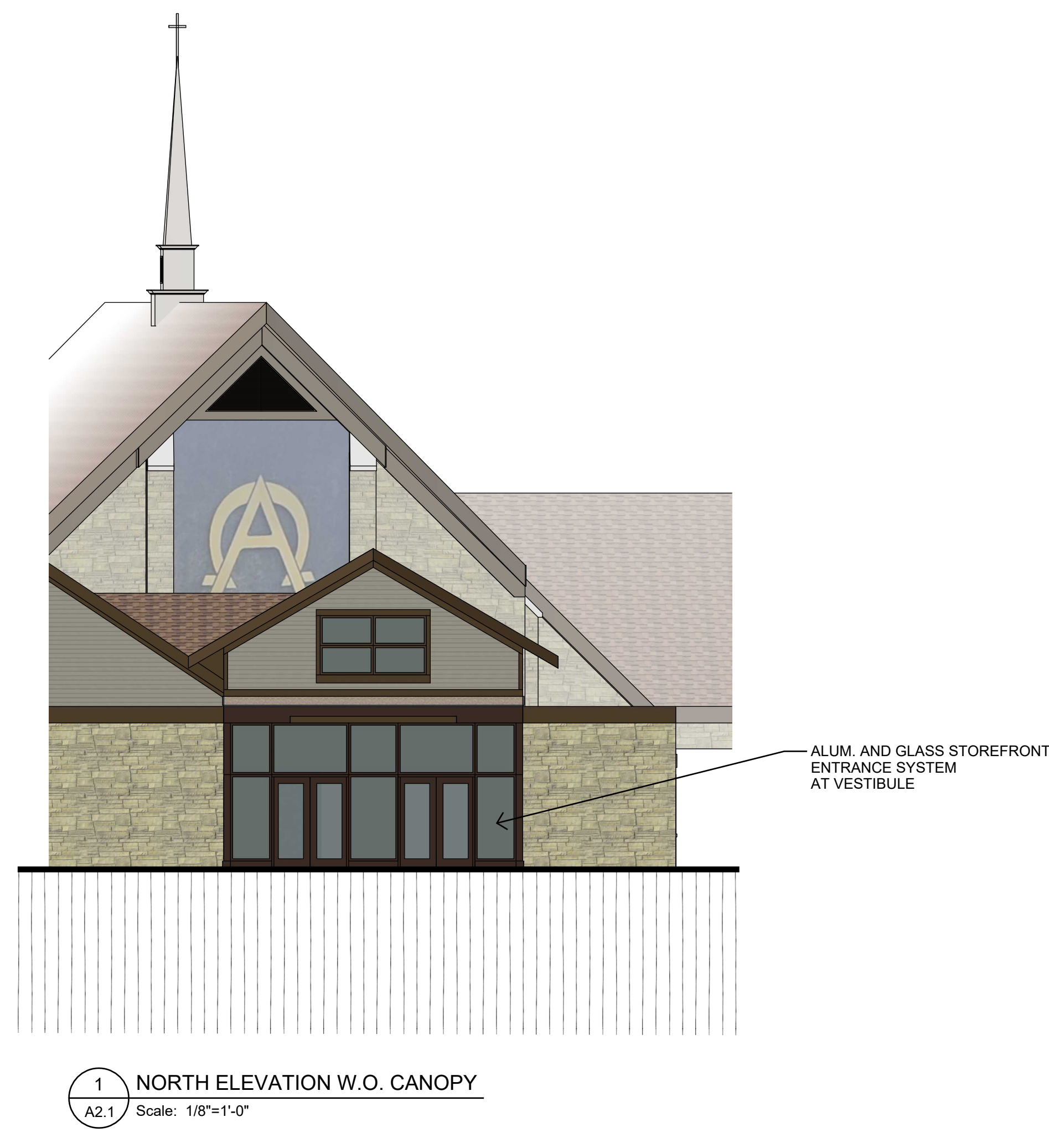
Sincerely,

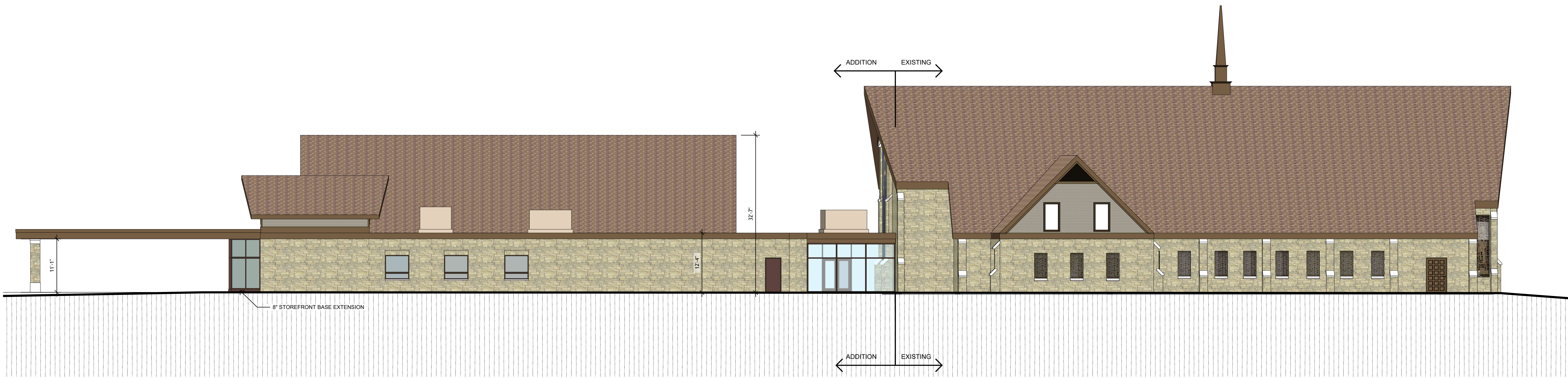
CHRIST ALONE EVANGELICAL LUTHERAN CHURCH

/s/

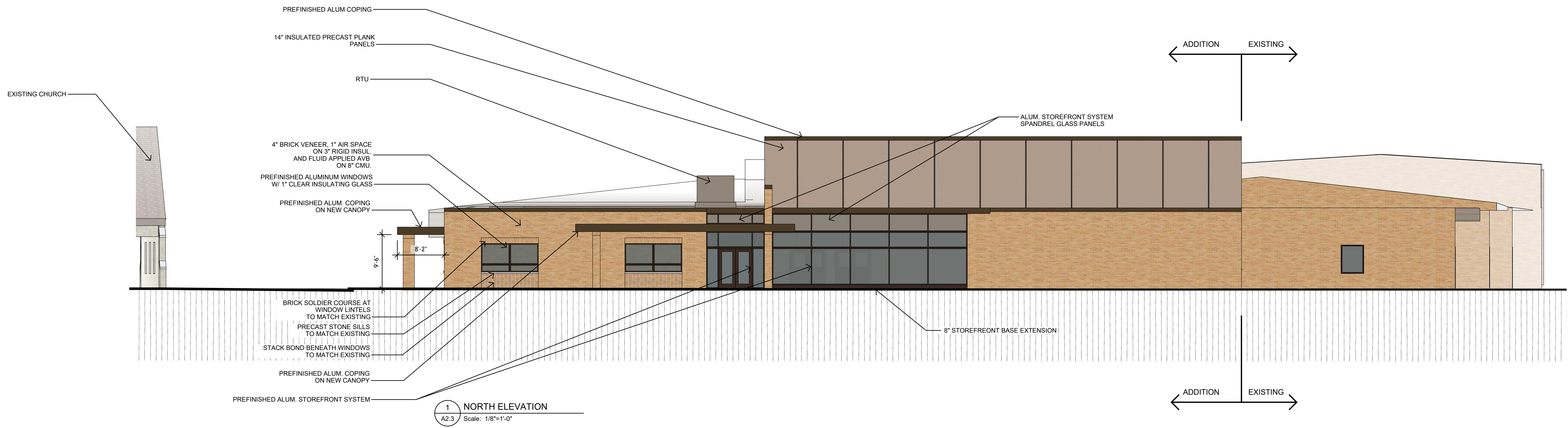
Geoff Grossman
Parish Administrator

Enclosures

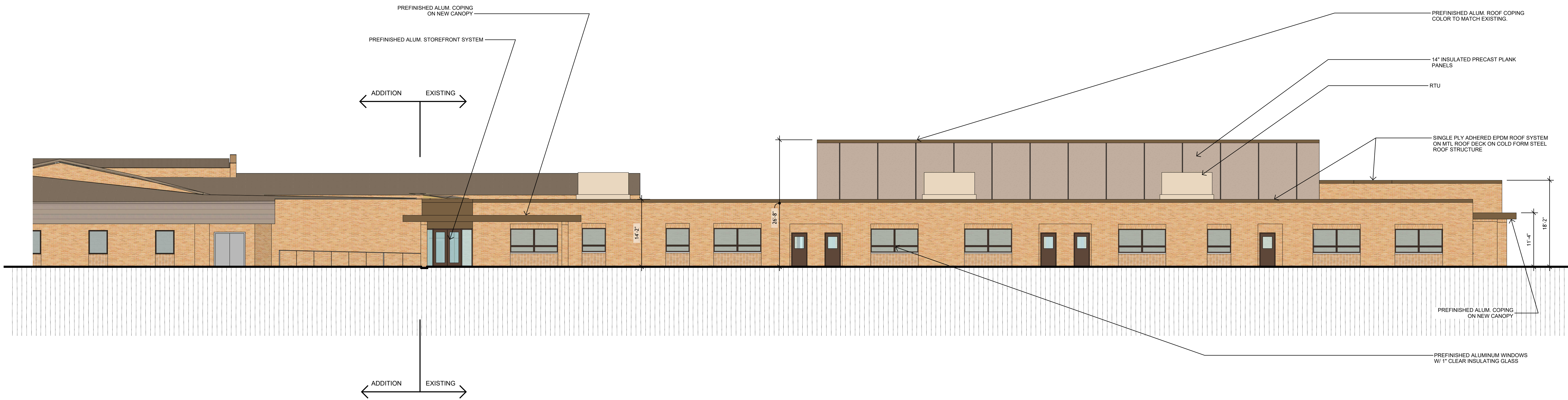




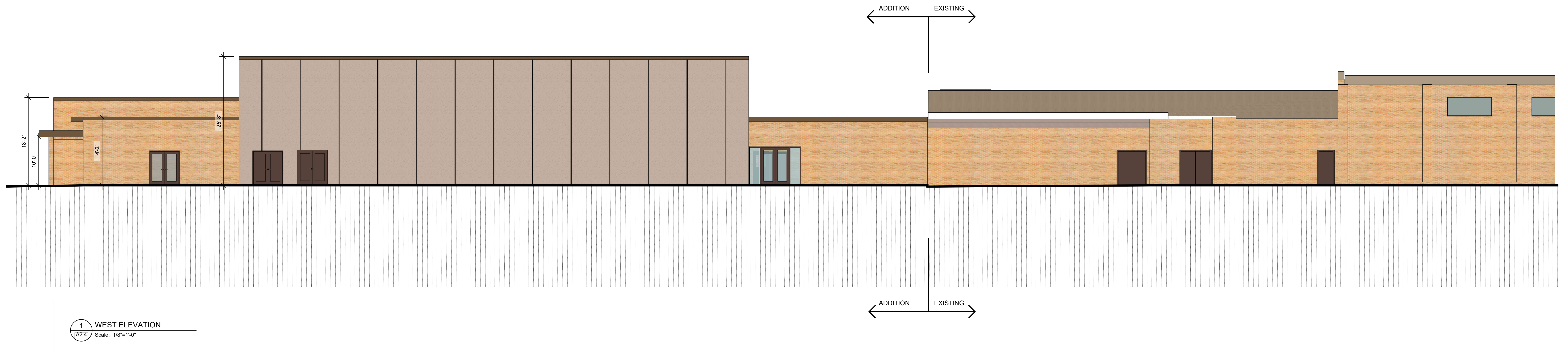
1 WEST ELEVATION
A2.2 Scale: 1/8"=1'-0"



1 NORTH ELEVATION
A2.3 Scale: 1/8"=1'-0"

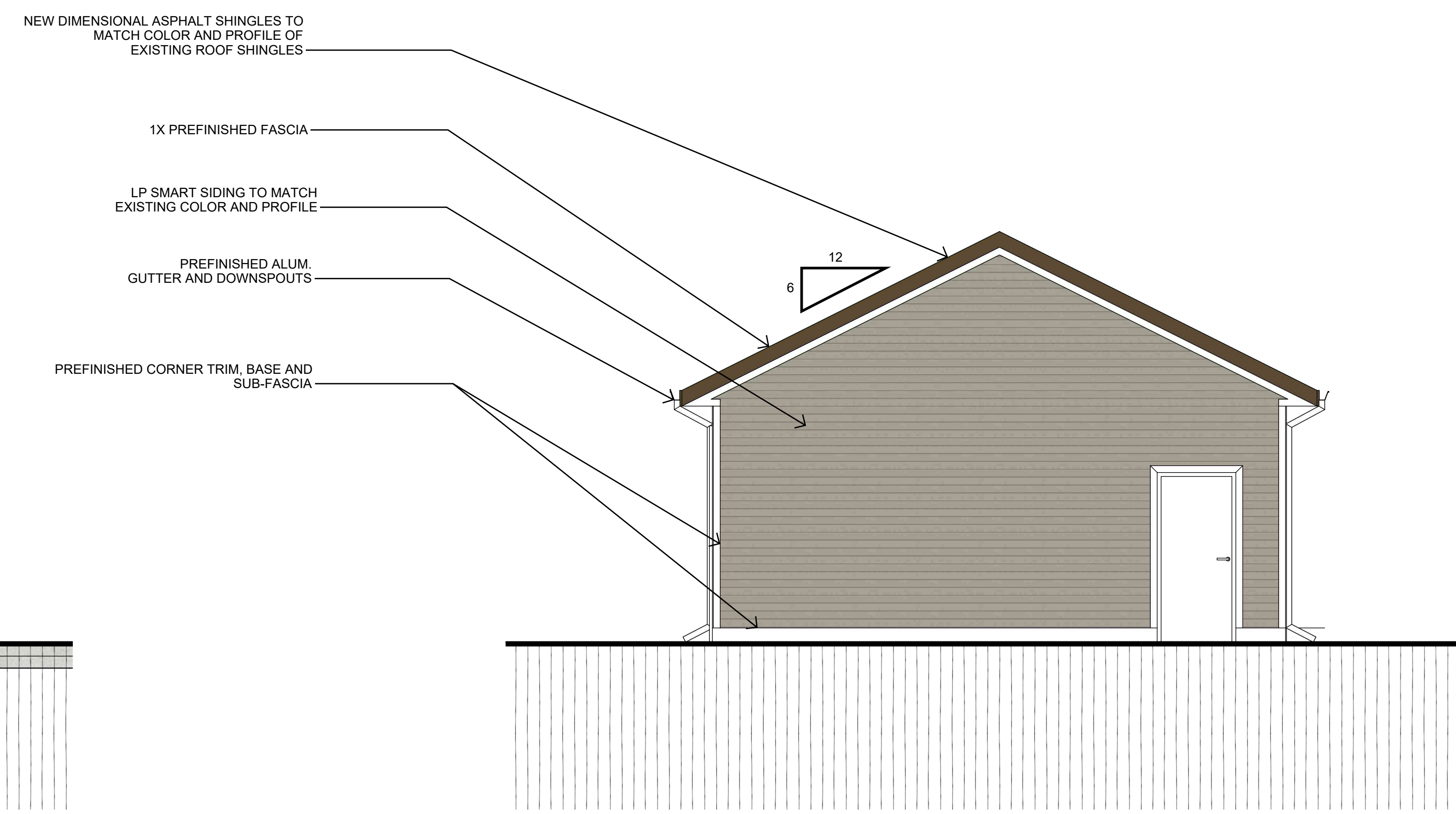


2 EAST ELEVATION
A2.3 Scale: 1/8"=1'-0"

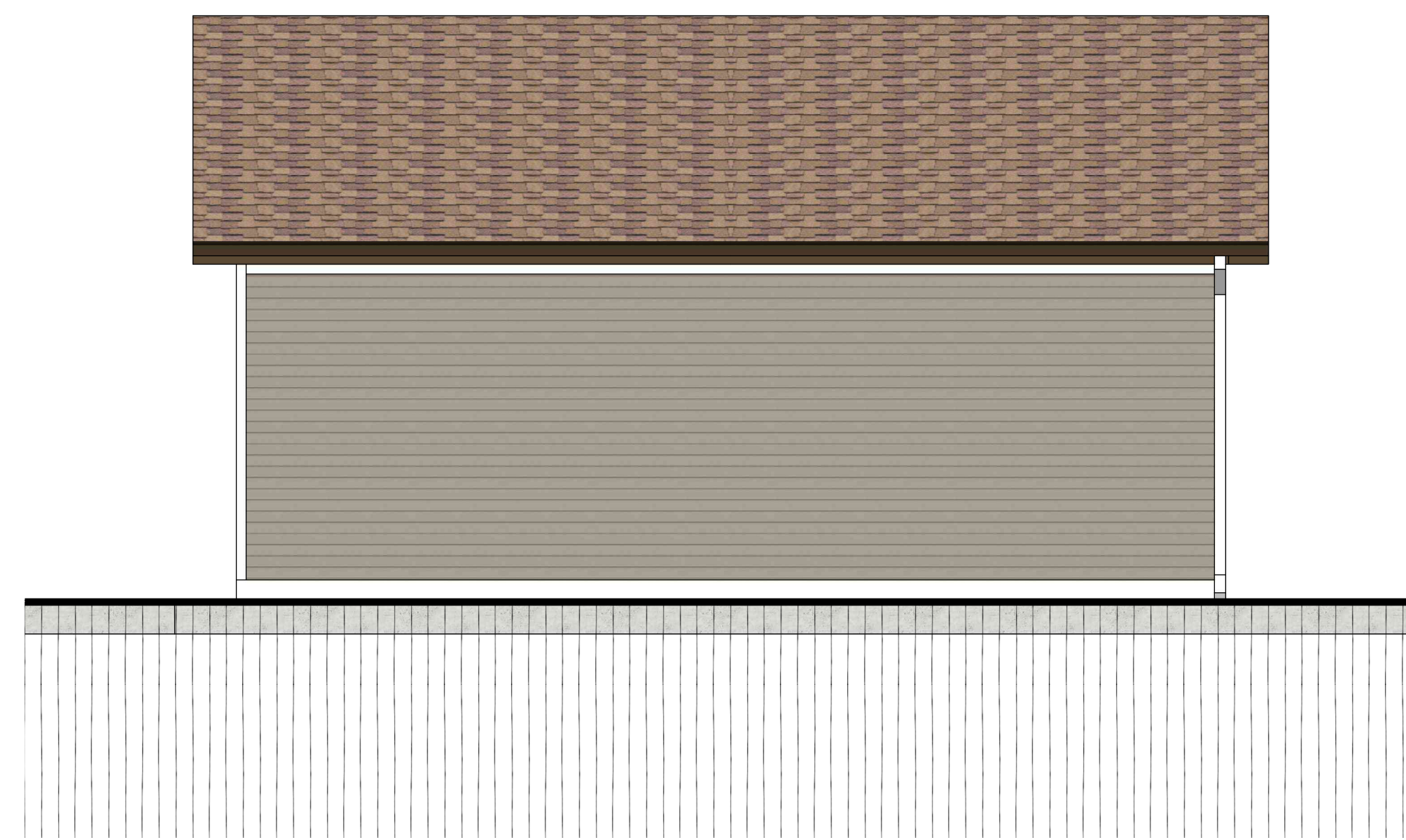




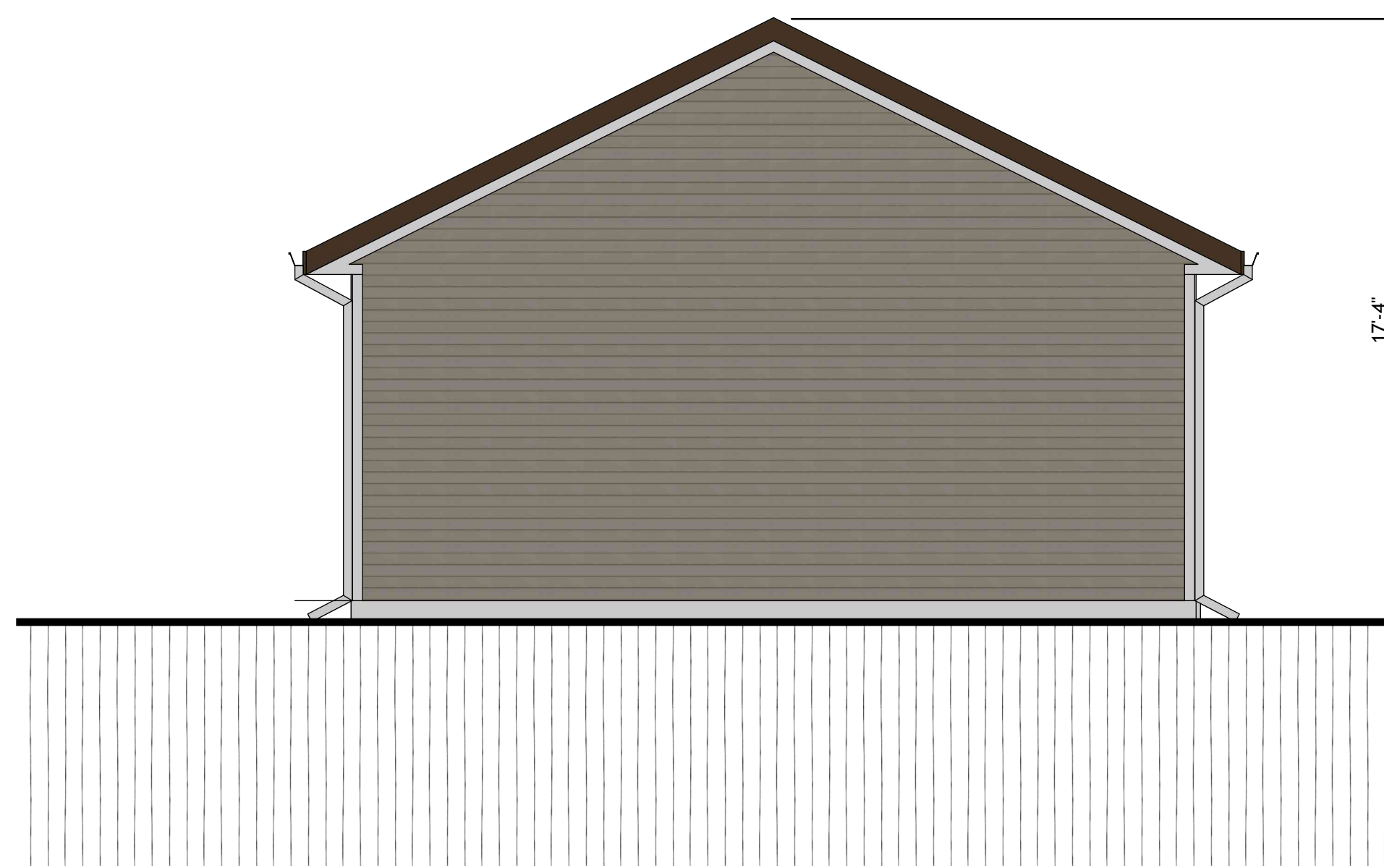
1 FRONT ELEVATION
A2.5 Scale: 1/4"=1'-0"



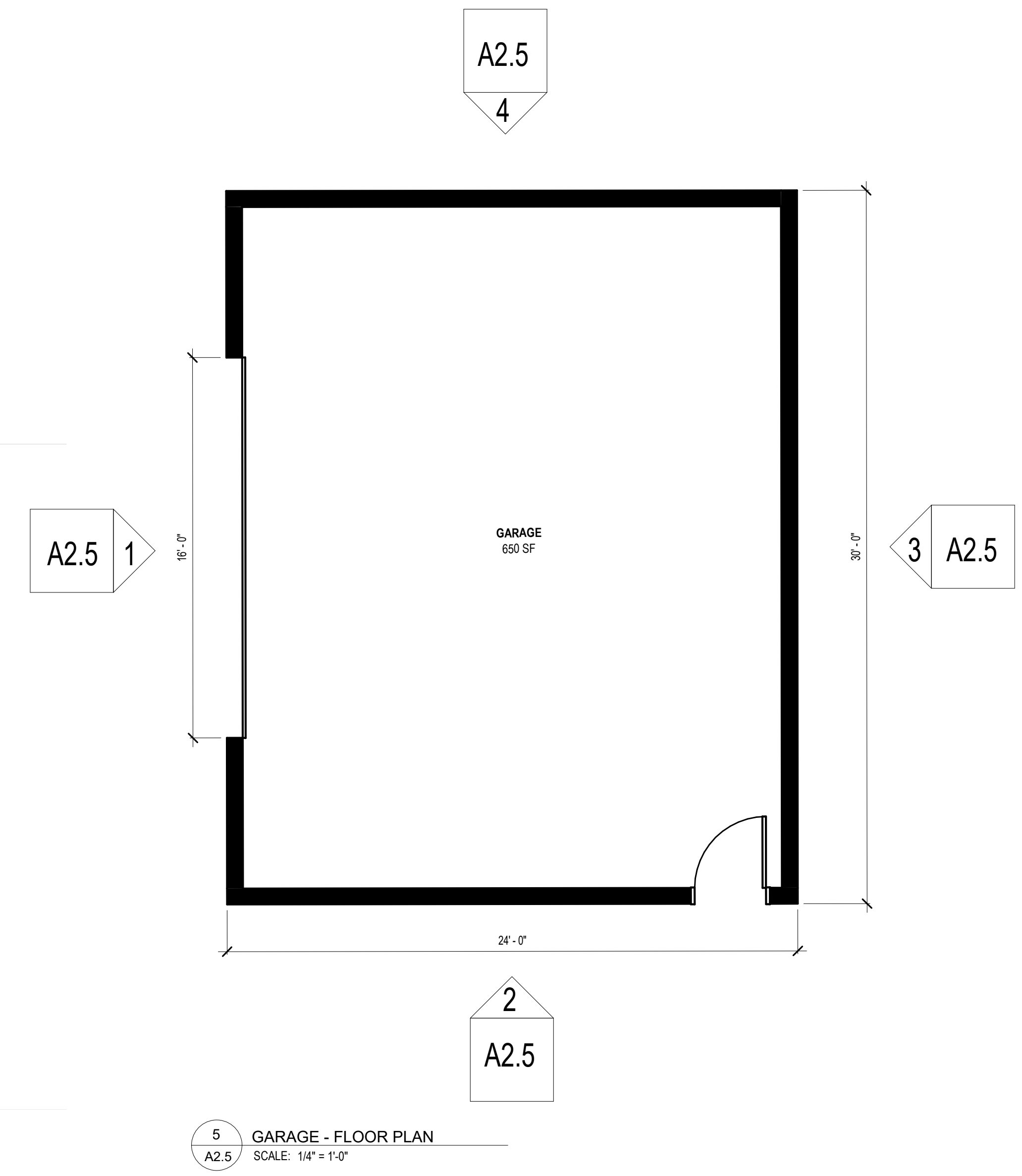
2 RIGHT SIDE ELEVATION
A2.5 Scale: 1/4"=1'-0"



3 REAR ELEVATION
A2.5 Scale: 1/4"=1'-0"



4 LEFT SIDE ELEVATION
A2.5 Scale: 1/4"=1'-0"



5 GARAGE - FLOOR PLAN
A2.5 SCALE: 1/4"=1'-0"

PRELIMINARY



CHRIST ALONE – NORTH CAMPUS



VILLAGE OF THIENSVILLE
SUBMITTAL SUPPORTING
DOCUMENT 3-20-2025
REVISION 05-14-2025

R/S

RAMLOW / STEIN

ARCHITECTURE + INTERIORS

EXISTING CONDITION PHOTOS



EXISTING CONDITIONS / PROPOSED ADDITION SITE(S)



PROPOSED ADDITIONS – CONCEPT RENDERING



PROPOSED ADDITIONS – CONCEPT RENDERING



PROPOSED ADDITIONS – CONCEPT RENDERING



PROPOSED ADDITIONS – CONCEPT RENDERING



PROPOSED ADDITIONS – CONCEPT RENDERING



PROPOSED ADDITIONS – CONCEPT RENDERING



WINDOW FRAMING and TRIM – Basis of Design / Matching Existing

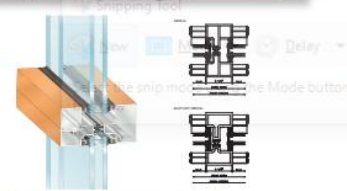
EFCO, Kawneer, and Manko storefront systems will be specified for competitive bidding. **Dark bronze anodized windows** will be specified for the building additions



SERIES 403I STOREFRONT FRAMING



Shear Block • Screw Spline
Series 403-I is a 2-1/4" X 4-1/2" thermally broken storefront framing system that utilizes EFCO's E-Strut™ thermal isolators. These thermal isolators provide outstanding thermal performance and allow dual finish capability. 403-I is compatible with Thermastile™ doors. This system is designed with two fabrication and erection options, providing even greater versatility.



STRUCTURAL LOAD (ASTM E330) VISIT EFCOCORP.COM	WATER RESISTANCE (ASTM E547 & E331) SCREW SPLINE 12 PSF
AIR INFILTRATION (ASTM E283) SCREW SPLINE 0.06 CFM/FT²	CRF (AAMA 1503) SCREW SPLINE 59
U-FACTOR* (ANSI/NFRC 100/200) SCREW SPLINE 0.35-0.55	OITC* (ASTM E90 & E413) N/A
STC* (ASTM E90 & E413) N/A	

STANDARD FEATURES

- E-Strut thermal isolator
- Screw spline construction
- Shear block construction
- 135° inside and outside corners
- Uniform glazing gasket is used for exterior and interior
- Door frame members use thermal struts as a thermal break
- Horizontal stacking members
- Various height intermediate horizontals and sills
- Accommodates up to 1-1/16" glazing
- Accessory options include subframe, pocket fillers, perimeter adaptors, etc.
- Anodized or painted finishes available

* Performance dependent on glass selection. Please contact your EFCO sales rep for project specific performance.

SLOPED ROOF – Basis of Design / Intent is to matching existing

GAF Timberline will be the basis of design for the new sloped (gable) roofs. Intent is to match the color of the existing Church roof(s).

Timberline® AS II



Compare

★★★★★ 4.8 (595)

Timberline® ArmorShield II Shingles are made with our proprietary SBS-modified asphalt formulation and pass UL's toughest impact-resistance test—UL 2218 Class 4.



Barkwood



Charcoal



Pewter Gray

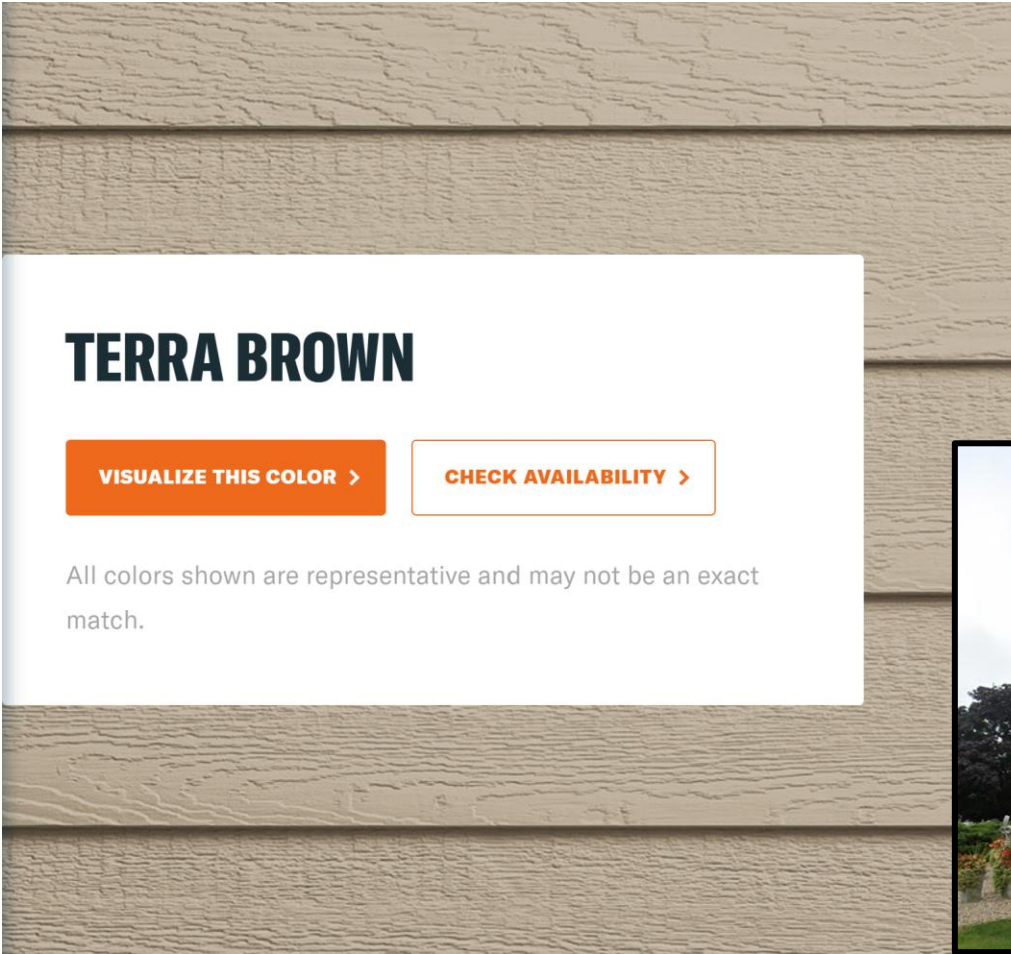


Hickory



SIDING – Basis of Design

LP Smartside will be the basis of design for the new siding on the Church and Garage. This color was verified on site and is complementary to the color tones of the existing stone veneer.



TERRA BROWN

[VISUALIZE THIS COLOR >](#)

[CHECK AVAILABILITY >](#)

All colors shown are representative and may not be an exact match.



TAPCO MicroDrive Barrier will be the basis of design for the proposed parking lot gates. The intent is for the barrier to be motorized and to either use a singular barrier across two lanes or a barrier for each lane.

Magnetic.Access / -L
MHTM™ MicroDrive / Access applications

A AP AS AL APL ASL

- » High functionality
- » Safe control unit according to EN 13849
- » 80% more connectivity (I/O, TCP/IP, RS-485, etc.)
- » High ease of use / maximum accessibility
- » Only 25 W of power consumption (Magnetic.Access)
- » 10 million opening and closing cycles

Design and quality

Magnetic.Access XL / XXL barriers impress with sophisticated and enduring design. The modularly designed housing made of extruded aluminium profiles and the inner steel frame with surface protection offer best protection against corrosion.

The MHTM™ product line is winner of the red dot award: product design 2012.



Control unit

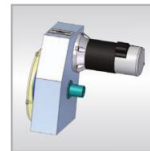
The control unit MGC Pro is compliant with EN 13849. It is located directly underneath the top cover and can be accessed from all sides. Configuring the barrier is easily accomplished via the LCD's intuitive user interface that can be navigated with just 4 push-buttons. The functionality may be easily extended via optionally available modules.



Drive unit

The MHTM™ XL drive unit is not only astonishing because of its small dimensions. You also get a high torque with an extremely minimized power consumption. The high torque guarantees best operation even under severe weather conditions (heavy winds, snow, etc.).

The motor, motor control and gearing are all combined in one compact drive unit.



MicroBoom XL

MicroBoom XL barrier booms are straight booms designed especially for Magnetic.Access XL / XXL barriers. Up to 20 ft the boom is made of one solid boom profile, longer booms have an additional connector and a smaller boom profile as extension.

MicroBoom XL booms are equipped with a foamed edge protection which offers best protection against damages and harm to people.



CHRIST ALONE – NORTH CAMPUS

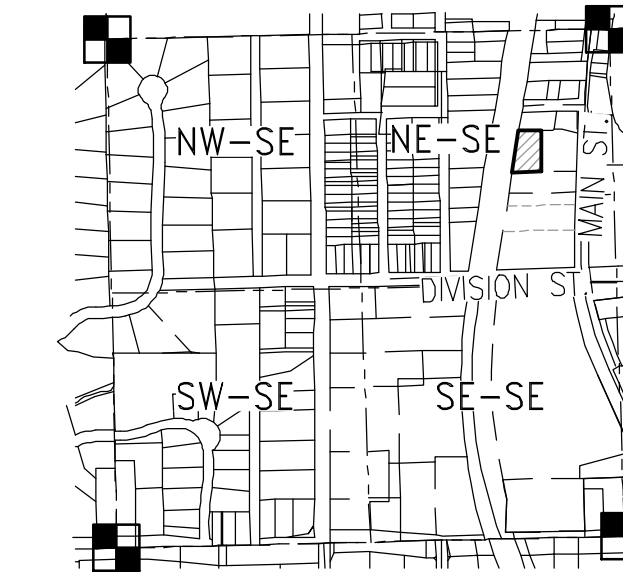
BUILDING ADDITION SITE DEVELOPMENT PLANS VILLAGE OF THIENSVILLE, WISCONSIN

GENERAL NOTES

- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
 - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
 - THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 - WDMR STORMWATER RUNOFF TECHNICAL STANDARDS.
 - WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 - VILLAGE OF MEQUON TECHNICAL STANDARDS.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS BY SWEEPING BEFORE THE END OF THE WORKING DAY OR AS REQUIRED BY THE VILLAGE OF THIENSVILLE.
- THE CONTRACTOR MUST AND IS REQUIRED TO NOTIFY THE VILLAGE OF THIENSVILLE SEWER AND WATER UTILITY A MINIMUM OF 48 HOURS IN ADVANCE OF WATER MAIN FILLING, WATER MAIN FLUSHING, WATER MAIN TESTING AND WATER MAIN CONNECTIONS. NO CONNECTION SHALL BE MADE TO THE EXISTING WATER SYSTEM UNTIL SAFE SAMPLES FROM THE NEW MAIN HAVE BEEN OBTAINED.

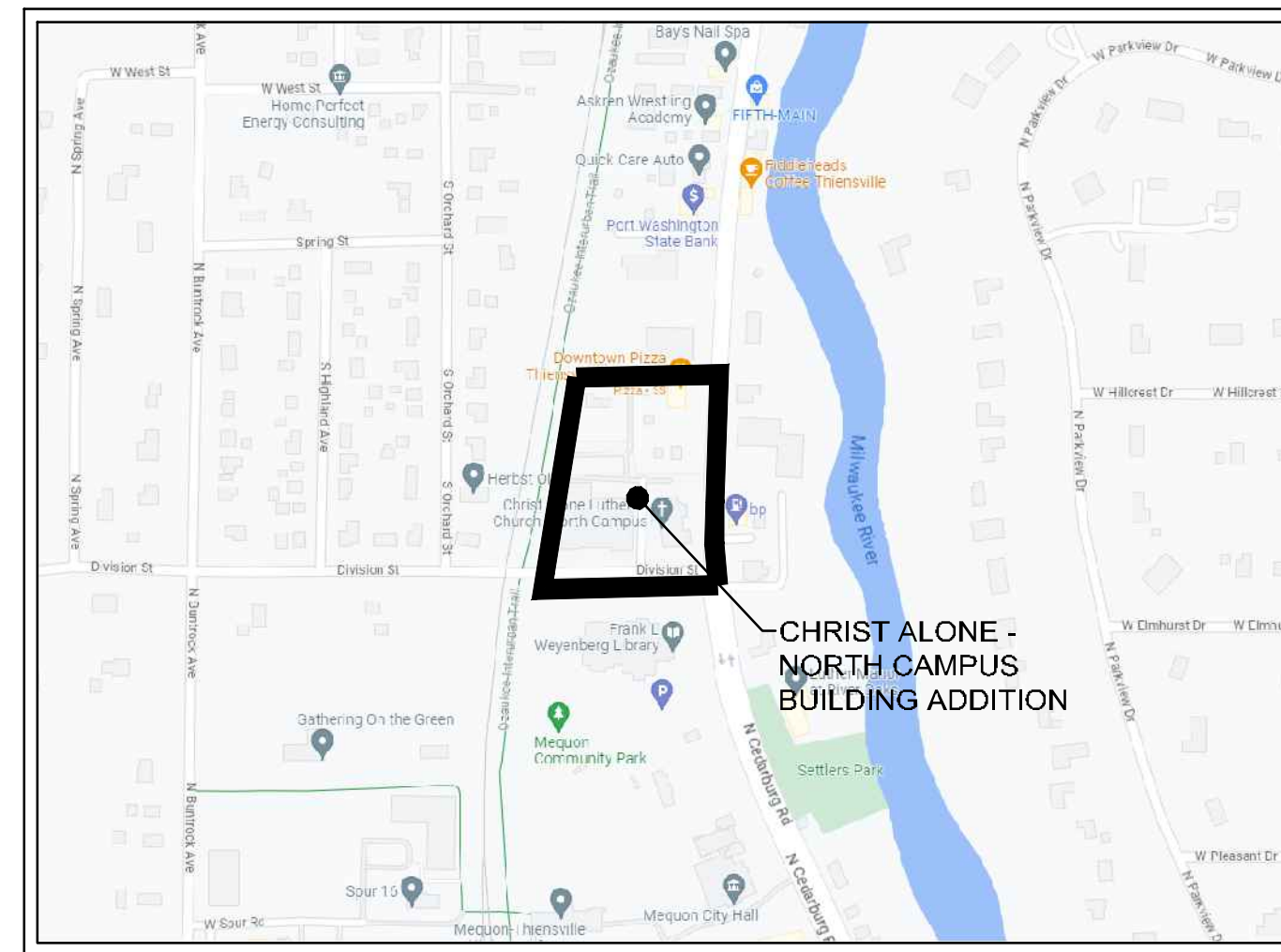


SITE PLAN
SCALE: 1" = 100'



LOCALITY MAP
S.E. 1/4
SEC. 22 T. 9 N., R. 21 E.
SCALE: 1" = 1000'

ENGINEER:
TRIO ENGINEERING, LLC
4100 N CALHOUN ROAD, STE 300
BROOKFIELD, WI 53005
CONTACT: MATTHEW BAILEY, P.E.
PHONE: 262-790-1480
FAX: 262-790-1481
EMAIL: mbailey@trioeng.com



LOCATION MAP
NOT TO SCALE

SHEET INDEX

CIVIL	
T1	- COVER SHEET
C1.0	- EXISTING SITE PLAN
C1.1	- PROPOSED SITE PLAN
C2.0	- GRADING & DRAINAGE PLAN
C2.1	- UNDERGROUND DETENTION SYSTEM PLAN
C3.0	- EROSION CONTROL PLAN
C4.0	- UTILITY PLAN
C5.0	- CONSTRUCTION DETAILS



4100 N. CALHOUN RD., SUITE 300
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jbaudino@trioeng.com

PROJECT:
CHRIST ALONE - NORTH CAMPUS
247 S. MAIN STREET
VILLAGE OF THIENSVILLE, WISCONSIN
BY: RAMLOW/STEN ARCHITECTURE + INTERIORS
322 E. MICHIGAN ST. SUITE 400
MILWAUKEE, WI 53202

REVISION HISTORY

DATE	DESCRIPTION
03/19/25	INITIAL SUBMITTAL

DATE:
MARCH 19, 2025

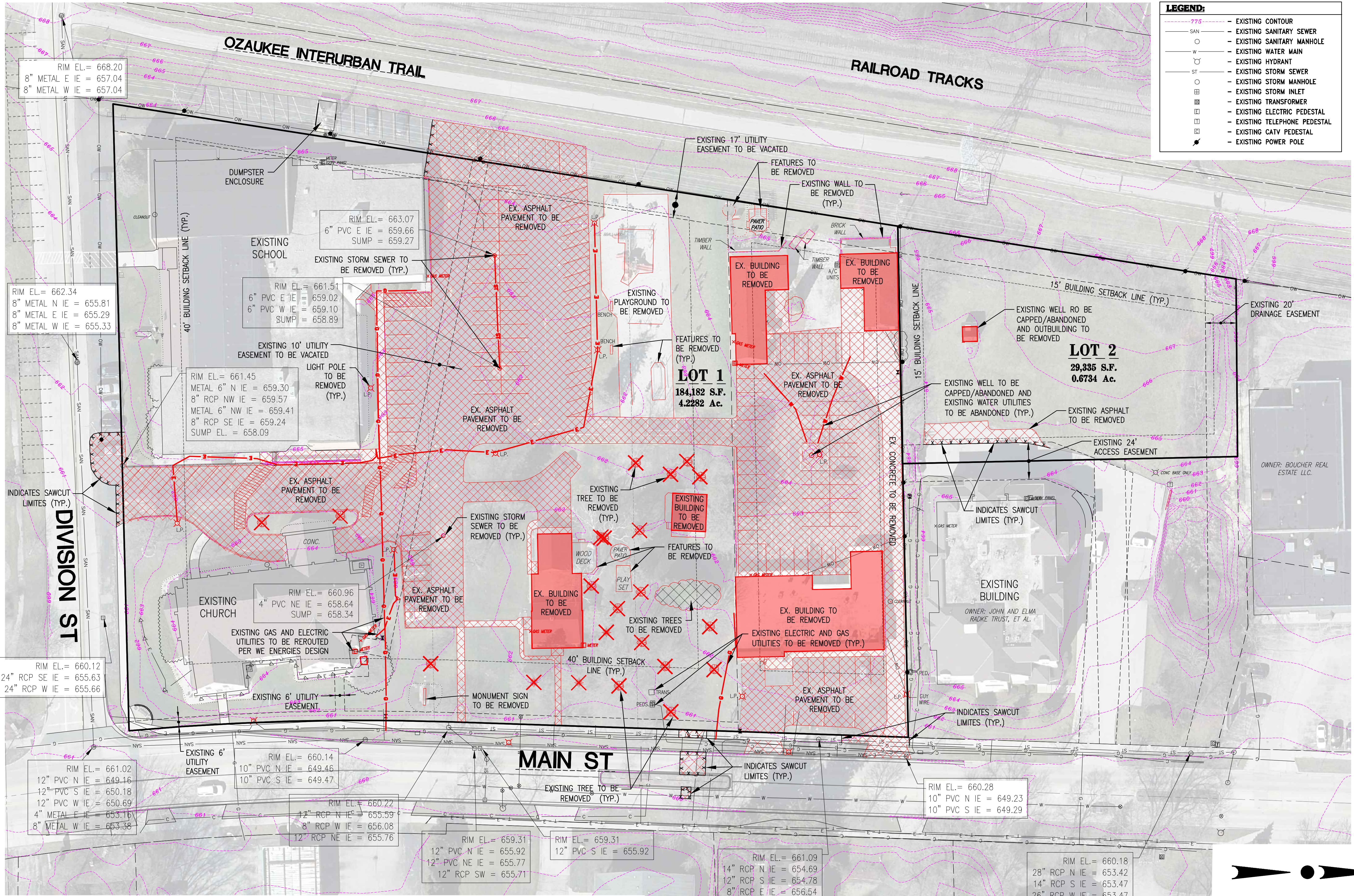
JOB NUMBER:
23-003-1092

DESCRIPTION:
COVER SHEET

SHEET

T1

X:\2023\23-002-1092 CHRIST ALONE NORTH CAMPUS - THIENSVILLE\DRAWINGS\PRELIMINARY\CHRIST ALONE NORTH PRELIM CIVIL PLAN SET_22X34.DWG



LEGEND:

- 775 - EXISTING CONTOUR
- SAN - EXISTING SANITARY SEWER
- O - EXISTING SANITARY MANHOLE
- W - EXISTING WATER MAIN
- H - EXISTING HYDRANT
- ST - EXISTING STORM SEWER
- O - EXISTING STORM MANHOLE
- I - EXISTING STORM INLET
- T - EXISTING TRANSFORMER
- E - EXISTING ELECTRIC PEDESTAL
- P - EXISTING TELEPHONE PEDESTAL
- C - EXISTING CATV PEDESTAL
- P - EXISTING POWER POLE



4100 N. CALHOUN RD., SUITE 300
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpauleko@trioeng.com

PROJECT:
CHRIST ALONE - NORTH CAMPUS
247 S. MAIN STREET
VILLAGE OF THIENSVILLE, WISCONSIN
BY: RAMLOW/STEN ARCHITECTURE + INTERIORS
322 E. MICHIGAN ST. SUITE 400
MILWAUKEE, WI 53202

REVISION HISTORY

DATE	DESCRIPTION
03/19/25	INITIAL SUBMITTAL

DATE:
MARCH 19, 2025

JOB NUMBER:
23-003-1092

DESCRIPTION:
EXISTING SITE PLAN

SHEET

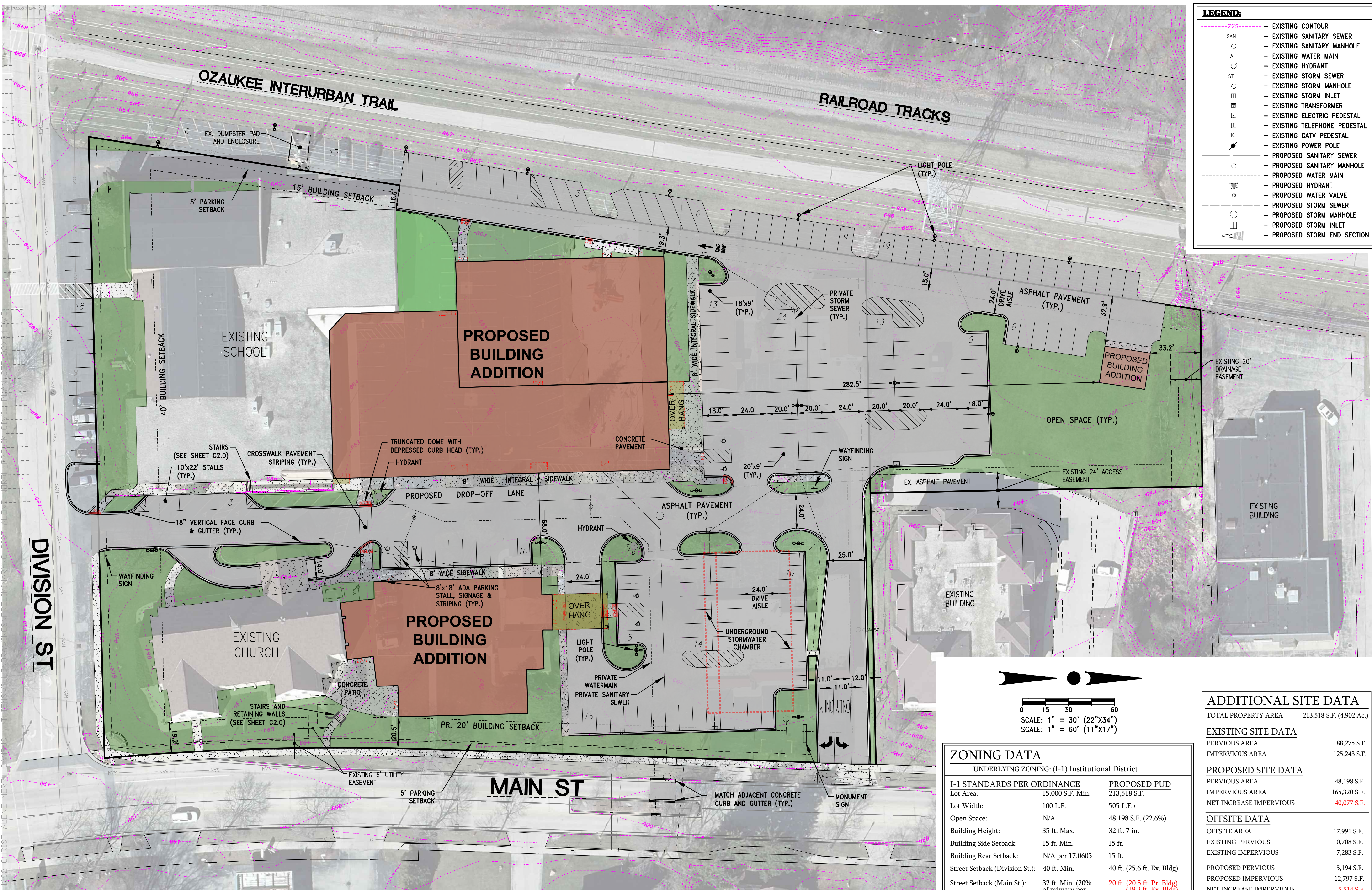
C1.0

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0 15 30 60
SCALE: 1" = 30' (22"x34")
SCALE: 1" = 60' (11"x17")



LEGEND:

- 775 - - - - - EXISTING CONTOUR
- SAN - - - - - EXISTING SANITARY SEWER
- O - - - - - EXISTING SANITARY MANHOLE
- W - - - - - EXISTING WATER MAIN
- H - - - - - EXISTING HYDRANT
- ST - - - - - EXISTING STORM SEWER
- O - - - - - EXISTING STORM MANHOLE
- O - - - - - EXISTING STORM INLET
- T - - - - - EXISTING TRANSFORMER
- E - - - - - EXISTING ELECTRIC PEDESTAL
- T - - - - - EXISTING TELEPHONE PEDESTAL
- T - - - - - EXISTING CATV PEDESTAL
- P - - - - - EXISTING POWER POLE
- O - - - - - PROPOSED SANITARY SEWER
- O - - - - - PROPOSED SANITARY MANHOLE
- W - - - - - PROPOSED WATER MAIN
- H - - - - - PROPOSED HYDRANT
- V - - - - - PROPOSED WATER VALVE
- S - - - - - PROPOSED STORM SEWER
- S - - - - - PROPOSED STORM MANHOLE
- S - - - - - PROPOSED STORM INLET
- S - - - - - PROPOSED STORM END SECTION



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 FAX: (262) 790-1481
 EMAIL: jbaudino@trioeng.com

PROJECT: CHRIST ALONE - NORTH CAMPUS
 247 S. MAIN STREET
 VILLAGE OF THIENSVILLE, WISCONSIN
 BY: RAMLOW/STEN ARCHITECTURE + INTERIORS
 322 E. MICHIGAN ST. SUITE 400
 MILWAUKEE, WI 53202

REVISION HISTORY

DATE	DESCRIPTION
03/19/25	INITIAL SUBMITTAL

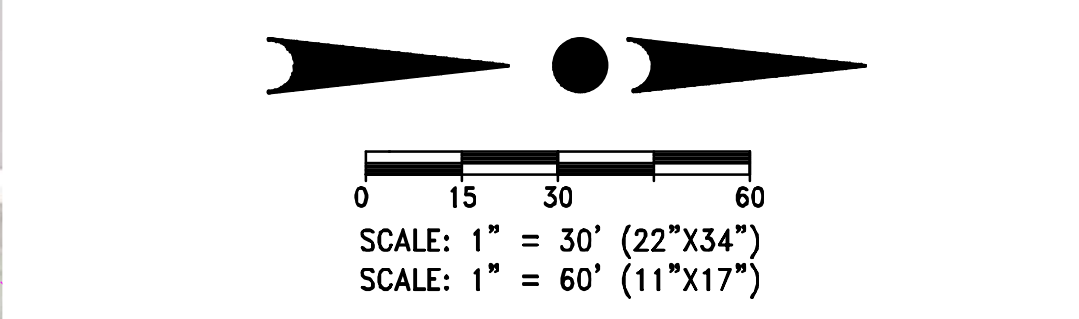
DATE: MARCH 19, 2025

JOB NUMBER: 23-003-1092

DESCRIPTION: PROPOSED SITE PLAN

SHEET

C1.1



ZONING DATA
 UNDERLYING ZONING: (I-1) Institutional District

I-1 STANDARDS PER ORDINANCE	PROPOSED PUD
Lot Area: 15,000 S.F. Min.	213,518 S.F.
Lot Width: 100 L.F.	505 L.F.±
Open Space: N/A	48,198 S.F. (22.6%)
Building Height: 35 ft. Max.	32 ft. 7 in.
Building Side Setback: 15 ft. Min.	15 ft.
Building Rear Setback: N/A per 17.0605	15 ft.
Street Setback (Division St.): 40 ft. Min.	40 ft. (25.6 ft. Ex. Bldg)
Street Setback (Main St.): 32 ft. Min. (20% of primary per 17.0605)	20 ft. (20.5 ft. Pr. Bldg) (19.2 ft. Ex. Bldg)
Parking Setback: 5 ft.	5 ft.

ADDITIONAL LOT DATA:
 FLOOR-AREA-RATIO: 36.6% (78,220 S.F. FLOOR AREA)

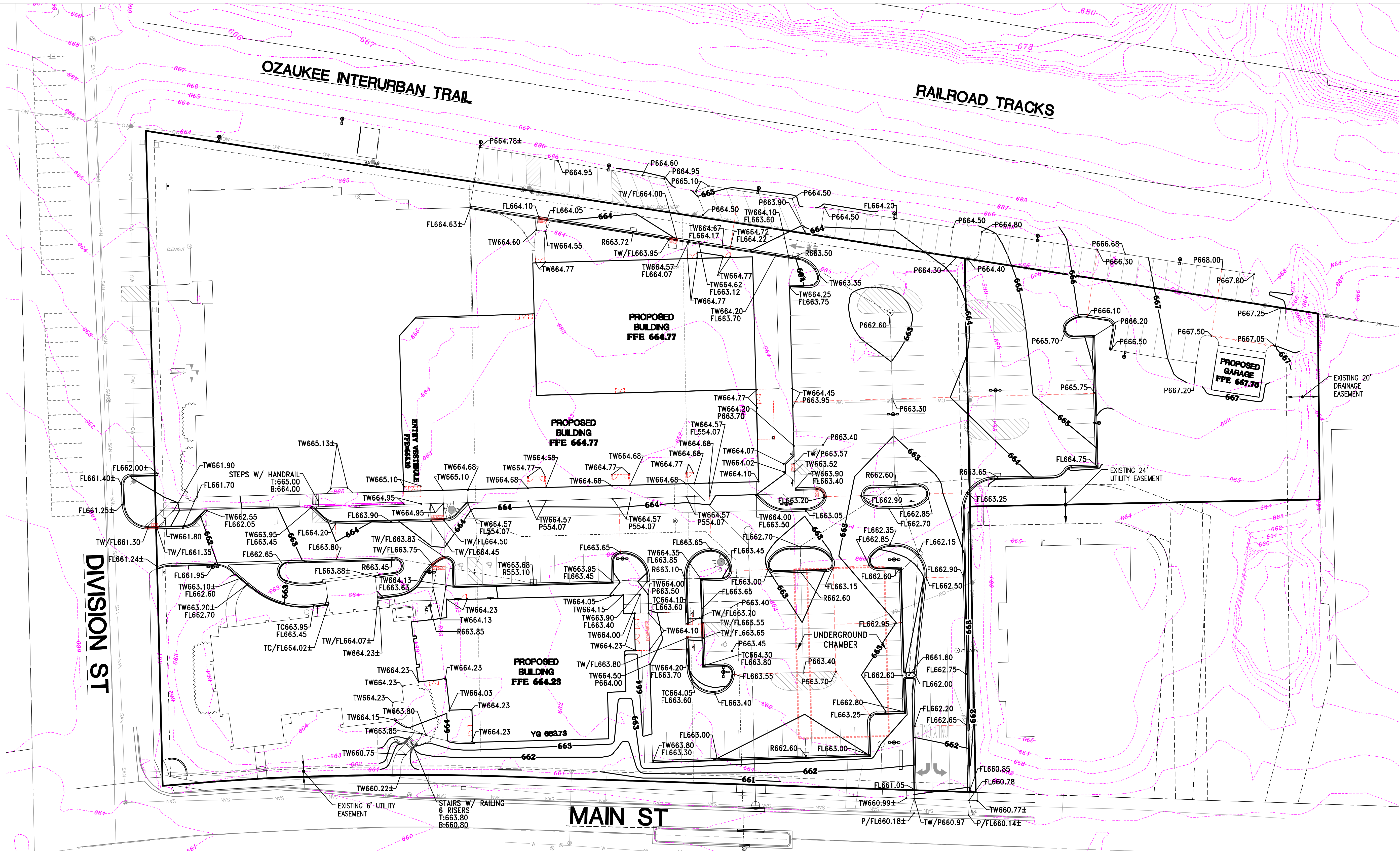
ADDITIONAL SITE DATA

TOTAL PROPERTY AREA	213,518 S.F. (4.902 Ac.)
EXISTING SITE DATA	
PERVIOUS AREA	88,275 S.F.
IMPERVIOUS AREA	125,243 S.F.
PROPOSED SITE DATA	
PERVIOUS AREA	48,198 S.F.
IMPERVIOUS AREA	165,320 S.F.
NET INCREASE IMPERVIOUS	40,077 S.F.
OFFSITE DATA	
OFFSITE AREA	17,991 S.F.
EXISTING PERVIOUS	10,708 S.F.
EXISTING IMPERVIOUS	7,283 S.F.
PROPOSED PERVIOUS	5,194 S.F.
PROPOSED IMPERVIOUS	12,797 S.F.
NET INCREASE IMPERVIOUS	5,514 S.F.
PROPOSED PARKING	
PR. STANDARD PARKING STALLS	192 STALLS
PR. ADA PARKING STALLS	6 STALLS
TOTAL PR. PARKING STALLS	198 STALLS

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X:\2023\23-002-1092 CHRIST ALONE NORTH CAMPUS - THIENSVILLE\DRAWINGS\PRELIMINARY\CHRIST ALONE NORTH PRELIM CIVIL PLAN SET_22X34.DWG



DIVISION ST

OZAUKEE INTERURBAN TRAIL

RAILROAD TRACKS

MAIN ST

LEGEND:

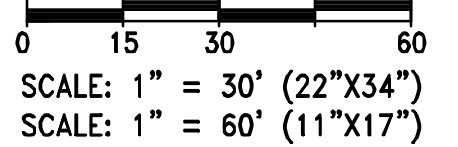
	- EXISTING CONTOUR
	- PROPOSED CONTOUR
	- PROPOSED FLOW ARROW
	- PROPOSED SPOT ELEVATION
	- PROPOSED FIRST FLOOR ELEVATION

GRADE SPOT SHOT NOTE:

1. SPOT GRADE PREFIX REPRESENT THE SURFACE ELEVATION AT A SPECIFIC POINT. EACH ARE DEFINED AS FOLLOW: TOP OF SIDEWALK (TW), PAVEMENT (P), CURB & GUTTER FLANGE GRADE (FL) AND RIM (R).
2. SPOT GRADE SUFFIX REPRESENTS DEFINES THE NATURE OF THE SPOT GRADE. EACH ARE DEFINED AS FOLLOW: HIGH POINT (HP) AND LOW POINT (LP).

GRADING PLAN NOTES:

1. IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS ±, THE ELEVATION HAS BEEN DETERMINED USING INTERPOLATED EXISTING SURVEY GRADES. CONTRACTOR SHALL VERIFY ALL EXISTING MATCH GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES. IF DISCREPANCIES ARE PRESENT CONTRACTOR SHALL REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE ± GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.



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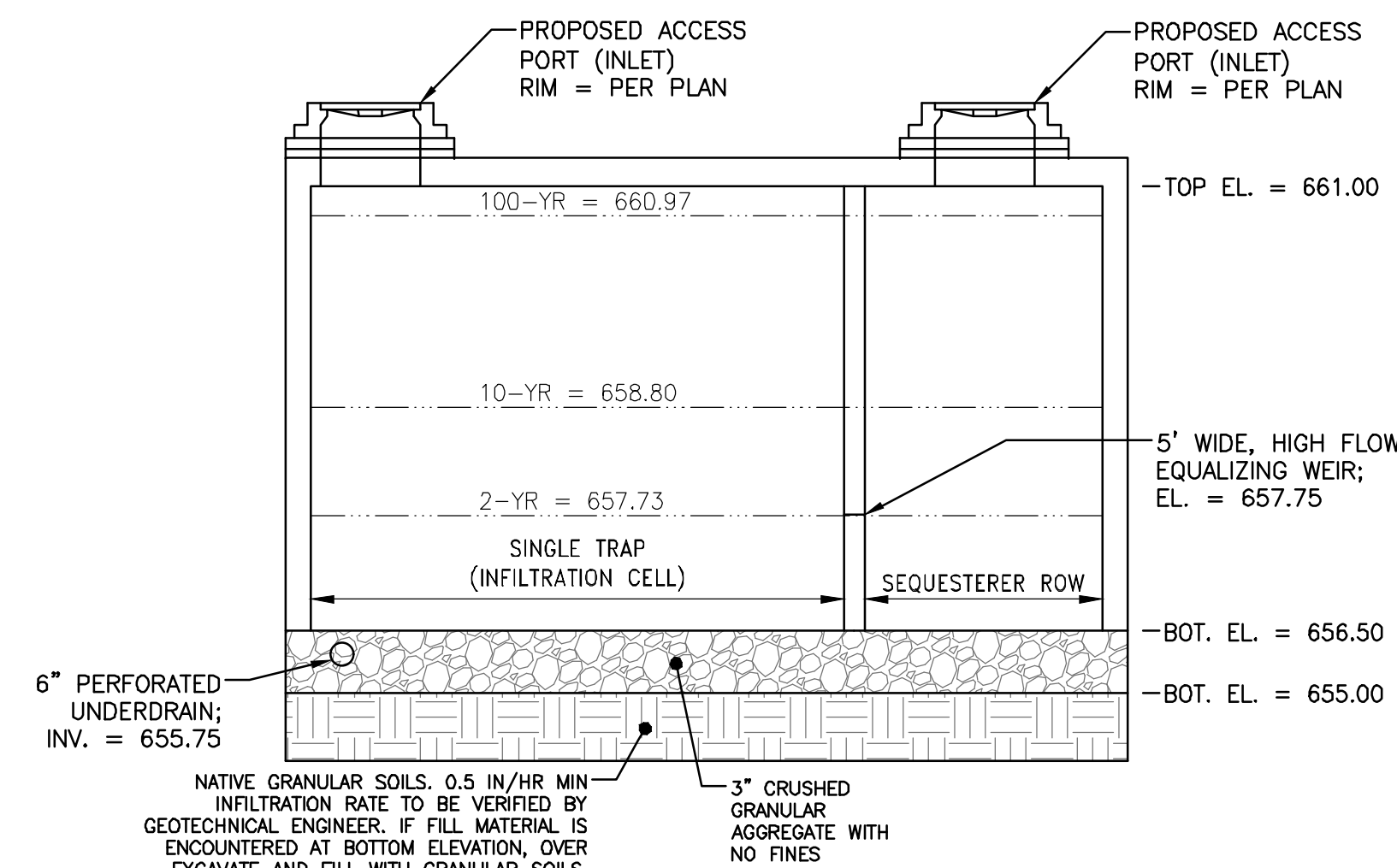
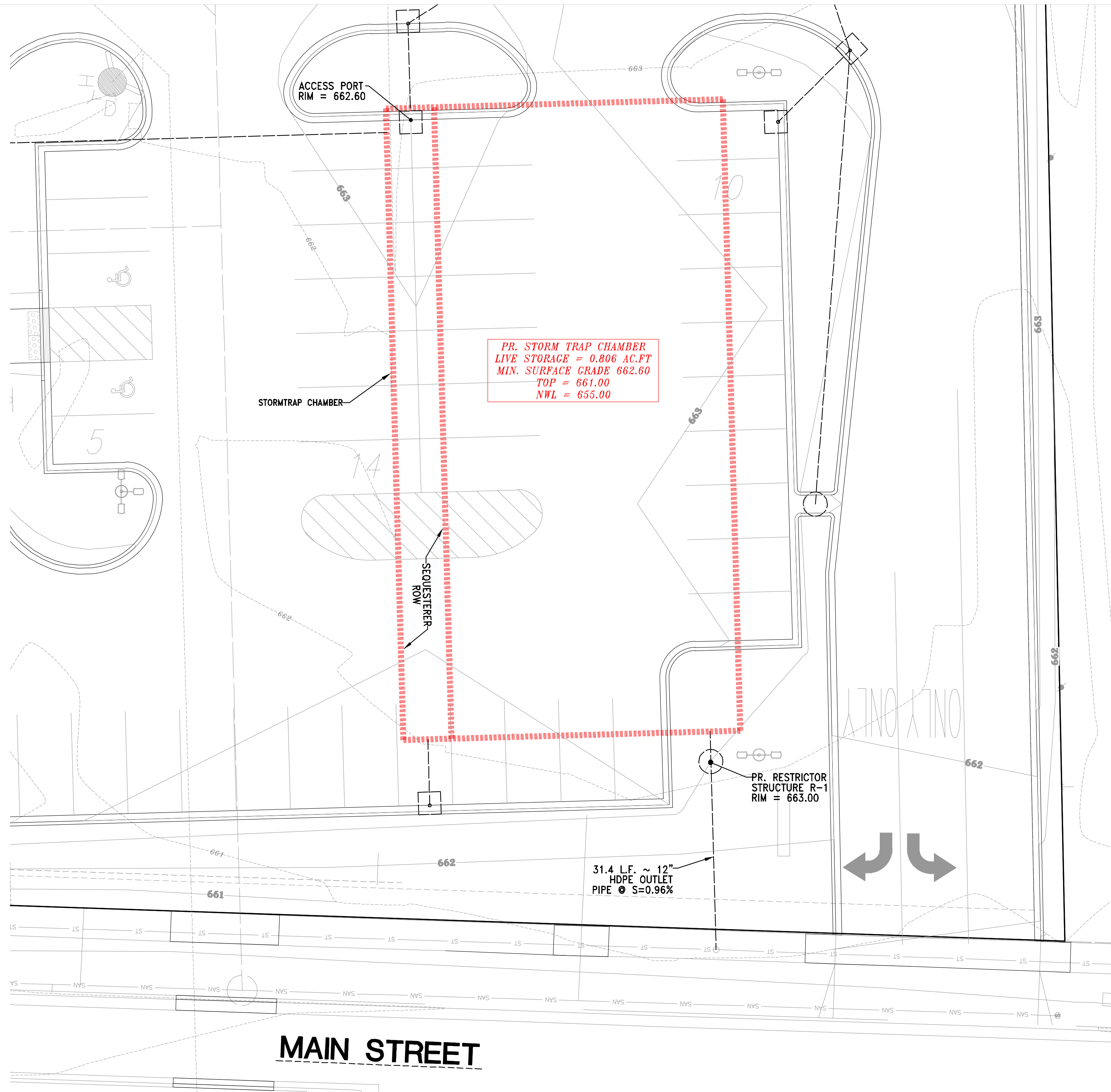
JOB NUMBER:
23-003-1092

DESCRIPTION:
GRADING & DRAINAGE PLAN

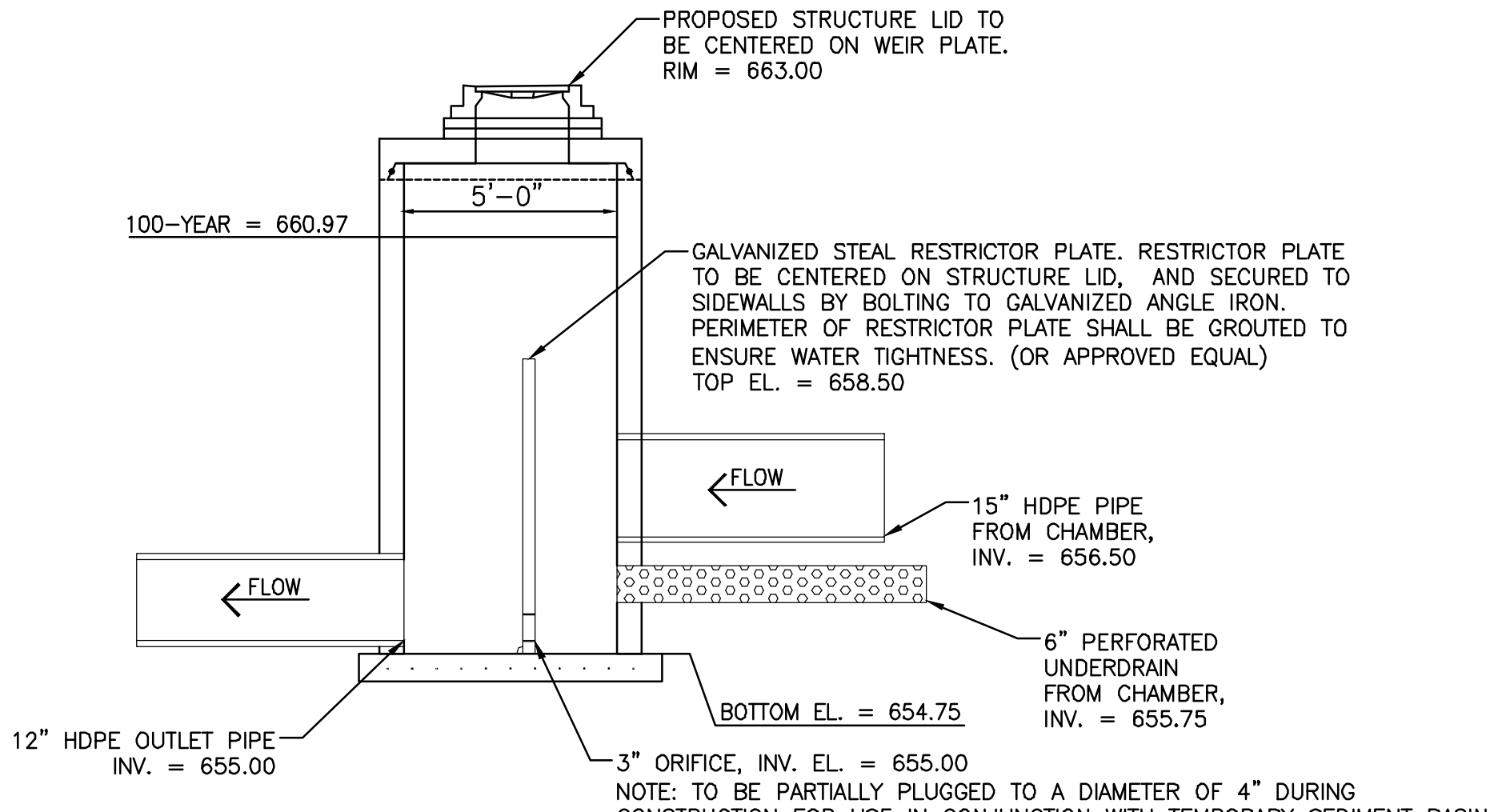
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X:\2023\23-002-1092 CHRIST ALONE NORTH CAMPUS - THIENSVILLE\DRAWINGS\PRELIMINARY\CHRIST ALONE NORTH-CAMPUS-CIVIL-PLAN-SET_22X34.DWG



UNDERGROUND CHAMBER P-1 CROSS-SECTION
NO SCALE



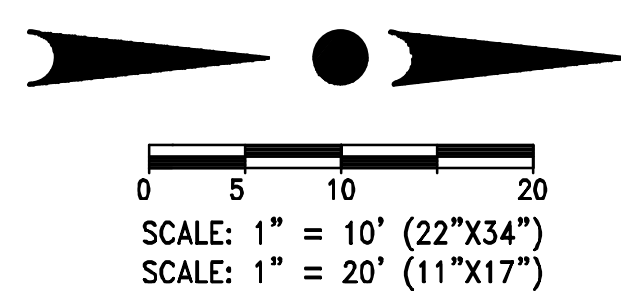
RESTRICTOR STRUCTURE R-1
NO SCALE

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LEGEND:

- - - 795 - - - EXISTING CONTOUR
- 795 — PROPOSED CONTOUR
- ← PROPOSED FLOW ARROW
- P150.00 - PROPOSED SPOT ELEVATION
- FFE XXX.X - PROPOSED FIRST FLOOR ELEVATION



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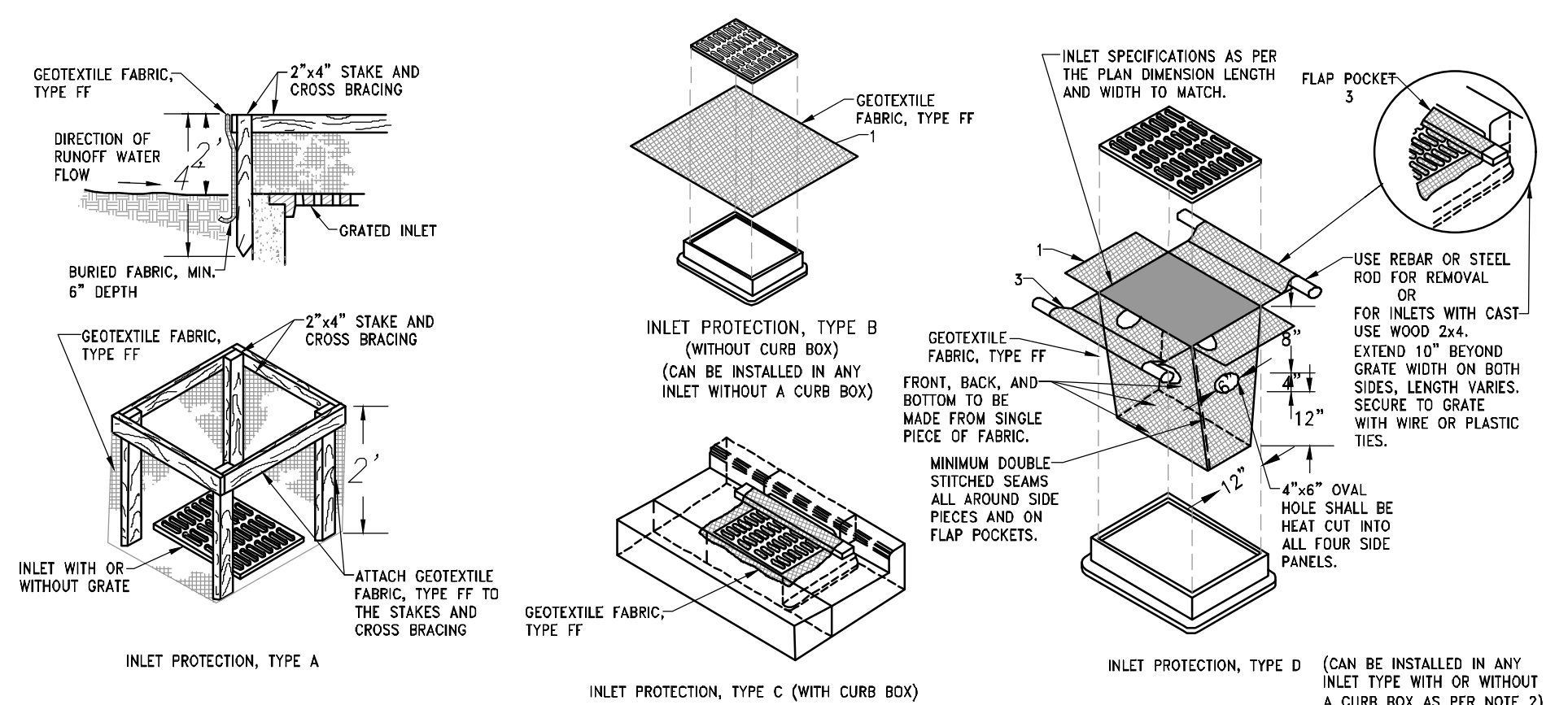
DESCRIPTION:
UNDERGROUND
DETENTION
SYSTEM PLAN

SHEET

C2.1

LEGEND:

- 795 - EXISTING CONTOUR
- 795 - PROPOSED CONTOUR
- PROPOSED FLOW ARROW
- PROPOSED SPOT ELEVATION
- PROPOSED SILT FENCE
- PROPOSED INLET PROTECTION
- PROPOSED DITCH CHECK
- PROPOSED STONE CHECK
- PROPOSED TRACKING PAD



GENERAL NOTES:

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

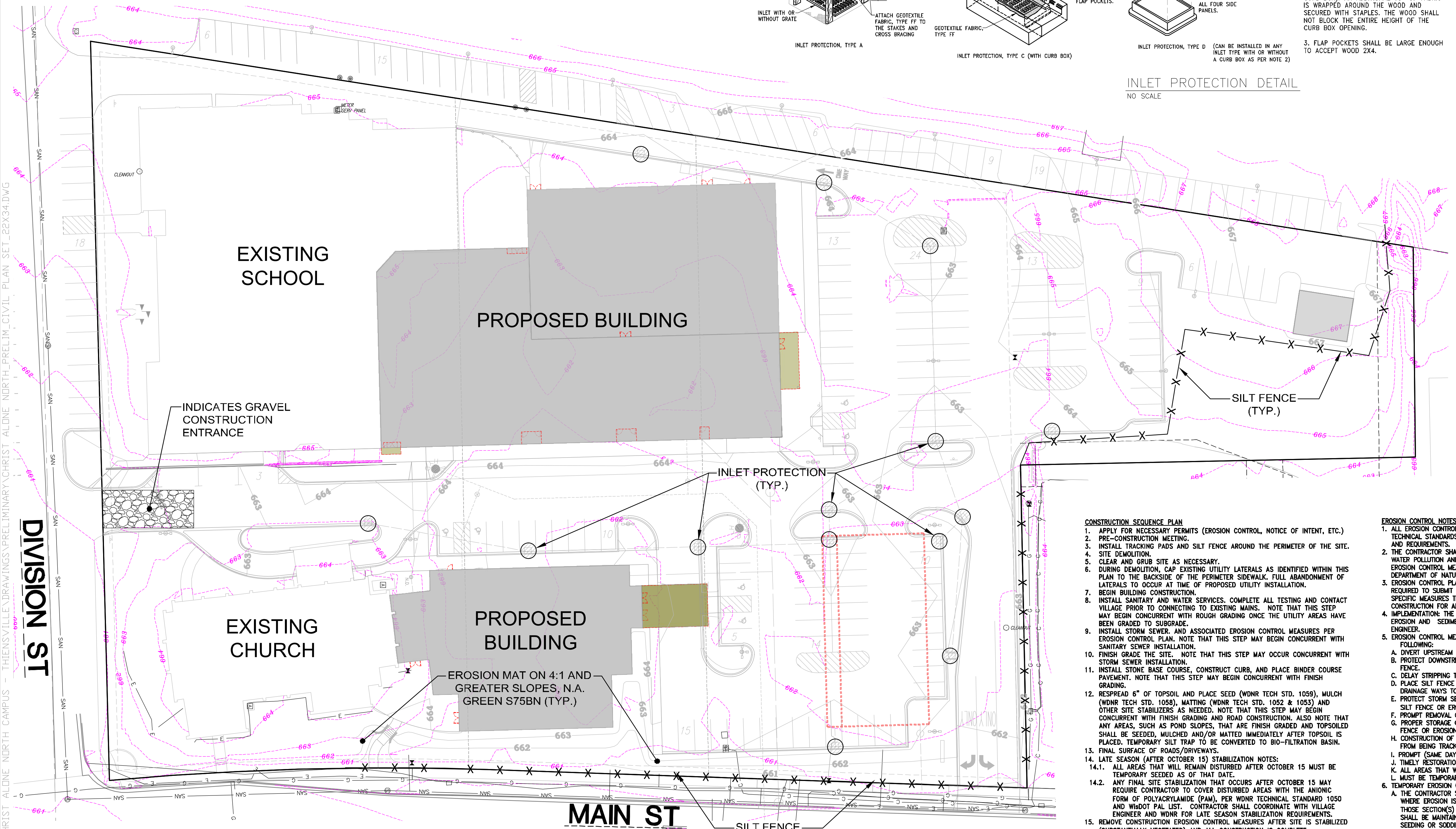
INSTALLATION NOTES:

TYPE B & C TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OF OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



- CONSTRUCTION SEQUENCE PLAN**
1. APPLY FOR NECESSARY PERMITS (EROSION CONTROL, NOTICE OF INTENT, ETC.)
 2. PRE-CONSTRUCTION MEETING.
 3. INSTALL TRACKING PADS AND SILT FENCE AROUND THE PERIMETER OF THE SITE.
 4. SITE DEMOLITION.
 5. CLEAR AND GRUB SITE AS NECESSARY.
 6. DURING DEMOLITION, CAP EXISTING UTILITY LATERALS AS IDENTIFIED WITHIN THIS PLAN TO THE BACKSIDE OF THE PERIMETER SIDEWALK. FULL ABANDONMENT OF LATERALS TO OCCUR AT TIME OF PROPOSED UTILITY INSTALLATION.
 7. BEGIN BUILDING CONSTRUCTION.
 8. INSTALL SANITARY AND WATER SERVICES. COMPLETE ALL TESTING AND CONTACT VILLAGE PRIOR TO CONNECTING TO EXISTING MAINS. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH ROUGH GRADING ONCE THE UTILITY AREAS HAVE BEEN GRADED TO SUBGRADE.
 9. INSTALL STORM SEWER, AND ASSOCIATED EROSION CONTROL MEASURES PER EROSION CONTROL PLAN. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH SANITARY SEWER INSTALLATION.
 10. FINISH GRADE THE SITE. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH STORM SEWER INSTALLATION.
 11. INSTALL STONE BASE COURSE, CONSTRUCT CURB, AND PLACE BINDER COURSE PAVEMENT. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH FINISH GRADING.
 12. RESPIREAD 6" OF TOPSOIL AND PLACE SEED (WDNR TECH STD. 1059), MULCH (WDNR TECH STD. 1058), MATTING (WDNR TECH STD. 1052 & 1053) AND OTHER SITE STABILIZERS AS NEEDED. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH FINISH GRADING AND ROAD CONSTRUCTION. ALSO NOTE THAT ANY AREAS, SUCH AS POND SLOPES, THAT ARE FINISH GRADED AND TOPSOILED SHALL BE SEED, MULCHED AND/OR MATTED IMMEDIATELY AFTER TOPSOIL IS PLACED. TEMPORARY SILT TRAP TO BE CONVERTED TO BIO-FILTRATION BASIN.
 13. FINAL SURFACE OF ROADS/DRIVEWAYS.
 14. LATE SEASON (AFTER OCTOBER 15) STABILIZATION NOTES:
 - 14.1. ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15 MUST BE TEMPORARY SEED AS OF THAT DATE.
 - 14.2. ANY FINAL SITE STABILIZATION THAT OCCURS AFTER OCTOBER 15 MAY REQUIRE CONTRACTOR TO COVER DISTURBED AREAS WITH THE ANIONIC FORM OF POLYACRYLAMIDE (PAM), PER WDNR TECHNICAL STANDARD 1050 AND WISDOT PAL LIST. CONTRACTOR SHALL COORDINATE WITH VILLAGE ENGINEER AND WDNR FOR LATE SEASON STABILIZATION REQUIREMENTS.
 15. REMOVE CONSTRUCTION EROSION CONTROL MEASURES AFTER SITE IS STABILIZED (SUBSTANTIALLY VEGETATED) AND ALL CONSTRUCTION IS COMPLETE.
 16. PREPARATION OF ASBUILT SURVEY AND RECORD DRAWINGS, AND SUBMITTAL TO VILLAGE.
 17. REMOVE REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
 18. FILE N.O.T. WITH DNR ONCE 70% STABILIZATION IS COMPLETE.

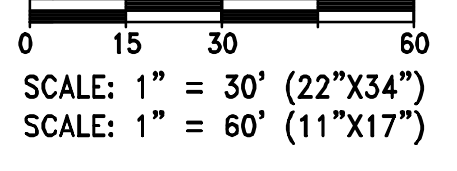
- EROSION CONTROL NOTES:**
1. ALL EROSION CONTROL METHODS SHALL BE INSTALLED IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS AND VILLAGE OF THIENSVILLE MUNICIPAL CODE, STANDARDS, AND REQUIREMENTS.
 2. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
 3. EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE USED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER.
 4. IMPLEMENTATION: THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
 5. EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.
 - B. PROTECT DOWNSTREAM OR ADJACENT WATERWAYS AND WETLANDS WITH SILT FENCE.
 - C. DELAY STRIPPING TOPSOIL UNTIL REQUIRED FOR CONSTRUCTION.
 - D. PLACE SILT FENCE OR EROSION CONTROL BALES IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.
 - E. PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF CULVERTS WITH SILT FENCE OR EROSION CONTROL BALES (SEE DETAIL SHEET 05.1).
 - F. PROMPT REMOVAL OF EXCAVATED MATERIAL.
 - G. PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWNSLOPE SIDES OF SPOIL PILES.
 - H. CONSTRUCTION OF TRACKING PAD TO CONSTRUCTION SITE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
 - I. PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
 - J. TIMELY RESTORATION OF DAMAGE SURFACE AREAS.
 - K. ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15 MUST BE TEMPORARY SEED AS OF THAT DATE.
 6. TEMPORARY EROSION CONTROL MEASURES:
 - A. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES, WHERE EROSION IS LIKELY TO BE A PROBLEM, PRIOR TO BEGINNING WORK ON THOSE SECTION(S) OF THE PROJECT. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEEDING OR SOODING, HAS BEEN ESTABLISHED.
 - B. IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE FOLLOWING YEAR.
 7. ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN DAYS MUST BE IMMEDIATELY RESTORED WITH SEED AND MULCH.
 8. INSTALL SILT FENCE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DETAILS
 9. EROSION CONTROL INSPECTION AND MAINTENANCE:
 - A. INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER SITE RECEIVES 0.5" OF RAIN IN A 24-HOUR PERIOD DURING CONSTRUCTION.
 - B. REPAIR OR REPLACE EROSION CONTROLS THAT ARE DAMAGED OR FAILING.
 10. ALL AREAS TO BE SEED AND MULCHED SHALL USE WDOT SEED MIXTURE NO. 20. MULCH SHALL APPLIED PER WDOT SPECIFICATIONS USING METHOD B FOR PLACEMENT.

WINTER STABILIZATION PROVISIONS:
IF FINAL SITE STABILIZATION OCCURS AFTER OCTOBER 15, CONTRACTOR SHALL UTILIZE ANIONIC POLYACRYLAMIDE AND TEMPORARY SEEDING, AS WELL AS, COORDINATE WITH VILLAGE ENGINEER FOR LATE SEASON STABILIZATION REQUIREMENTS.

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WISCONSIN
Withhams
BAILEY
E-4433
PROFESSIONAL ENGINEER

TRIO
DESIGN & LAND SURVEYING
CIVIL ENGINEERING

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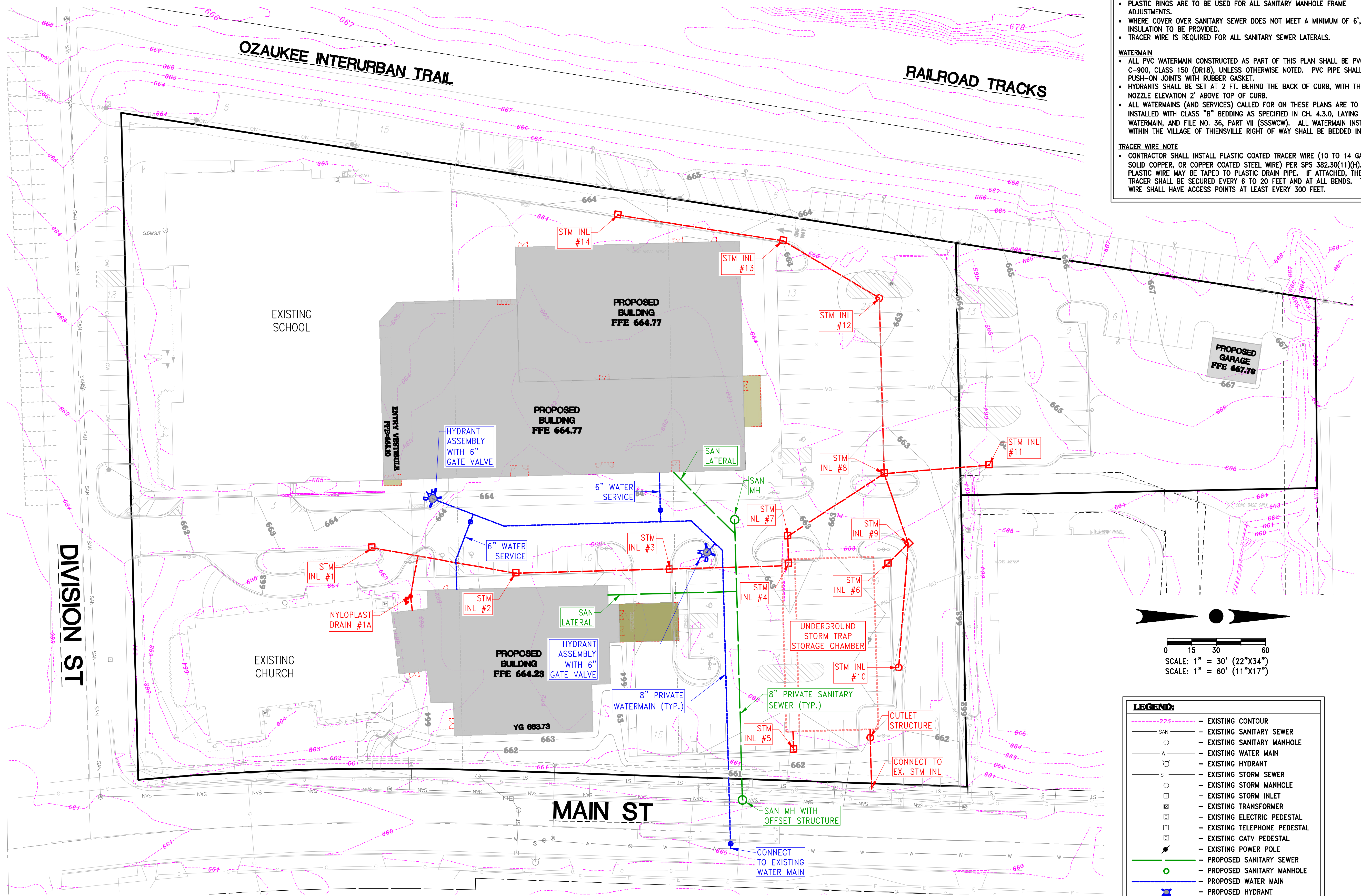
DATE:
MARCH 19, 2025

JOB NUMBER:
23-003-1092

DESCRIPTION:
EROSION CONTROL PLAN

SHEET
C3.0

X:\2023\23-002-1092 CHRIST ALONE NORTH CAMPUS - THIENSVILLE\DRAWINGS\PRELIMINARY\CHRIST ALONE NORTH_CIVIL_PLAN_SET_22X34.DWG



SANITARY SEWER

- ALL PVC SEWER PIPE SHALL MEET THE REQUIREMENTS SET FORTH IN SECTION 8.10.0 (SSSWCW).
- ALL SANITARY SEWER LATERALS (OUTSIDE OF BUILDINGS) SHALL BE MADE OF GASKETED PVC FITTINGS MEETING ASTM D-3034, SDR 35.
- PLASTIC RINGS ARE TO BE USED FOR ALL SANITARY MANHOLE FRAME ADJUSTMENTS.
- WHERE COVER OVER SANITARY SEWER DOES NOT MEET A MINIMUM OF 6', INSULATION TO BE PROVIDED.
- TRACER WIRE IS REQUIRED FOR ALL SANITARY SEWER LATERALS.

WATERMAIN

- ALL PVC WATERMAIN CONSTRUCTED AS PART OF THIS PLAN SHALL BE PVC, C-900, CLASS 150 (DR18), UNLESS OTHERWISE NOTED. PVC PIPE SHALL HAVE PUSH-ON JOINTS WITH RUBBER GASKET.
- HYDRANTS SHALL BE SET AT 2 FT. BEHIND THE BACK OF CURB, WITH THE NOZZLE ELEVATION 2' ABOVE TOP OF CURB.
- ALL WATERMANS (AND SERVICES) CALLED FOR ON THESE PLANS ARE TO BE INSTALLED WITH CLASS "B" BEDDING AS SPECIFIED IN CH. 4.3.0, LAYING OF WATERMAIN, AND FILE NO. 36, PART VII (SSSWCW). ALL WATERMAIN INSTALLED WITHIN THE VILLAGE OF THIENSVILLE RIGHT OF WAY SHALL BE BEDDED IN SAND.

TRACER WIRE NOTE

- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE) PER SPS 382.30(11)(H). PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.



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BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jbailey@trioeng.com

PROJECT:
CHRIST ALONE - NORTH CAMPUS
247 S. MAIN STREET
VILLAGE OF THIENSVILLE, WISCONSIN
BY: RAMLOW/STEN ARCHITECTURE + INTERIORS
322 E. MICHIGAN ST. SUITE 400
MILWAUKEE, WI 53202

REVISION HISTORY

DATE	DESCRIPTION
03/19/25	INITIAL SUBMITTAL

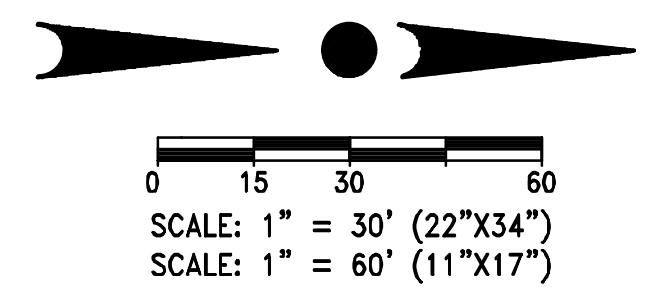
DATE:
MARCH 19, 2025

JOB NUMBER:
23-003-1092

DESCRIPTION:
UTILITY PLAN

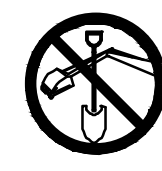
SHEET

C4.0



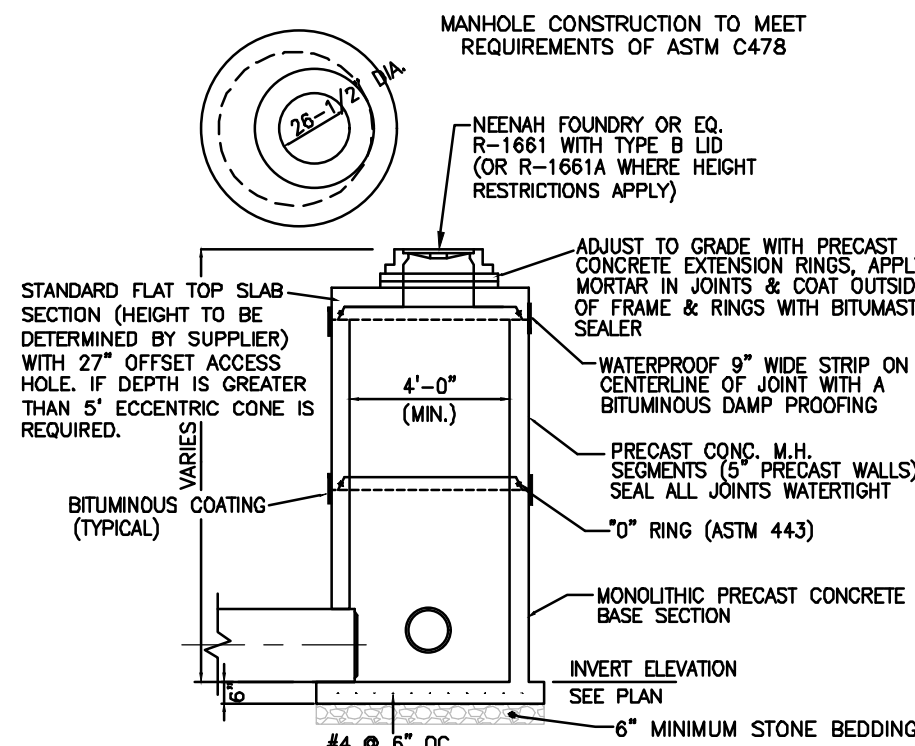
LEGEND:

--- 775 ---	EXISTING CONTOUR
SAN	EXISTING SANITARY SEWER
○	EXISTING SANITARY MANHOLE
W	EXISTING WATER MAIN
○	EXISTING HYDRANT
ST	EXISTING STORM SEWER
○	EXISTING STORM MANHOLE
⊞	EXISTING STORM INLET
⊞	EXISTING TRANSFORMER
⊞	EXISTING ELECTRIC PEDESTAL
⊞	EXISTING TELEPHONE PEDESTAL
⊞	EXISTING CATV PEDESTAL
⊞	EXISTING POWER POLE
—	PROPOSED SANITARY SEWER
○	PROPOSED SANITARY MANHOLE
—	PROPOSED WATER MAIN
⊞	PROPOSED HYDRANT
⊞	PROPOSED WATER VALVE
—	PROPOSED STORM SEWER
○	PROPOSED STORM MANHOLE
⊞	PROPOSED STORM INLET
—	PROPOSED STORM END SECTION



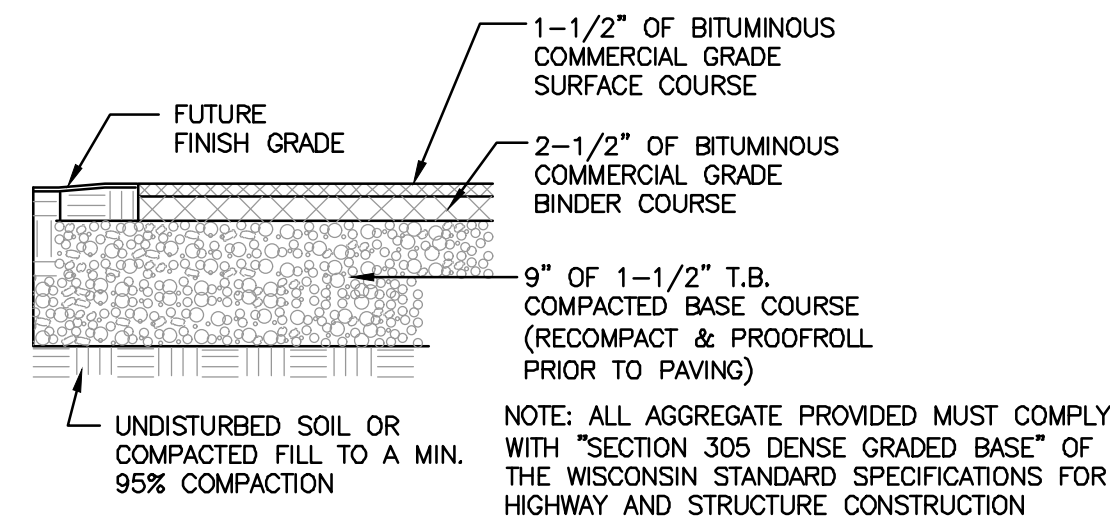
CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. **CALL DIGGERS HOTLINE 1-800-242-8511**

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

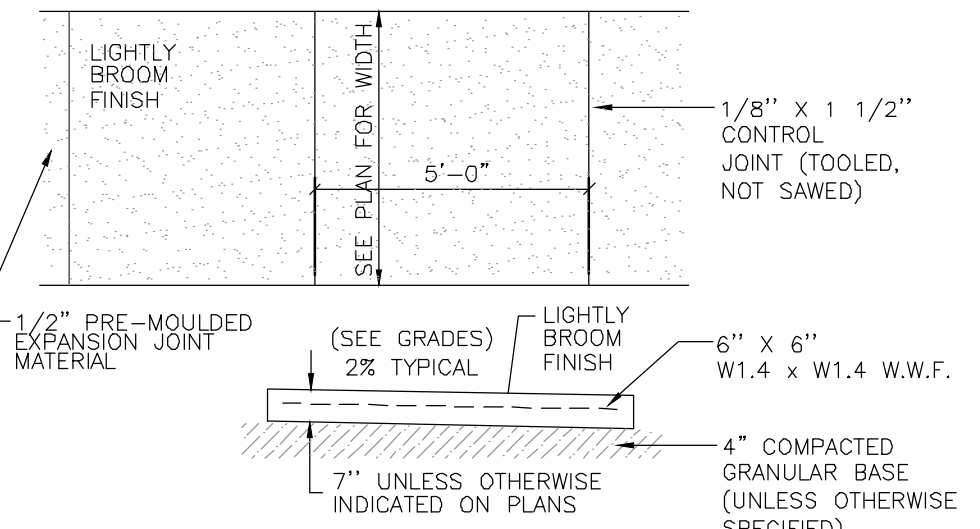


- NOTES:
1. EZ-STICK RUBBER GASKET OR APPROVED EQUAL SHALL BE PLACED AT ALL JOINTS BETWEEN ADJUSTING RINGS.
 2. MINIMUM OF 2", MAXIMUM OF 1 1/4" OF ADJUSTING RINGS.
 3. CLEAN UNDERSIDE OF ADJUSTING RINGS OR CAST IRON FRAME AND SET IN PLACE.
 4. TUCK POINT MORTAR INTO ANNULAR CRACK AND BACK PLASTER INSIDE AND OUTSIDE OF JOINTS.
 5. MEET REQUIREMENTS OF ASTM C478.

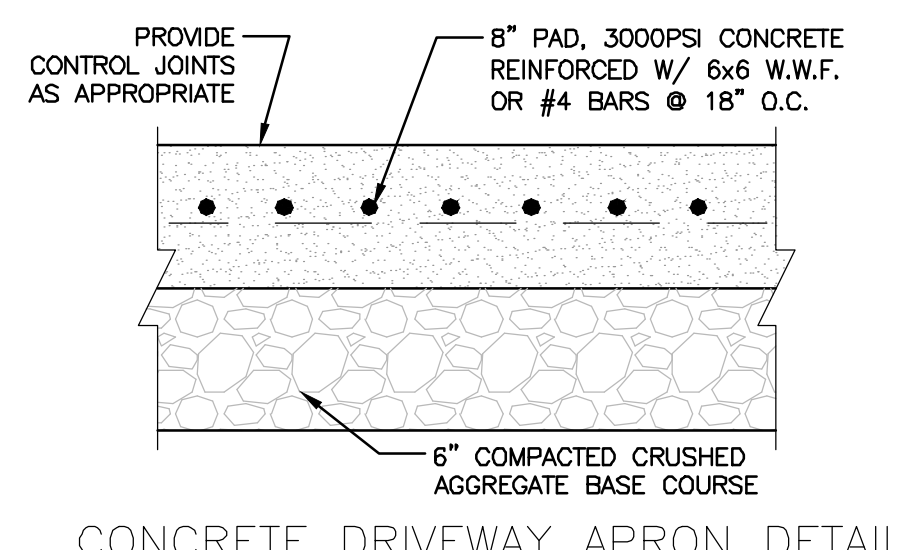
STORM MANHOLE DETAIL
NO SCALE



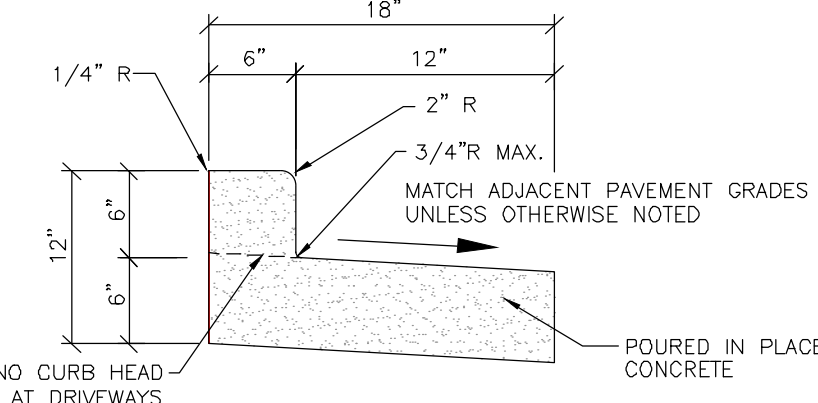
PARKING LOT ASPHALT PAVING DETAIL
NO SCALE



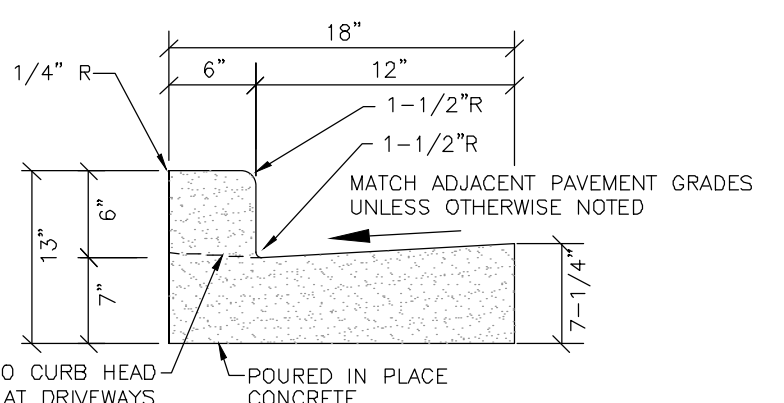
CONCRETE SIDEWALK AT DRIVEWAY APRON
NO SCALE



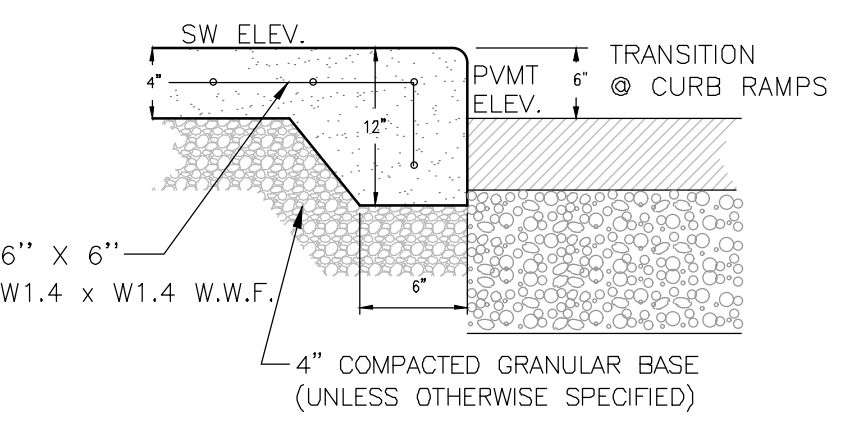
CONCRETE DRIVEWAY APRON DETAIL
NO SCALE



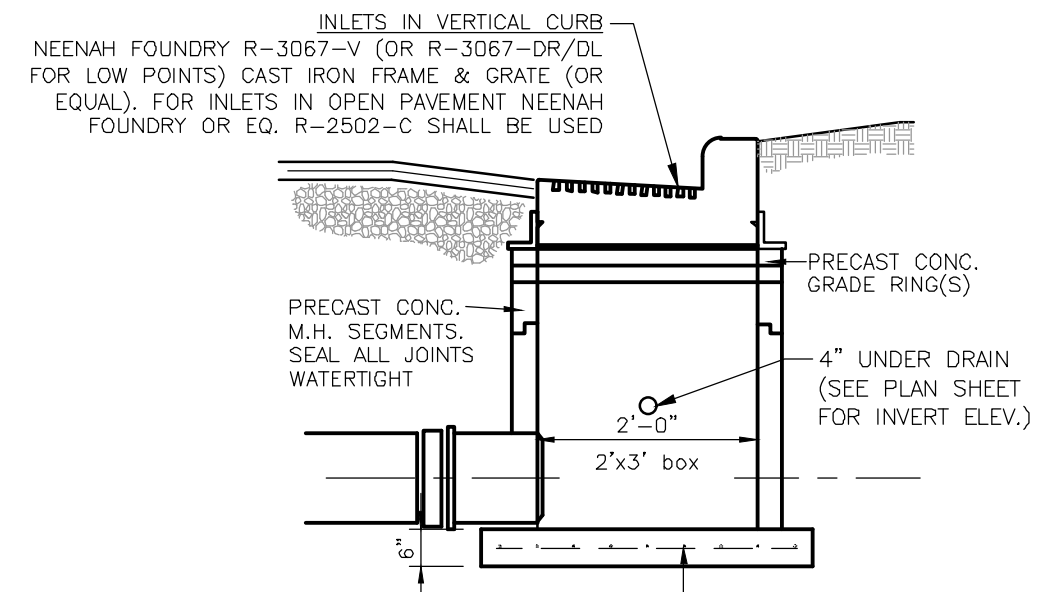
18" REJECT CURB & GUTTER DETAIL
NO SCALE



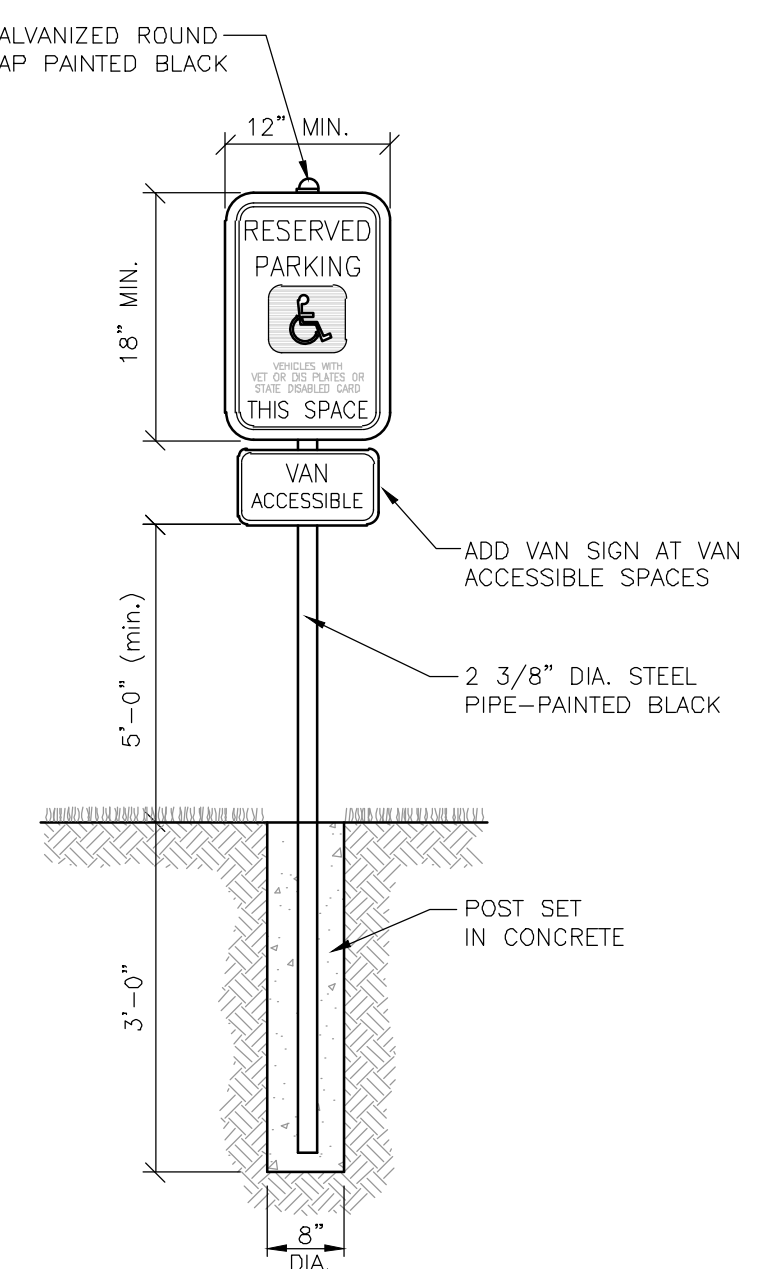
18" CONCRETE CATCH CURB & GUTTER
NO SCALE



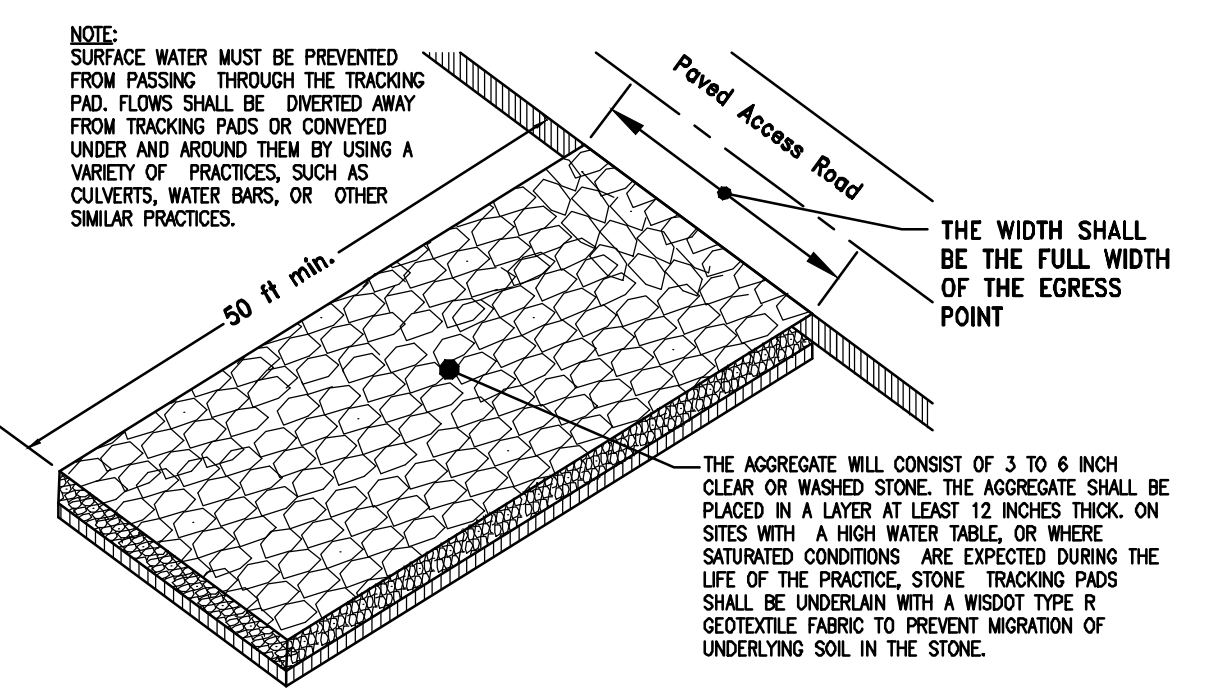
INTEGRAL SIDEWALK & BARRIER CURB
(WHERE SIDEWALK ADJOINS DRIVEWAYS/PARKING AREAS)
NO SCALE



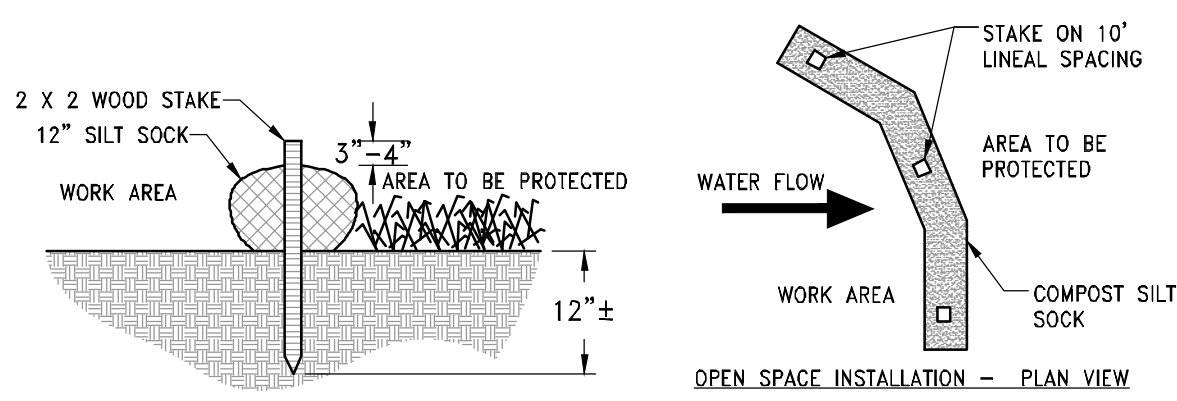
STORM SEWER INLET
NO SCALE



HANDICAP SIGNAGE DETAIL
NO SCALE

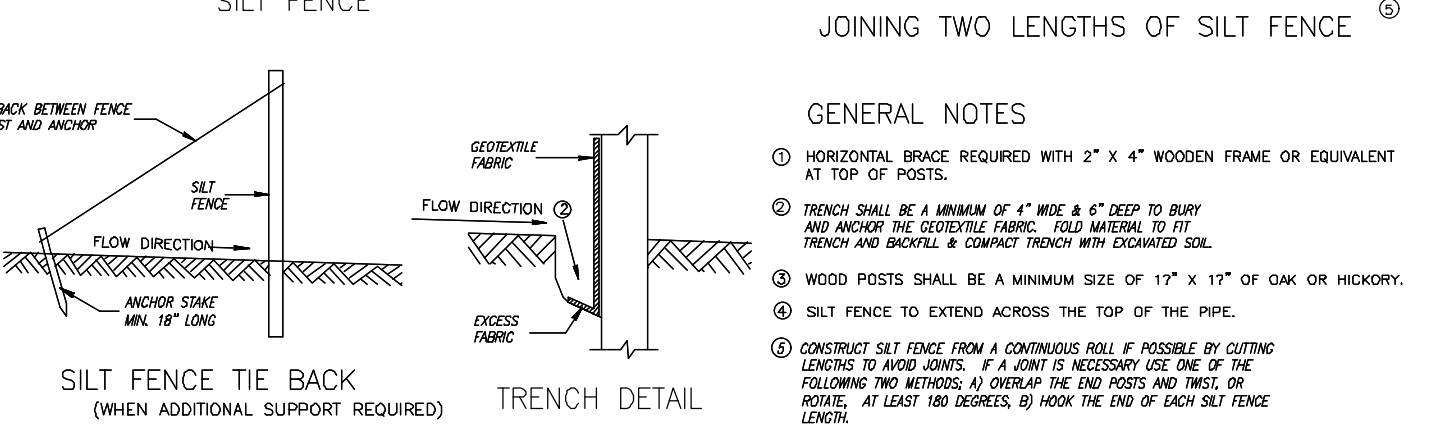
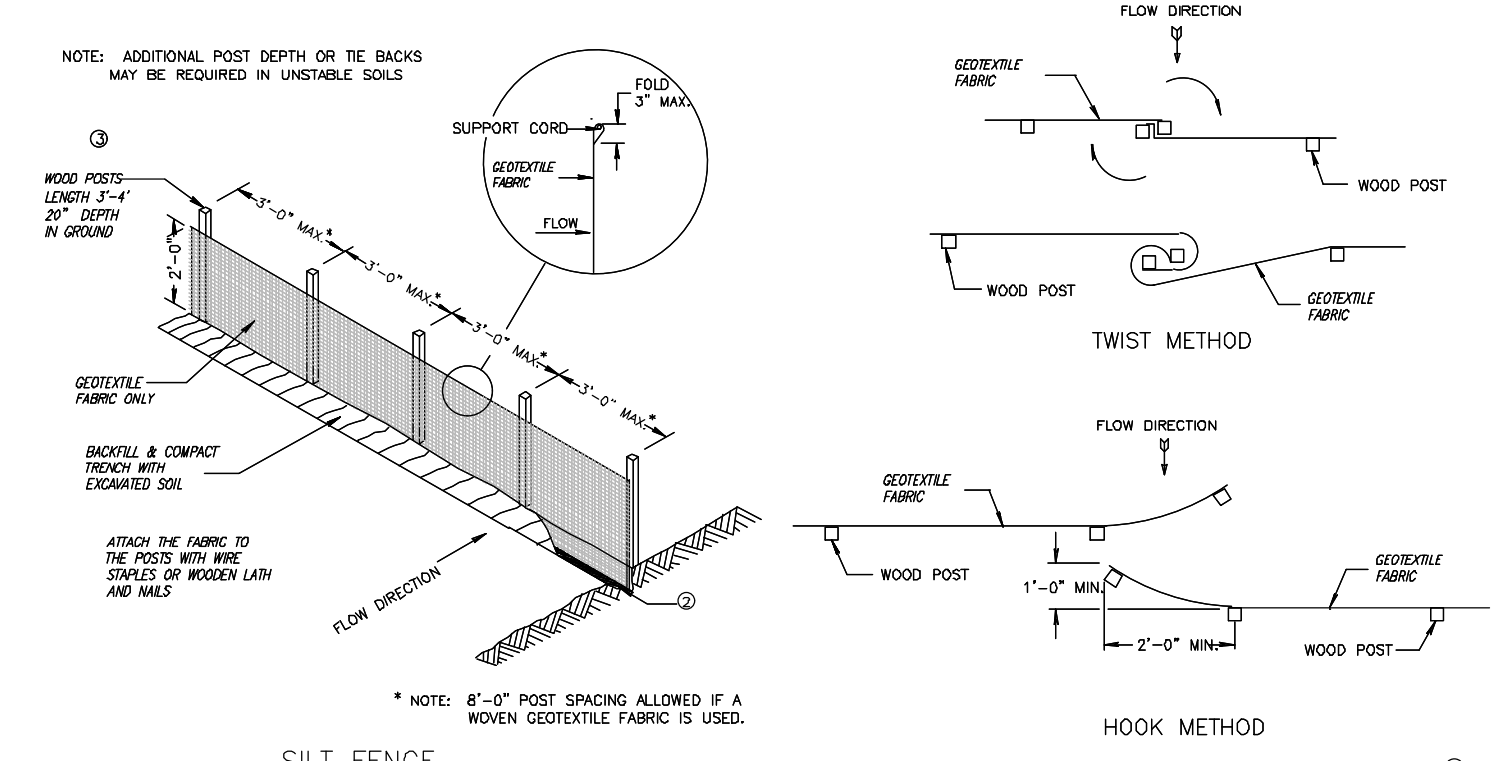


CONSTRUCTION ENTRANCE DETAIL
NO SCALE



- NOTES:
1. ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS
 2. REFER TO MANUFACTURERS AND/OR SUPPLIERS, SPECIFICATIONS FOR INSTALLATION RECOMMENDATIONS.
 3. ACTUAL LOCATION MAY BE FIELD ADJUSTED TO MINIMIZE DISTURBANCE TO EXISTING VEGETATION.
 4. INSTALL EVERY 200' OR 2' GRADE DROP IN SWALES.

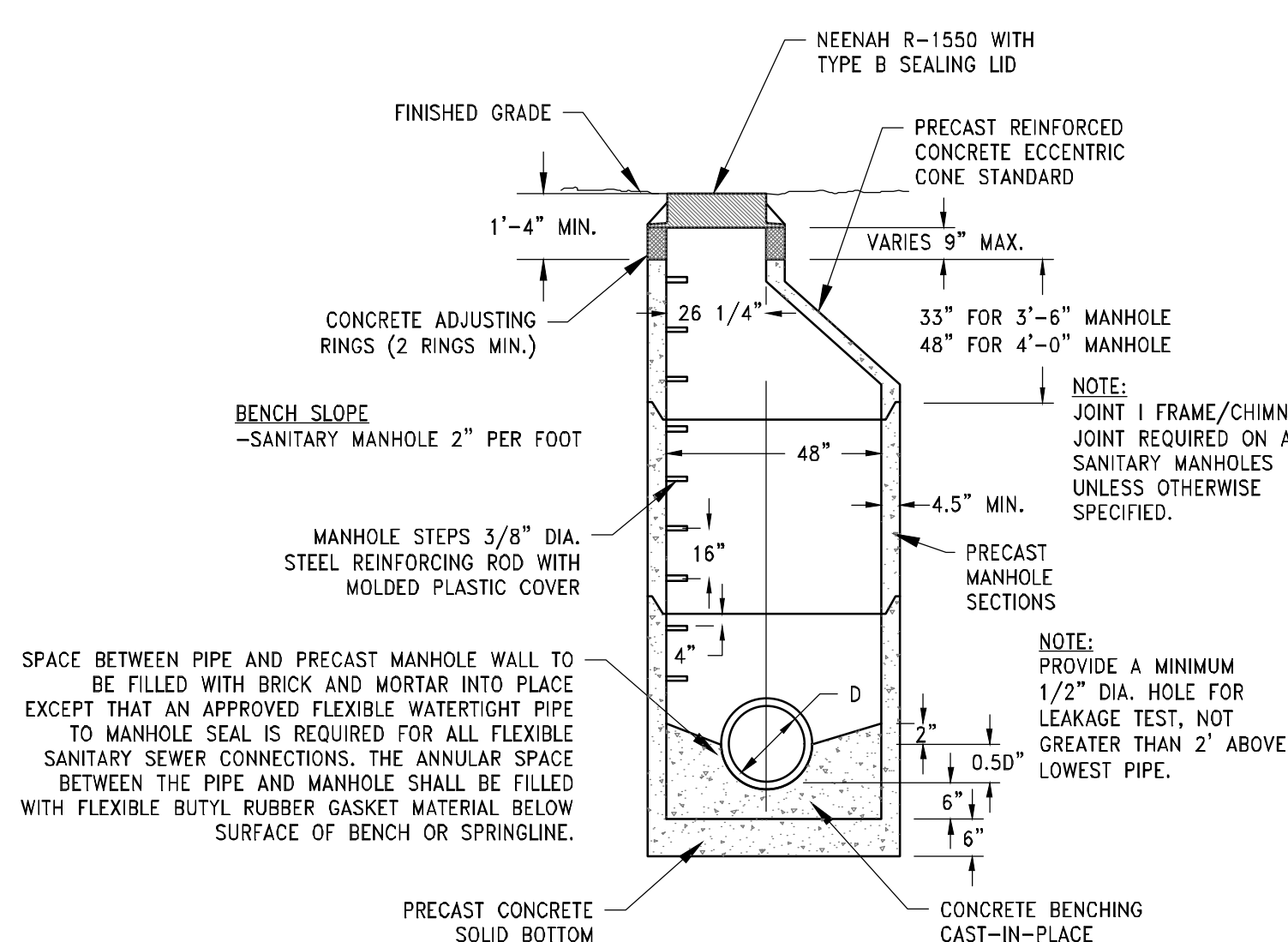
STRAW WATTLE DITCH CHECK INSTALLATION DETAIL
NO SCALE



- GENERAL NOTES
1. HORIZONTAL BRACE REQUIRED WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 2. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FILL MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" x 1 1/2" OF OAK OR HICKORY.
 4. SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
 5. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE BY CUTTING LENGTHS TO FIT JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST OR HOOK, AT LEAST 180 DEGREES; B) HOOK THE END OF EACH SILT FENCE LENGTH.

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 9-6.

SILT FENCE INSTALLATION DETAIL
NO SCALE



PRECAST SANITARY SEWER MANHOLE DETAIL
NO SCALE

- NOTES:
1. CONSTRUCT MANHOLE IN ACCORDANCE WITH FILE NO. 12 OF THE STATE STANDARD SPECIFICATIONS FOR SEWER AND WATER.
 2. ADJUST FRAME TO GRADE WITH CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT=8", MINIMUM RING HEIGHT=2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING, WHERE NECESSARY RINGS SHALL BE GROOVED TO RECEIVE STEP.
 3. CONCRETE AND REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION C-478.
 4. JOINTS SHALL BE WATER TIGHT AND SHALL BE MADE USING MORTAR, FLEXIBLE PLASTIC GASKETS OR RUBBER TYPE GASKETS FOR STORM MANHOLES.
 5. AREA OF CIRCUMFERENTIAL STEEL = 0.12 SQ. INCH PER LINEAL FOOT MIN.
 6. 3" OF BEDDING STONE UNDER BASE REQUIRED ON WET SUB-GRADE.
 7. ALL SANITARY MANHOLES SHALL BE PROVIDED WITH EXTERNAL CHIMNEY SEALS AND SELF-SEALING LIDS WITH CONCEALED PICK HOLES.

MANHOLE SIZES (UNLESS OTHERWISE NOTED)

PIPE DIA. [D]	MANHOLE DIA.	WALL THICKNESS
8" THRU 27"	3'-6"	4 1/2"
30"	4'-0"	5"
36"	5'-0"	6"
42"	6'-0"	7"

*ALL PUBLIC MANHOLES SHALL BE A MIN. OF 48" DIA.



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PROJECT: CHRIST ALONE - NORTH CAMPUS
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VILLAGE OF THIENSVILLE, WISCONSIN
BY: RAMLOW/STEN ARCHITECTURE + INTERIORS
322 E. MICHIGAN ST. SUITE 400
MILWAUKEE, WI 53202

REVISION HISTORY

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DATE:
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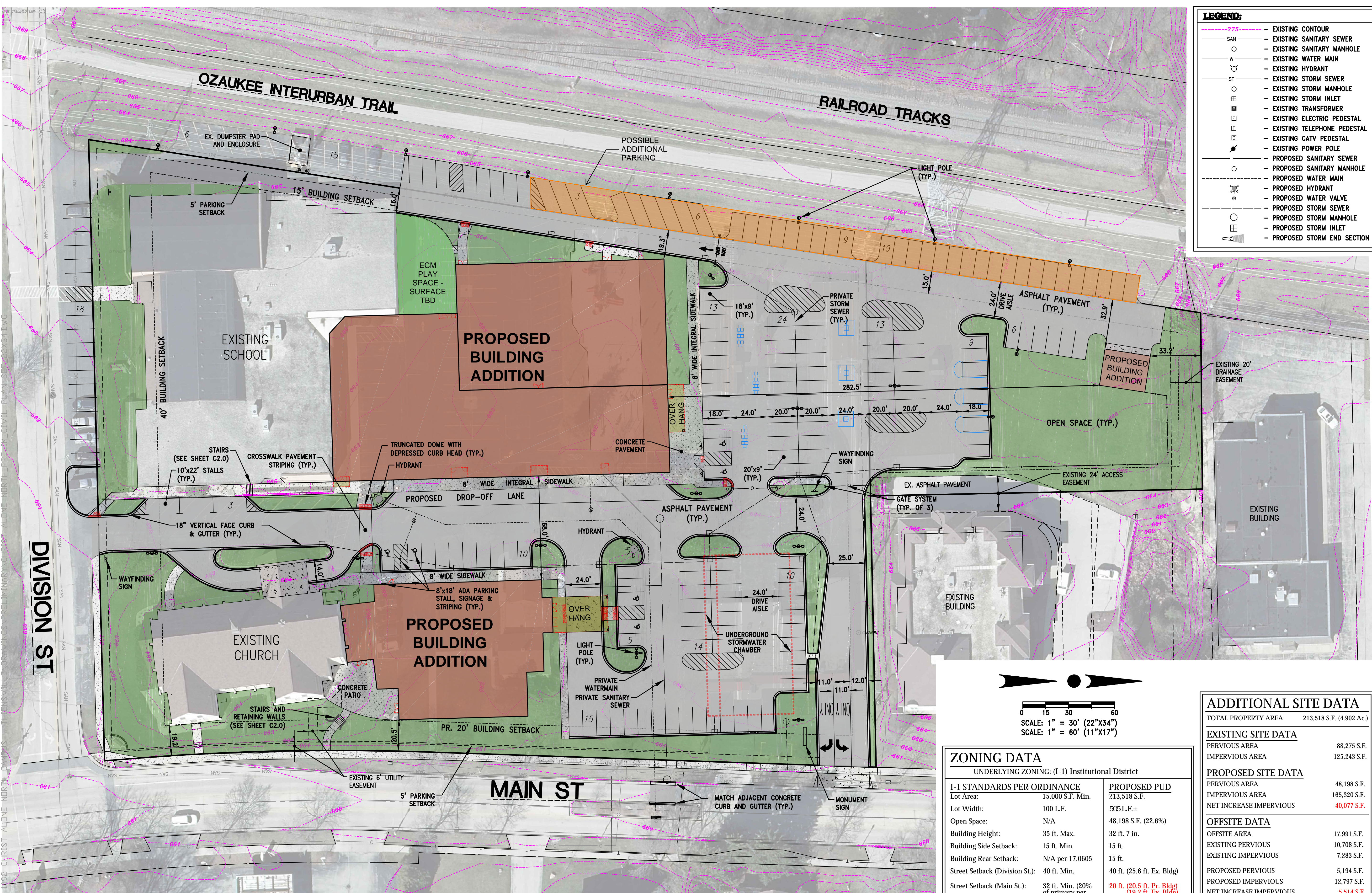
JOB NUMBER:
23-003-1092

DESCRIPTION:
CONSTRUCTION DETAILS

SHEET

C5.0

X:\2023\23-003-1092 CHRIST ALONE NORTH CAMPUS - THIENSVILLE\DRAWINGS\PRELIMINARY\CHRIST ALONE NORTH PRELIM CIVIL PLAN SET_22X34.DWG



LEGEND:

- - - 775 - - - EXISTING CONTOUR
- - - SAN - - - EXISTING SANITARY SEWER
- - - W - - - EXISTING WATER MAIN
- - - ST - - - EXISTING STORM SEWER
- - - [Symbol] - - - EXISTING STORM MANHOLE
- - - [Symbol] - - - EXISTING STORM INLET
- - - [Symbol] - - - EXISTING TRANSFORMER
- - - [Symbol] - - - EXISTING ELECTRIC PEDESTAL
- - - [Symbol] - - - EXISTING TELEPHONE PEDESTAL
- - - [Symbol] - - - EXISTING CATV PEDESTAL
- - - [Symbol] - - - EXISTING POWER POLE
- - - [Symbol] - - - PROPOSED SANITARY SEWER
- - - [Symbol] - - - PROPOSED SANITARY MANHOLE
- - - [Symbol] - - - PROPOSED WATER MAIN
- - - [Symbol] - - - PROPOSED HYDRANT
- - - [Symbol] - - - PROPOSED WATER VALVE
- - - [Symbol] - - - PROPOSED STORM SEWER
- - - [Symbol] - - - PROPOSED STORM MANHOLE
- - - [Symbol] - - - PROPOSED STORM INLET
- - - [Symbol] - - - PROPOSED STORM END SECTION



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 EMAIL: j.pudis@trioeng.com

PROJECT:
CHRIST ALONE - NORTH CAMPUS
 247 S. MAIN STREET
 VILLAGE OF THIENSVILLE, WISCONSIN
BY: RAMLOW/STEIN ARCHITECTURE + INTERIORS
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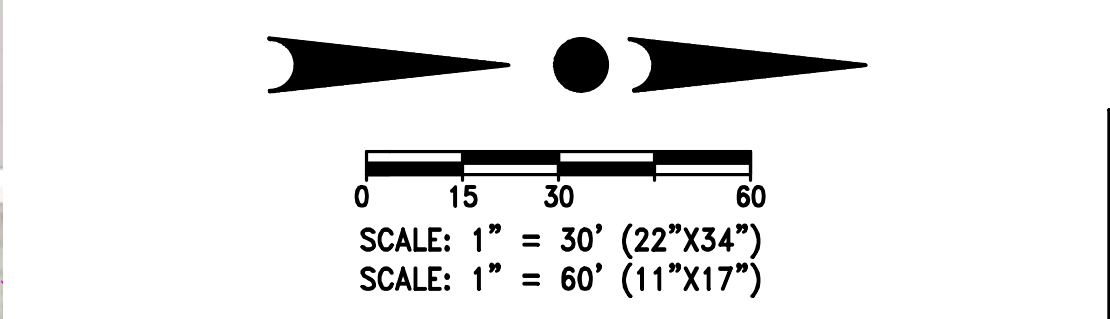
DATE:
 MARCH 19, 2025

JOB NUMBER:
 23-003-1092

DESCRIPTION:
PROPOSED SITE PLAN

SHEET

C1.1



ZONING DATA
 UNDERLYING ZONING: (I-1) Institutional District

I-1 STANDARDS PER ORDINANCE	PROPOSED PUD
Lot Area: 15,000 S.F. Min.	213,518 S.F.
Lot Width: 100 L.F.	505 L.F.±
Open Space: N/A	48,198 S.F. (22.6%)
Building Height: 35 ft. Max.	32 ft. 7 in.
Building Side Setback: 15 ft. Min.	15 ft.
Building Rear Setback: N/A per 17.0605	15 ft.
Street Setback (Division St.): 40 ft. Min.	40 ft. (25.6 ft. Ex. Bldg)
Street Setback (Main St.): 32 ft. Min. (20% of primary per 17.0605)	20 ft. (20.5 ft. Pr. Bldg) (19.2 ft. Ex. Bldg)
Parking Setback: 5 ft.	5 ft.

ADDITIONAL LOT DATA:
 FLOOR-AREA-RATIO: 36.6% (78,220 S.F. FLOOR AREA)

ADDITIONAL SITE DATA

TOTAL PROPERTY AREA	213,518 S.F. (4.902 Ac.)
EXISTING SITE DATA	
PERVIOUS AREA	88,275 S.F.
IMPERVIOUS AREA	125,243 S.F.
PROPOSED SITE DATA	
PERVIOUS AREA	48,198 S.F.
IMPERVIOUS AREA	165,320 S.F.
NET INCREASE IMPERVIOUS	40,077 S.F.
OFFSITE DATA	
OFFSITE AREA	17,991 S.F.
EXISTING PERVIOUS	10,708 S.F.
EXISTING IMPERVIOUS	7,283 S.F.
PROPOSED PERVIOUS	5,194 S.F.
PROPOSED IMPERVIOUS	12,797 S.F.
NET INCREASE IMPERVIOUS	5,514 S.F.
PROPOSED PARKING	
PR. STANDARD PARKING STALLS	192 STALLS
PR. ADA PARKING STALLS	6 STALLS
TOTAL PR. PARKING STALLS	198 STALLS

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NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

The School & Church currently have 96 parking stalls. After construction, 161 parking stalls will be available with the possibility of an additional 37, bringing the possible total to 198 stalls.

HISTORIC PRESERVATION CERTIFICATE OF APPROPRIATENESS APPLICATION

Submission Information:

A complete application shall be submitted by the deadline stated on the meeting schedule to the Village Clerk In order for an application to be considered complete, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. Owner, architect, builder or owner's representative must attend the Historic Preservation Commission meeting for action to be taken. See staff approval policy for projects that may not require commission approval. Some projects will require Plan Commission approval and paid and approved building permit. Projects not completed within 1 year of approval date must apply for renewal.

Property Address: _____

12-050-07-13-004

Tax Key #

Current Zoning

Property Owner:

Name

Address

Phone

Email Address

Applicant: Same as Owner

Name

Address

Phone

Email Address

Project Description:

Please describe your project in detail. Include details about height and dimensions, color, materials used, and setbacks from the street and property lines. Describe exterior architectural feature affected, such as windows, roofs, porches, cornices or masonry. Briefly describe the feature or materials and give the approximate date it was constructed, if known. Describe in detail the proposed work and how it will impact the existing feature. If more space is needed, continue on a separate page. _____

The project seeks to combine 2 parcels 12-050-07-11-00, 12-050-07-13-002 with this parcel into a single property for Christ Alone Lutheran Church with a proposed CSM. The intent is to construct a single story garage building approximately 750 SF on the 211 S. Main St. site. The intent is for the garage to be used as a grounds building. The garage will be wood frame, with a sloped roof. The project for Christ Alone includes an addition to the school and church. The materials for the siding will be fiber cement board siding to match the proposed addition to the church. The roof will be dimensional asphalt shingles to match the proposed addition to the church. See attached supporting documents for more information.

Applicant Signature



Date

Application Checklist: *10 Paper copies and an electronic copy with files in PDF format (plan size 11X17) must be submitted for all applicable items below for review and the Historic Preservation Commission Packet.*

Submit Applicable Items Below

- Submit scaled site plan with proposed location and setbacks with accurate dimensions indicating the property size, its relationship to surrounding properties, existing topography, key natural features and show the location of all existing and proposed:
- Exterior Painting** – Color selection with samples of colors. List items to be painted. Provide color samples. See HPC Guidelines for color palate recommendations
- Repairs and Maintenance** – Detail of items to be repaired and materials to be used. If possible, include samples of materials to be used.
- Replacement of Windows, Doors, Siding, etc.** – Detail of items to be replaced and type of materials to be used.
- Roofs** – Type of roofing material and color pattern. Provide roofing sample.
- Lighting plan;** photometric plan, type of fixtures, wattage and location and height of lighting structures.
- Signs** – Type of sign, dimensions, text and color. If sign is to be illuminated, provide lighting details. Completed Village of Thiensville sign review application
- Documents** – Plans, drawings, specifications and colored elevations of proposed alterations, new construction, accessory structures, fencing, or alterations to site plan showing finished exterior treatment and a listing of building materials. Completed Plan Commission application if needed.

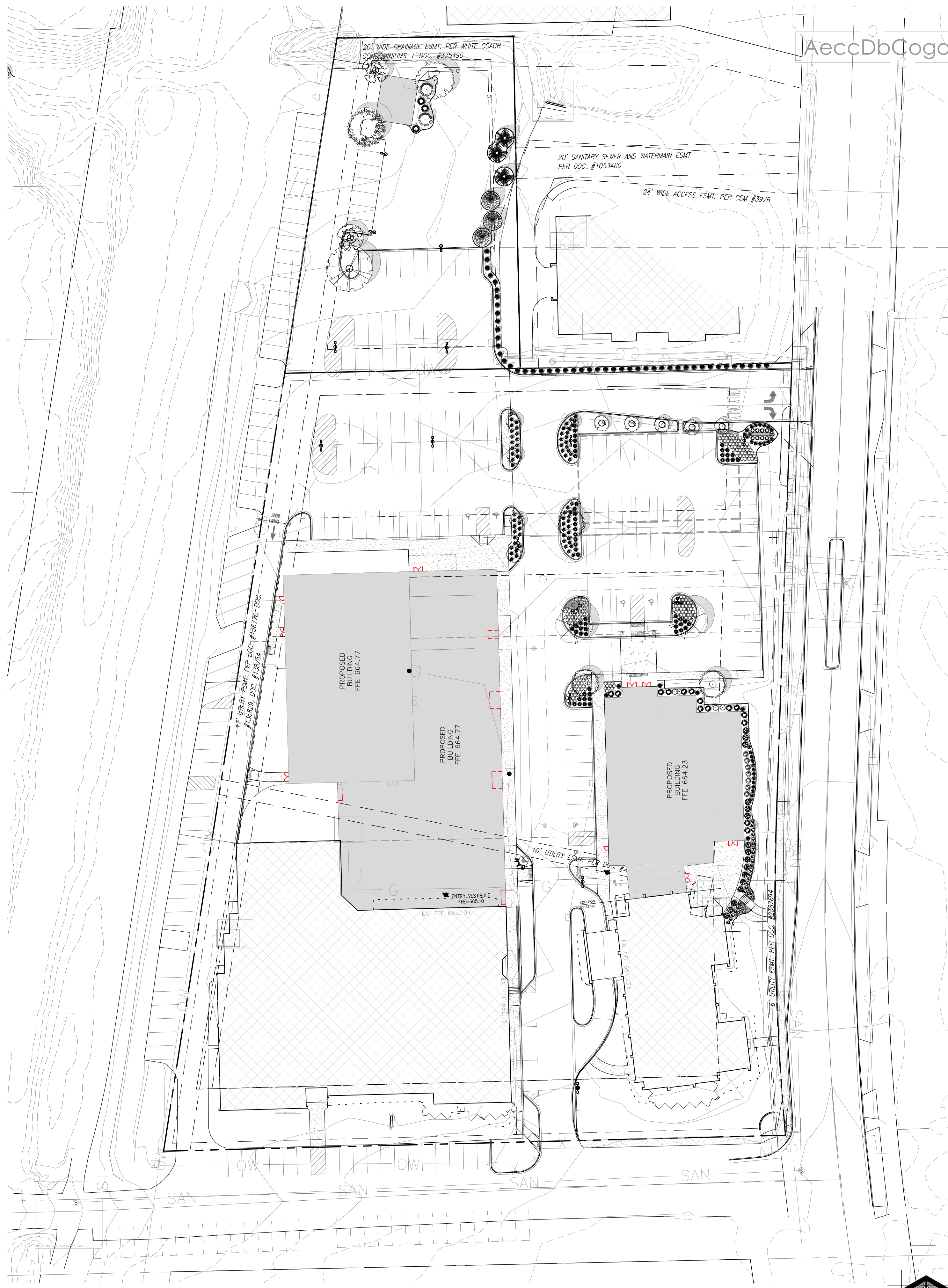
Village Staff Review

- Application Complete. Items needed: _____
- Submitted to Village Clerk on _____ Approved by Staff on _____
- Historic Preservation Meeting Date _____

Additional Remarks/Conditions:

 Village Staff Signature

 Date



SITE INFORMATION

USDA PLANT HARDINESS ZONE	5a (-20 to -15 Degrees F)
LOT ZONING	
TOTAL IMPERVIOUS	xxxxx SQ. FT. (xxx Acres)
TOTAL GREENSPACE	xxxxx SQ. FT. (xxx Acres)
SITE LANDSCAPE PERCENTAGE	xxx%
TOTAL PARKING STALLS	xxx STALLS

EXISTING CONDITIONS GENERAL NOTES

- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE LANDSCAPE DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA OF DISTURBANCE THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.
- VERIFY LOCATION OF ACCESS PANELS W/ MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS. VERIFY LOCATIONS OF ALL BURIED UTILITIES AND STRUCTURES AND LOCATIONS OF ALL OVERHEAD WIRES.
- VERIFY LOCATION OF ALL EXISTING EASEMENTS.
- INSITE LANDSCAPE DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF INSITE LANDSCAPE DESIGN, INC.

DESIGN COMPLIANCE: THIS LANDSCAPE PLAN IS ACCURATE AND IN COMPLIANCE WITH THE VILLAGE OF THEINSVILLE LANDSCAPE REQUIREMENTS SET FORTH IN SECTIONS 17.1209 CRITERIA FOR REVIEW AND APPROVAL; 17.1210 ARCHITECTURAL REVIEW

CONTRACTOR NOTE: THE LANDSCAPE CONTRACTOR/GENERAL CONTRACTOR ARE RESPONSIBLE TO INSTALL THE LANDSCAPE AS PER THE APPROVED PLAN. IF ANY CHANGES OR DEVIATIONS ARE MADE FROM THE THIS APPROVED PLAN, THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE RESPONSIBLE FOR UPDATING THE PLANS ACCORDINGLY AND SUBMITTING THOSE REVISED PLANS FOR APPROVAL AND "SIGN OFF" WITH THE VILLAGE OF THEINSVILLE. THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE ALSO RESPONSIBLE FOR VERIFYING THAT ANY PLANT MATERIAL SUBSTITUTIONS OR MODIFICATIONS THAT ARE MADE TO THE APPROVED LANDSCAPE DESIGN DOCUMENTS WILL NOT CHANGE OR ALTER ANY OF THE REQUIRED SUPPORTING LANDSCAPE REQUIREMENT CALCULATIONS. UPON COMPLETION OF THE CONSTRUCTION PROJECT AND FILE THAT AFFIDAVIT WITH THE VILLAGE OF THEINSVILLE.

17.0205 SITE REGULATIONS
 D. A Buffer Yard shall be created and maintained around all business districts created after the effective date of this Ordinance. Buffer yards created prior to the effective date of this Ordinance shall be maintained, at a minimum, in their existing condition. Buffer yards shall occupy a minimum of 10 percent of the area of the lot on which they are located and shall be not less than 10 feet in width. Buffer yards shall screen a business from adjoining lands in such a manner that:

- If the buffer yard is composed entirely of plant materials, it shall be of sufficient initial depth and height and of such varieties as to provide adequate visual screening within no more than 2 years and during all seasons of the year.
- Where architectural walls or fences are used, sufficient landscaping shall be used in conjunction with such fence or wall to create an attractive view from the residential side. Any wall or fence shall be not less than 4 feet or more than 6 feet in height.
- Where the land adjacent to the buffer yard is a parking lot, the buffer screen shall be sufficiently opaque to prevent the penetration of headlights glare. All landscaping shall be maintained by the owner or operator to the satisfaction of the Plan Commission.
- No signs shall be permitted on or in any part of the buffer yard.

17.1209 CRITERIA FOR REVIEW AND APPROVAL
 10. Outdoor Lighting Installations:
 B. General Regulations. The following regulations shall apply to all luminaires installed, erected or maintained in any zoning district:

- No light structure shall exceed 20 feet in height unless otherwise approved in accordance with this section. Unless otherwise approved in accordance with this section, all luminaires shall be of a cutoff design and shall be shielded or directed so as to confine the area of light dispersion to the property and/or building area which it is intended to illuminate. More specifically, all lighting installations shall conform to the following standards:
- Lighting wattage shall generally not exceed 250 watts.
- Ground mounted lighting. All grounds mounted luminaires designed or intended for purposes of illuminating building, signs, flagpoles or other onsite amenities shall be completely screened with vegetative cover or other materials as approved by the Plan Commission in order to fully shield the light source from public view.
- Building lighting. All luminaires designed or intended for purposes of lighting any building on the premises shall limit, to the greatest extent possible, spill-over of light into the sky. Building mounted lighting shall be appropriately shielded to prevent glare.
- No site shall have lighting at the perimeter of the parcel that exceeds 2 luminaires measured in any direction 2' from grade.
- Lighting all site fixtures are to be Metal Halide, or Mercury vapor High Intensity discharge. Sodium vapor lamps are not allowed.

LANDSCAPE PLAN GENERAL NOTES

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.

- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
- ALL PLANTINGS SPECIFIED FOR THE CHRIST ALONE EVANGELICAL LUTHERAN CHURCH & SCHOOL PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
- ALL DEVIATIONS FROM THE APPROVED THE CHRIST ALONE EVANGELICAL LUTHERAN CHURCH & SCHOOL. PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
- ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
- PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
- ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN) AND SHALL BE SOODED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
- QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLAN AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
- CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
- WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.
- ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
- GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
- ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
- FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION.
PER EVERY 100 SQUARE FEET ADD: ONE - 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5-10-5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
- ALL SHRUBS TO BE POKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NECESSARY TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL CLAY OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.2 FOR FURTHER INFORMATION.
- PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
- ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
- WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER). APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.
- 23. DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301**
 20% KENTUCKY BLUE GRASS
 15% NEWPORT KENTUCKY BLUE GRASS
 15% SR 2100 Kentucky Bluegrass
 25% Creeping Red Fescue
 15% Replicator Perennial Ryegrass
 10% Fiesta 4 Perennial Ryegrass
 APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION CUT SHEETS FOR FURTHER FORMATION
- DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.
MAINTENANCE NOTE:
 MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:
 • NECESSARY IRRIGATION (IF REQUIRED)
 • INTEGRATED PEST MANAGEMENT,
 • PROPER FERTILIZATION
 • TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED
 • REPLACEMENT OF LOST VEGETATION, AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY.
 • WEED MANAGEMENT AND BED CARE.
- ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBOVITAE) RECEIVE AN APPLICATION OF AN ANTI-DESICCANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION.
- MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.
- LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

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Project:
CHRIST ALONE EVANGELICAL LUTHERAN CHURCH & SCHOOL
 247 S. Main Street
 Theinsville, WI 53092

Issuance and Revisions:

Date	Number	Description
03/14/25		Preliminary Client Review Submittal
03/18/25		Revisions Based Client Comments
03/20/25		Plan Commission Submittal
05/12/25		Revisions Based on Plan Commission Comments
05/14/25		Revisions Based on Client Comments

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Sheet Title:
PROPOSED OVERALL LANDSCAPE PLAN GENERAL NOTES AND PLANT MATERIAL TABLE

Date of Drawing: 05/14/25
 Scale: 1" = 20'-0"
 Drawn By: MCD
 Job Number: L25-007
 Sheet Number:
LSP1.1

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOT LINE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK
 www.Diggershotline.com
 (800) 242-8511
 OR

811
 Know what's below.
 Call before you dig.

1 PROPOSED OVERALL LANDSCAPE PLAN

SCALE: 1" = 40'-0"
 North

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Project:
**CHRIST ALONE
EVANGELICAL
LUTHERAN
CHURCH & SCHOOL**

247 S. Main Street
Theinsville, WI 53092

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Sheet Title:

PROPOSED PARTIAL
LANDSCAPE PLAN - SOUTH
AND PLANT MATERIAL TABLE

Date of Drawing: 05/14/25

Scale: 1" = 20'-0"

Drawn By: MCD

Job Number: L25-007

Sheet Number:

LSP1.2



1 PROPOSED PARTIAL LANDSCAPE PLAN - SOUTH

Proposed Foundation Plant Material Table - LSP1.2

Broadleaf Deciduous Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
2	CecaHG	○	<i>Cercis canadensis</i> 'Heart of Gold'	Heart of Gold Redbud	2'- Cal - B&B	1
Conifer Evergreen Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
6	JuscM	●	<i>Juniperus scopulorum</i> 'Medora'	Medora Juniper	3' - 4' - B&B	4
Broadleaf Deciduous Shrub						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
10	DiloKO	⊗	<i>Diervilla lonicera</i> Kodiak Orange	Kodiak Orange Bush Honeysuckle Diervilla	18" - Cont	5
7	HypaB	⊗	<i>Hydrangea paniculata</i> 'Bobo'	Bobo Hardy Hydrangea	18" - 24" - B&B	5
5	HypaQF	⊗	<i>Hydrangea paniculata</i> 'Quick Fire'	Quick Fire Hardy Hydrangea	60" - Cont	5, 8
4	HyqUM	⊗	<i>Hydrangea quercifolia</i> 'Munchkin'	Munchkin Oakleaf Hydrangea	18" - Cont	5
13	RoBaCW	⊗	<i>Rosa 'Baicham'</i>	Champagne Wishes Elegance Rose	18" - Cont	5
6	RoHR	⊗	<i>Rosa 'Home Run'</i>	Home Run Rose	18" - 24" - Cont	5
10	SpFrP	⊗	<i>Spiraea fritschiana</i> 'J.N. Select A'	Pink-a-licious Spirea	18" - Cont	5
Conifer Evergreen Shrub						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
15	JupISG	⊗	<i>Juniperus x pfitzeriana</i> 'MonSan'	Sea of Gold Juniper	18" - 24" - B&B	5

Perennial Grass						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
11	PaviHR	☀	<i>Panicum virgatum</i> 'Hot Rod'	Hot Rod Switch Grass	1-Gal - Cont	6
Perennial						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
23	EcpuRT	⊗	<i>Echinacea purpurea</i> 'Raspberry Tart'	Raspberry Tart Coneflower	4 1/2" pot	6
46	He-mix	○	Hemerocallis mix	Equal Random Mix of Daylily	4 1/2" pot	6
			Hemerocallis x 'Swirling Water'	Swirling Water Daylily		
			Hemerocallis x 'VER00204'	Yellow Punch Daylily		
			Hemerocallis x 'Chicago Apache'	Chicago Apache Daylily		
			Hemerocallis x 'Pink Playmate'	Pink Playmate Daylily		

- Comments
- Straight central leader, full & even crown. Prune only after planting.
 - Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and viability for both pedestrians and motorists.
 - Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil. Sow with specified turf grass seed as required.
 - Evenly shaped upright tree with full branching to the ground.
 - Full, well rooted plant, evenly shaped.
 - Full, well rooted plant.
 - Male only
 - Tree-form, Single Stem Specimen

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Project:

**CHRIST ALONE
EVANGELICAL
LUTHERAN
CHURCH & SCHOOL**

247 S. Main Street
Theinsville, WI 53092

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Sheet Title:

PROPOSED PARTIAL
LANDSCAPE PLAN - MID
AND PLANT MATERIAL TABLE

Date of Drawing: 05/14/25

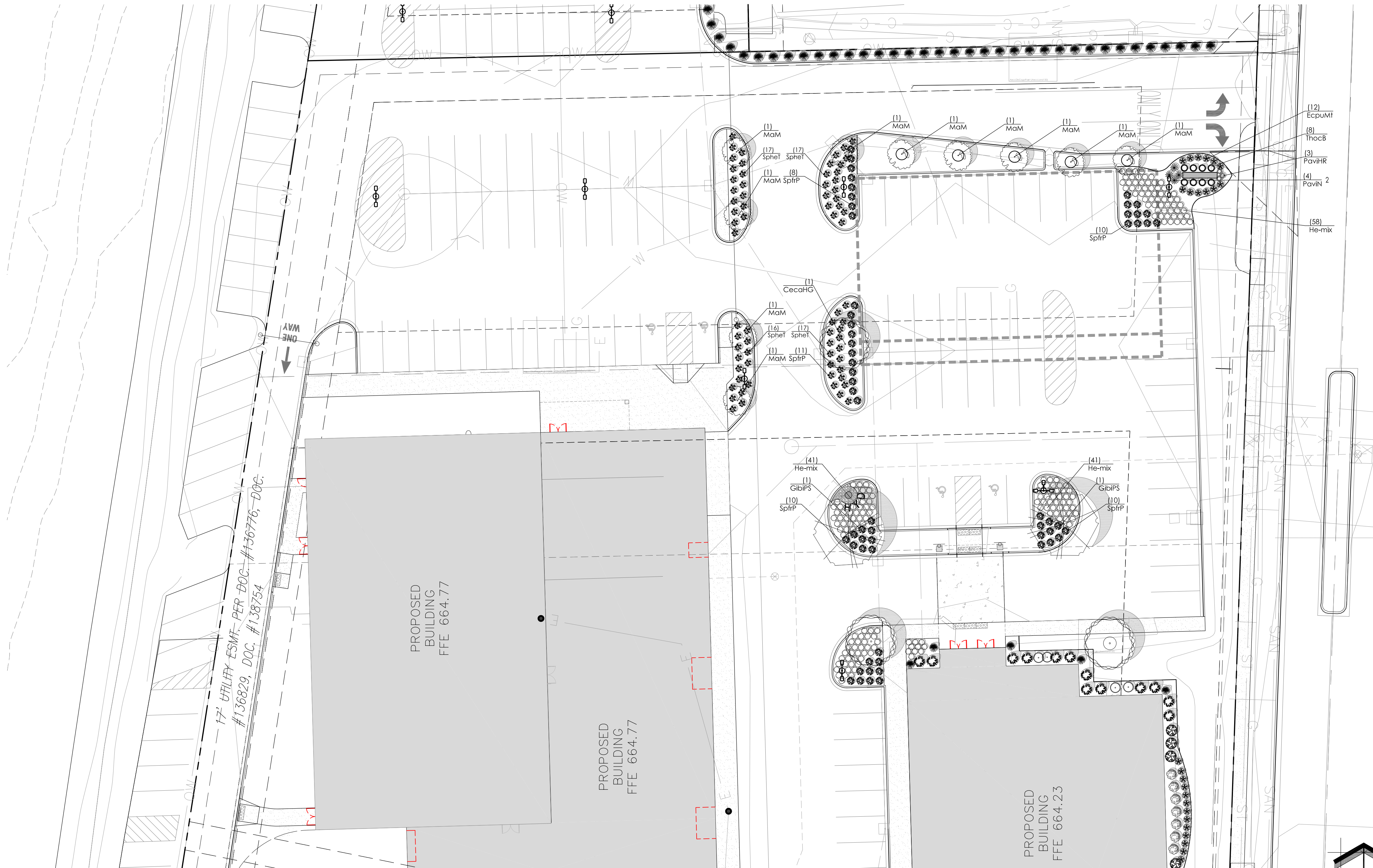
Scale: 1" = 20'-0"

Drawn By: MCD

Job Number: L25-007

Sheet Number:

LSP1.3



1 PROPOSED PARTIAL LANDSCAPE PLAN - MID

Proposed Plant Material Table - LSP1.3

Broadleaf Deciduous Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
1	CecaHG	○	<i>Cercis canadensis</i> 'Heart of Gold'	Heart of Gold Redbud	2"-Cal - B&B	1
2	GibiPS	⊗	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	2 1/2"-Cal - B&B	1, 7
10	MaM	⊙	<i>Malus</i> 'Marilee'	Marilee Flowering Crab	2"-Cal - B&B	1

Broadleaf Deciduous Shrub						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
12	RoBaCW	⊗	<i>Rosa</i> 'Baicham'	Champagne Wishes Elegance Rose	18" - Cont	5
49	SpirP	⊗	<i>Spiraea fritchiana</i> 'J.N. Select A'	Pink-oh-licious Spirea	18" - Cont	5

Conifer Evergreen Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
0	JupISG	⊗	<i>Juniperus x pfitzeriana</i> 'MonSan'	Sea of Gold Juniper	18" - 24" - B&B	5
8	ThocB	○	<i>Thuja occidentalis</i> 'Bobazam'	Mr. Bowling Ball Arborvitae	18" - Cont	5

Perennial Grass						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	PaviHR	☼	<i>Panicum virgatum</i> 'Hot Rod'	Hot Rod Switch Grass	1-Gal - Cont	6
4	PaviN	☼	<i>Panicum virgatum</i> 'Northwind'	Northwind Switch Grass	1-Gal - Cont	6
70	Sphet	☼	<i>Sporobolus heterolepis</i> 'Tara'	Tara Prairie Dropseed	1-Gal - Cont	6

Perennial						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
140	He-mix	○	Hemerocallis mix Hemerocallis x 'Swirling Water' Hemerocallis x 'VER0204' Hemerocallis x 'Chicago Apache' Hemerocallis x 'Pink Playmate'	Equal Random Mix of Daylily Swirling Water Daylily Yellow Punch Daylily Chicago Apache Daylily Pink Playmate Daylily	4 1/2" pot	6

- Comments
1. Straight central leader, full & even crown. Prune only after planting.
 2. Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and viability for both pedestrians and motorists.
 3. Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil. Sow with specified turf grass seed as required.
 4. Evenly shaped upright tree with full branching to the ground.
 5. Full, well rooted plant, evenly shaped.
 6. Full, well rooted plant.
 7. Male only
 8. Tree-form, Single Stem Specimen

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Sheet Title:

PROPOSED PARTIAL
LANDSCAPE PLAN - NORTH
AND PLANT MATERIAL TABLE

Date of Drawing: 05/14/25

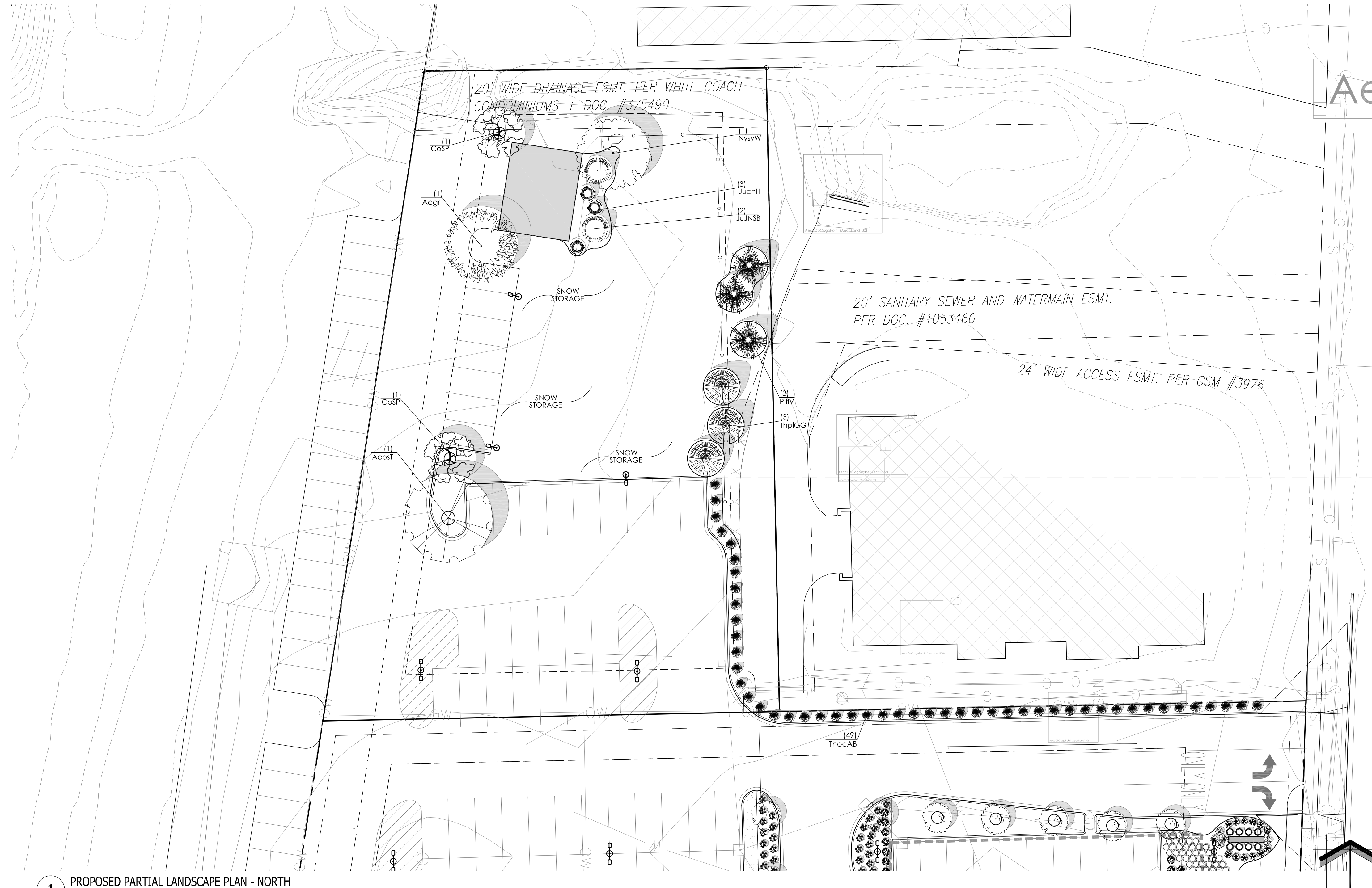
Scale: 1" = 20'-0"

Drawn By: MCD

Job Number: L25-007

Sheet Number:

LSP1.4



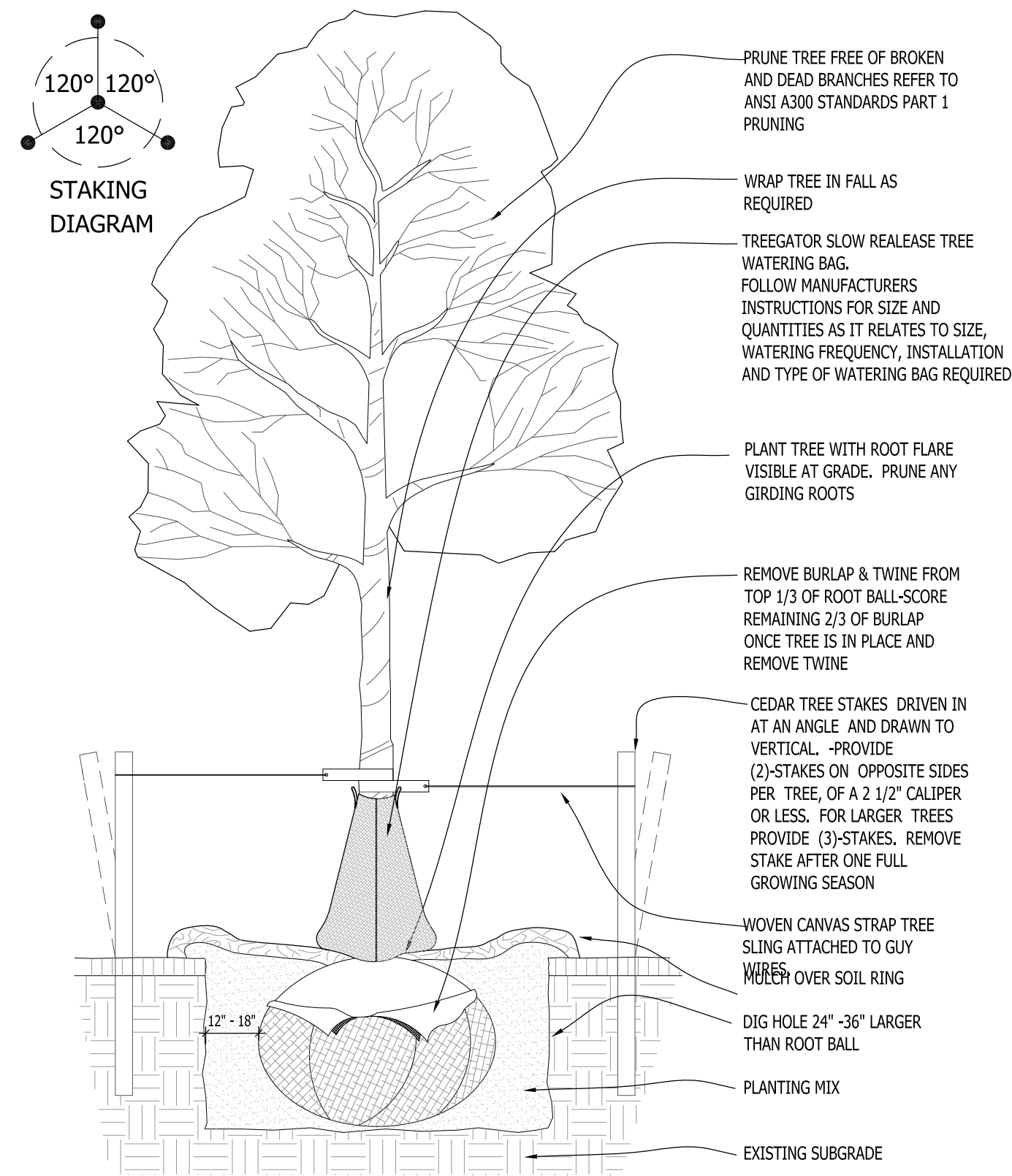
1 PROPOSED PARTIAL LANDSCAPE PLAN - NORTH

Proposed Plant Material Table - LSP1.4

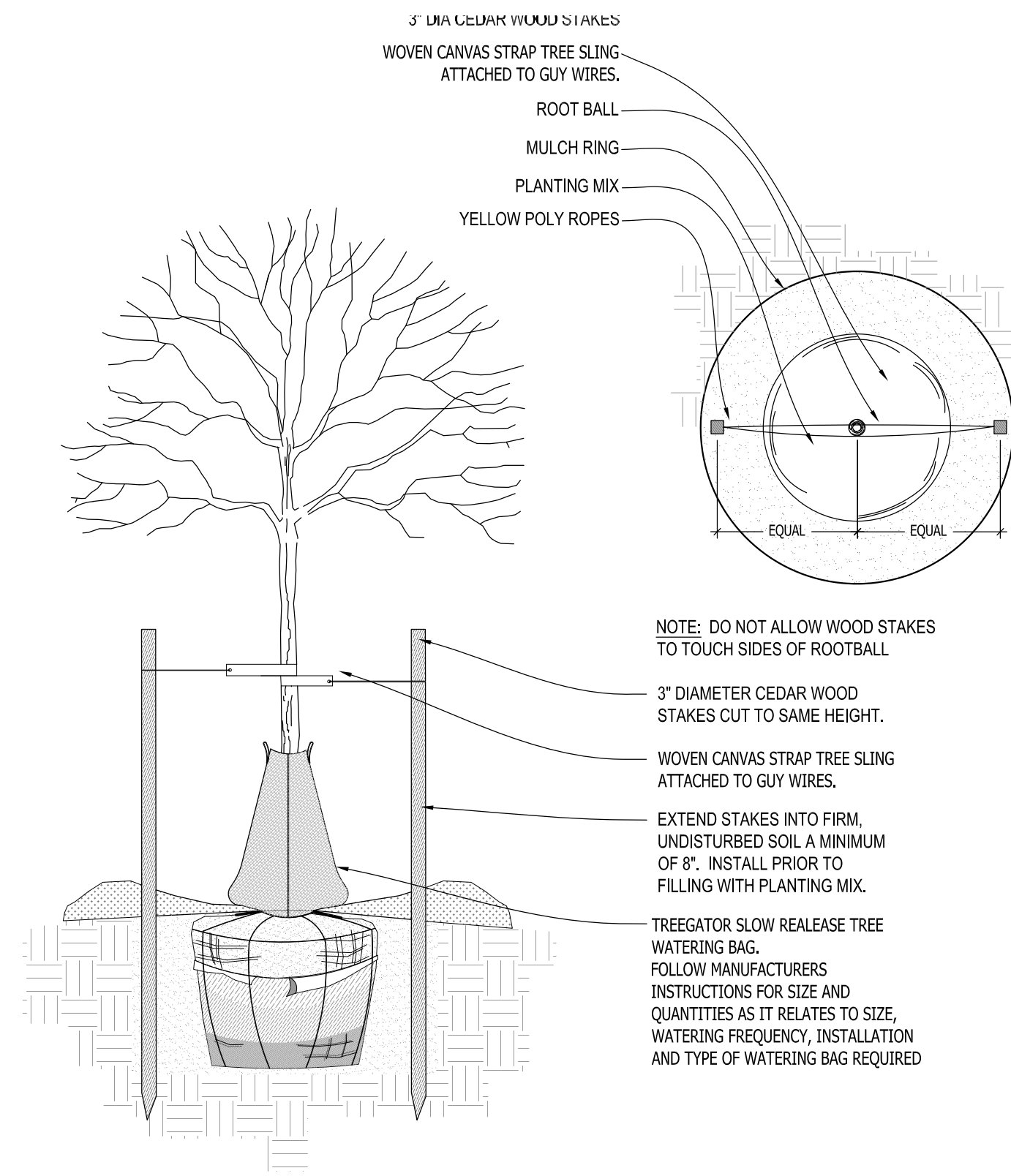
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
Broadleaf Deciduous Tree						
1	Acgr		<i>Acer griseum</i>	Paperbark maple	2'-Cal - B&B	1
1	AcpsT		<i>Acer pseudoplatanus</i> 'Turpett'	Regal Pelticaat Sycamore Maple	2 1/2'-Cal - B&B	1
2	CoSP		<i>Cornus x Rutgan</i>	Stellar Pink Dogwood	1'-Cal - B&B	1
1	NysyW		<i>Nyssa sylvatica</i> 'Wildfire'	Wildfire Black Gum	2'-Cal - B&B	1
Conifer Evergreen Tree						
2	JuJNSB		<i>Juniperus</i> 'J.N. Select Blue'	Star Power Juniper	6' - B&B	4
3	JuchH		<i>Juniperus chinensis</i> 'Hetzl'	Hetz Columnar Juniper	6' - B&B	4
48	ThocAB		<i>Thuja occidentalis</i> 'Art Boe'	North Pole Arborvitae	6' - B&B	4
3	PiIV		<i>Pinus flexis</i> 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Limber Pine	6' - B&B	
3	ThpGG		<i>Thuja plicata</i> 'Green Giant'	Green Giant Arborvitae	6' - B&B	
Broadleaf Deciduous Shrub						
3	Coras		<i>Cornus racemosa x amomum</i> 'J.N. Red Storm'	Irish Setter Dogwood	2' - 3' - B&B	5
9	VicaSI		<i>Viburnum carlesii</i> 'J.N. Select A'	Spice Island Koreanspice viburnum	18" - 24" - B&B	5

- Comments
1. Straight central leader, full & even crown. Prune only after planting.
 2. Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and viability for both pedestrians and motorists.
 3. Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil. Sow with specified turf grass seed as required.
 4. Evenly shaped upright tree with full branching to the ground.
 5. Full, well rooted plant, evenly shaped.
 6. Full, well rooted plant.
 7. Male only

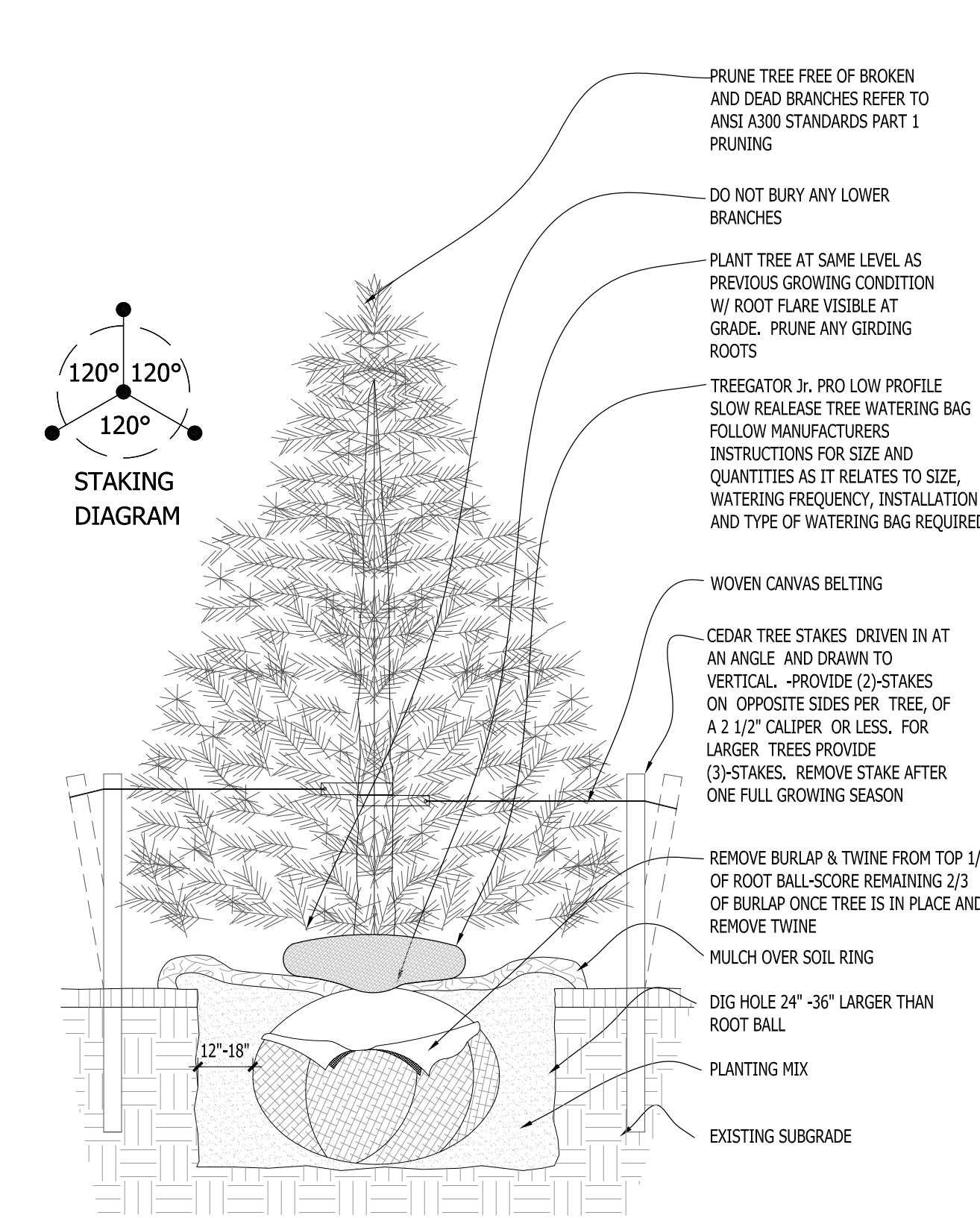
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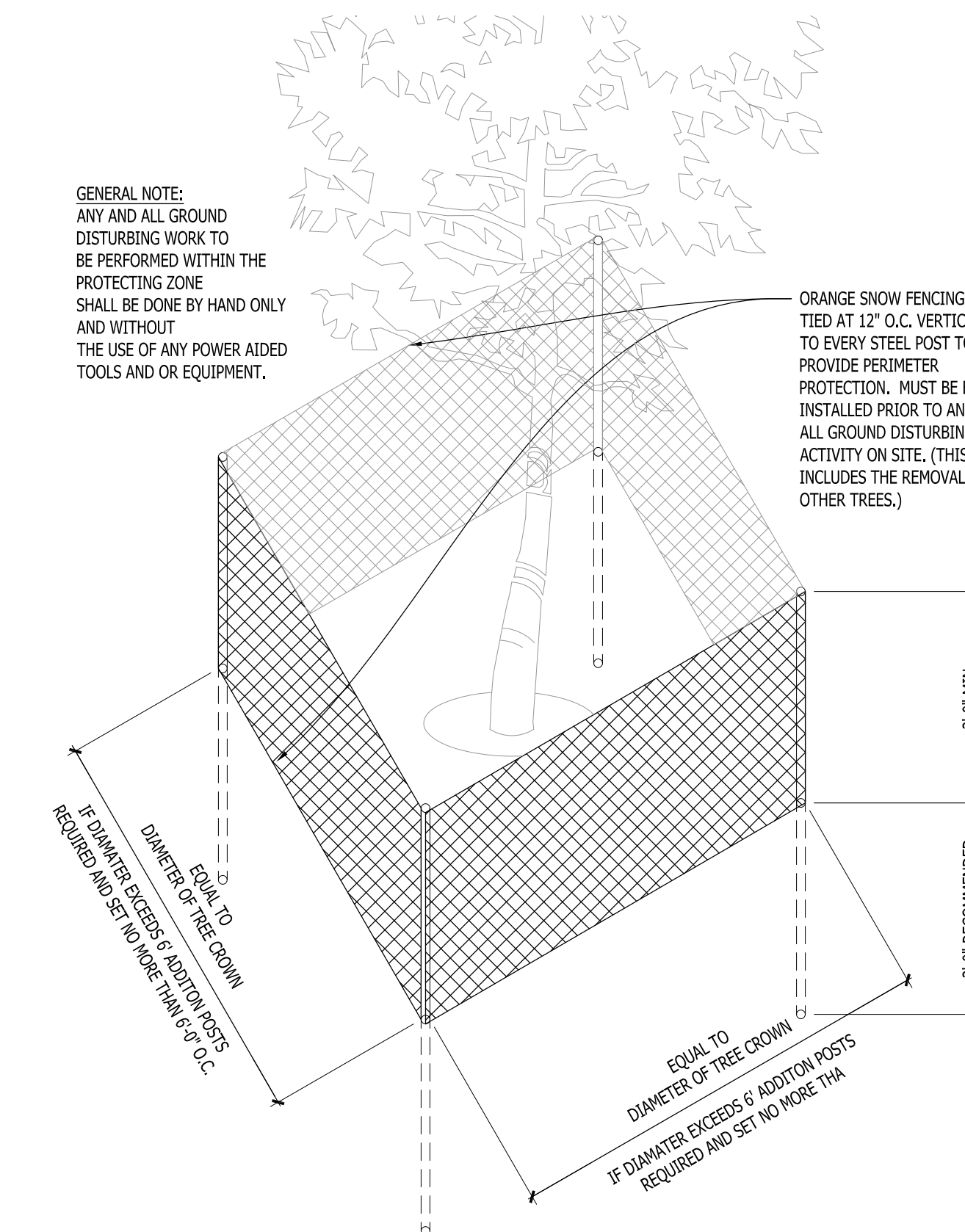
1 DECIDUOUS TREE PLANTING DETAIL SCALE: NONE



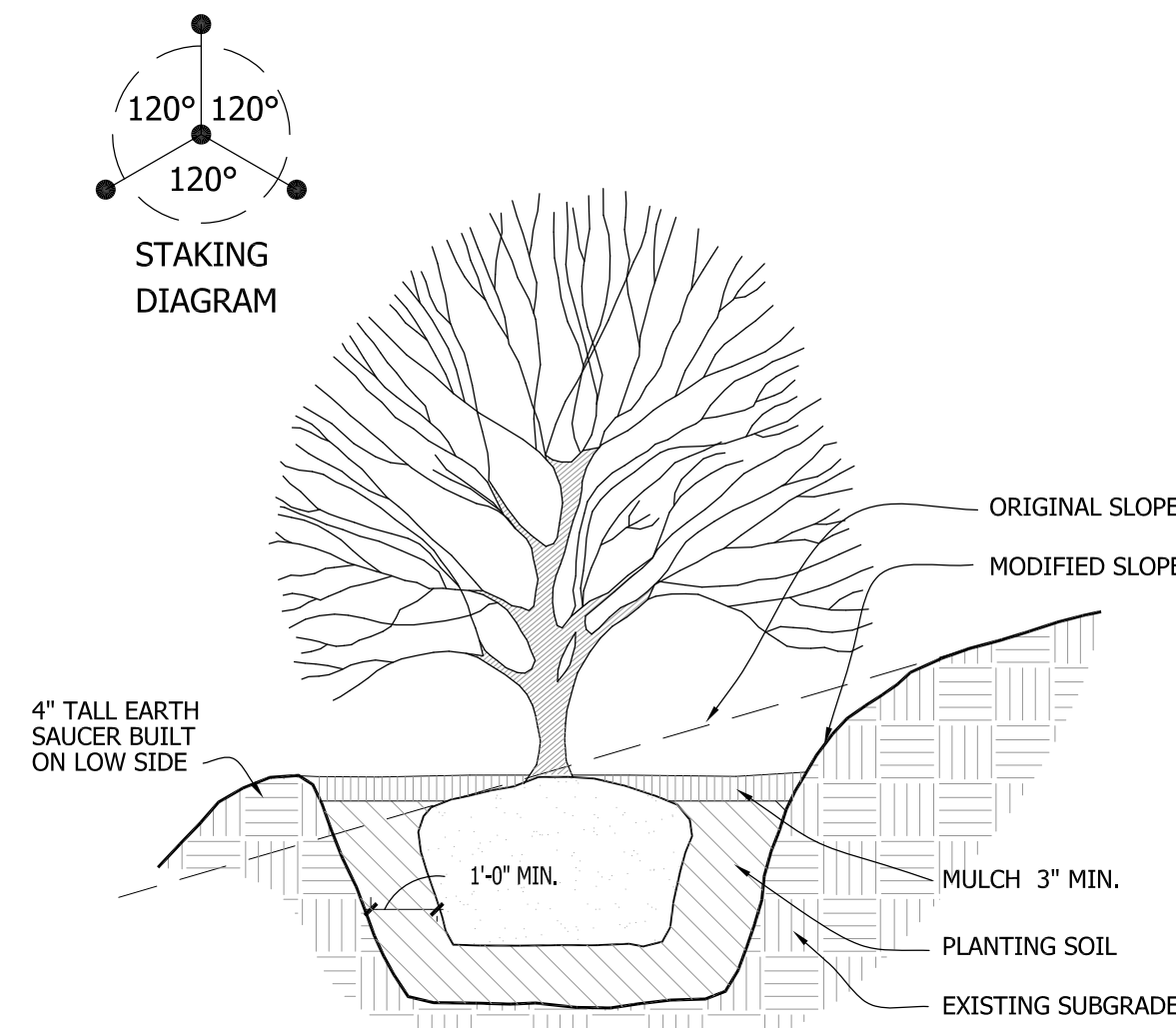
2 DECIDUOUS TREE STAKING PARKING ISLAND/RESTRICTED AREAS SCALE: NONE



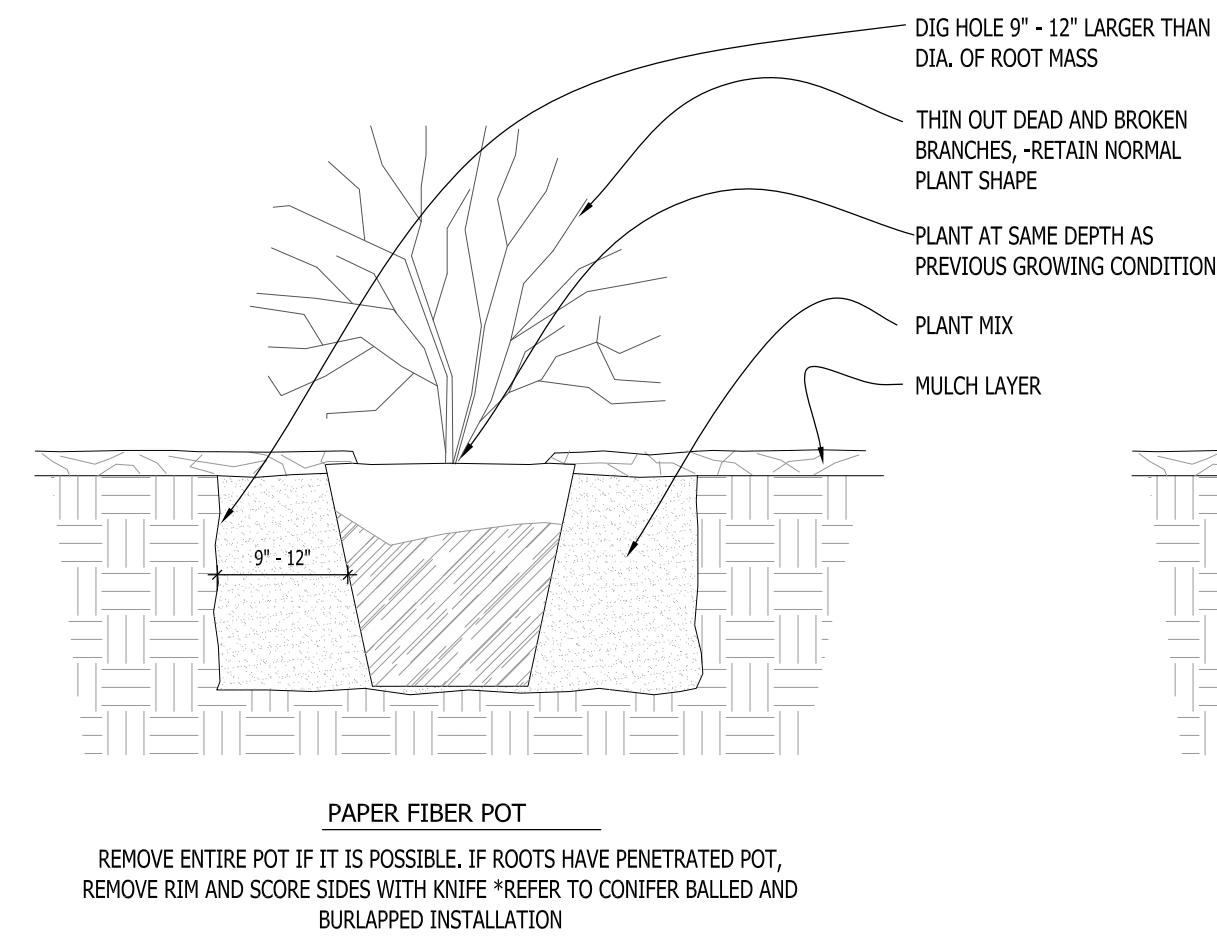
3 CONIFEROUS TREE PLANTING DETAIL SCALE: NONE



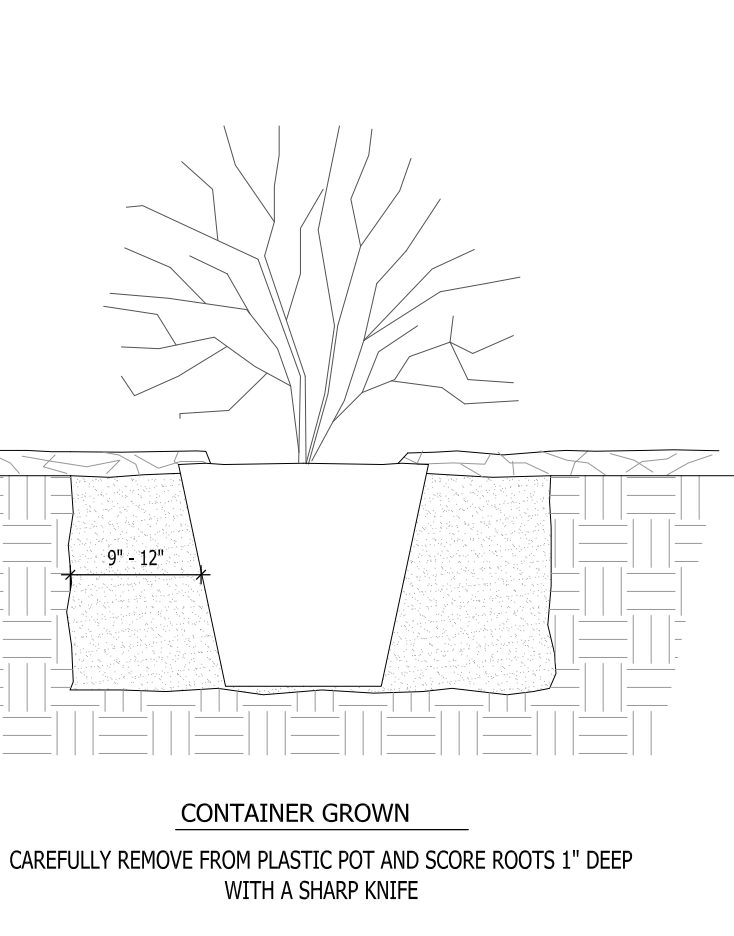
4 EXISTING TREE PROTECTION DETAIL SCALE: NONE



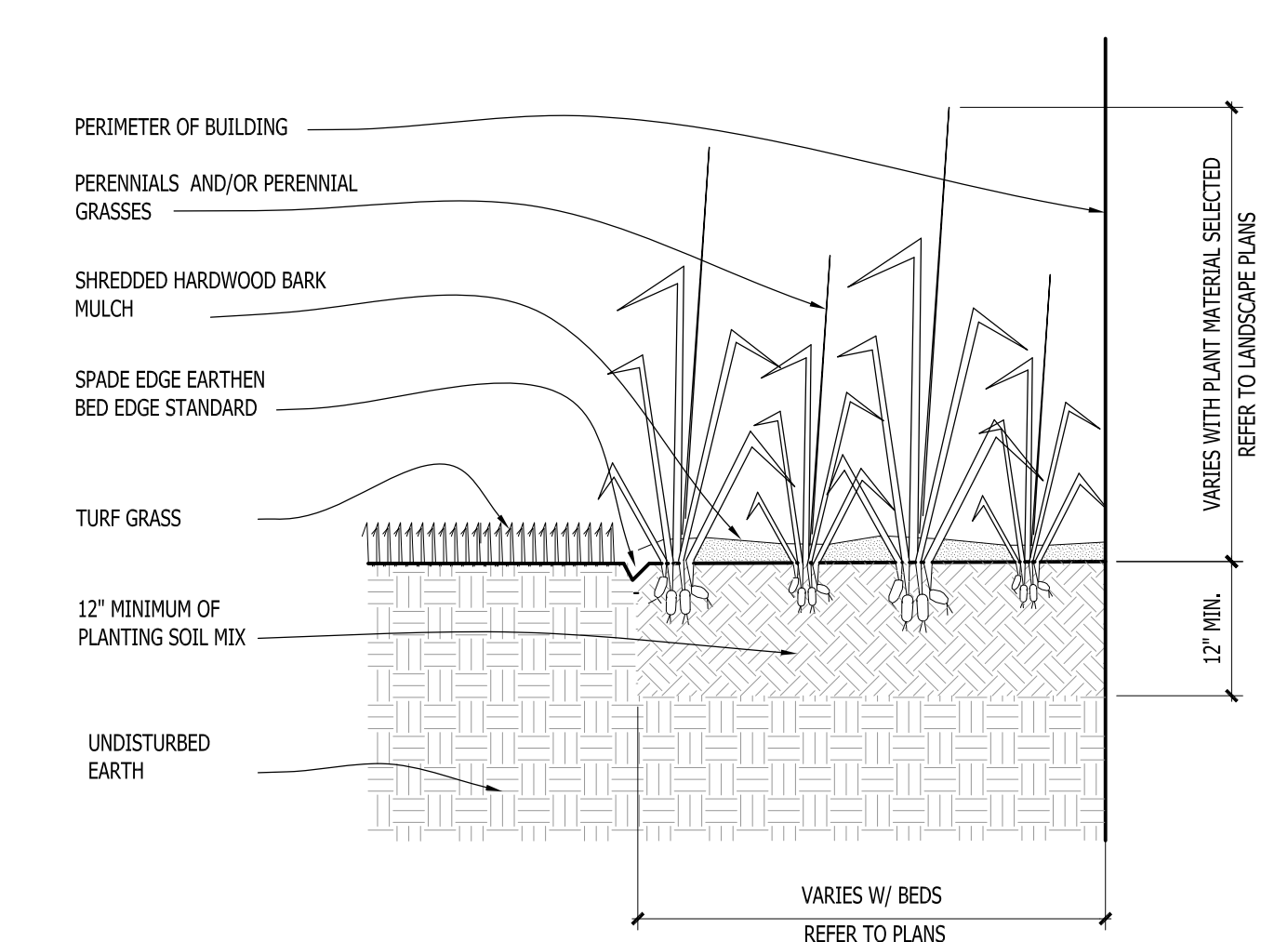
5 SLOPE PLANTING DETAIL SCALE: NONE



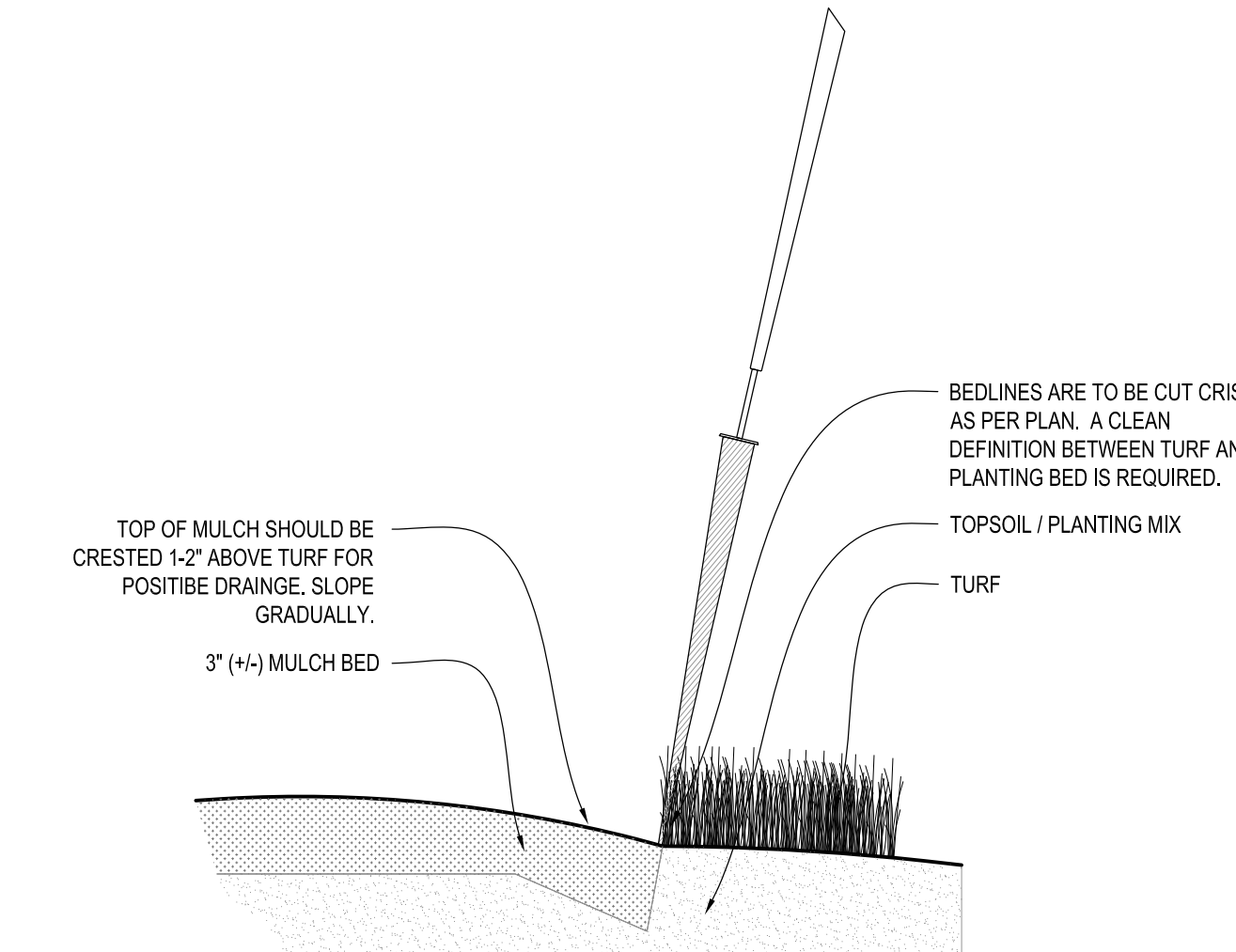
6 DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE



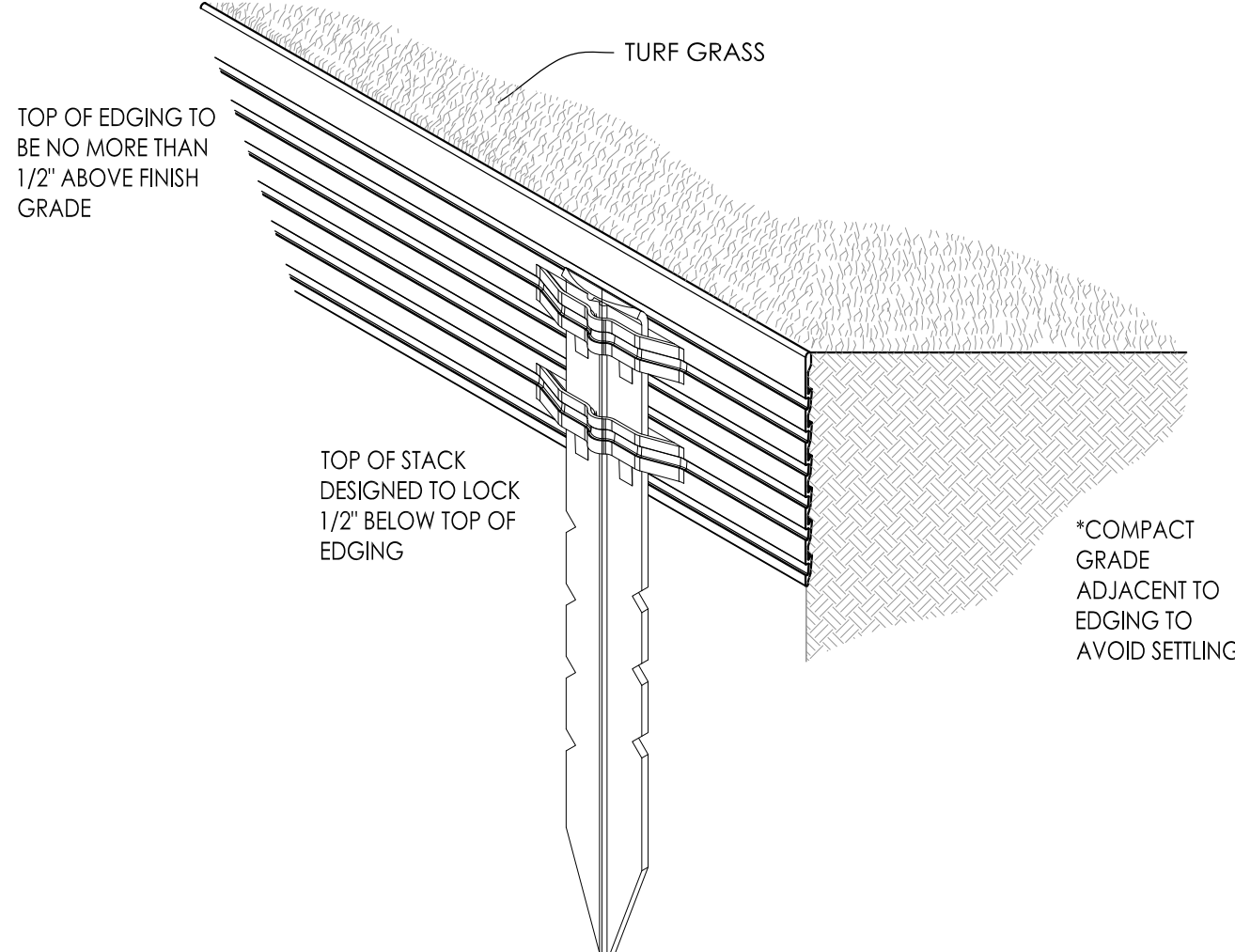
7 CONIFEROUS SHRUB PLANTING DETAIL SCALE: NONE



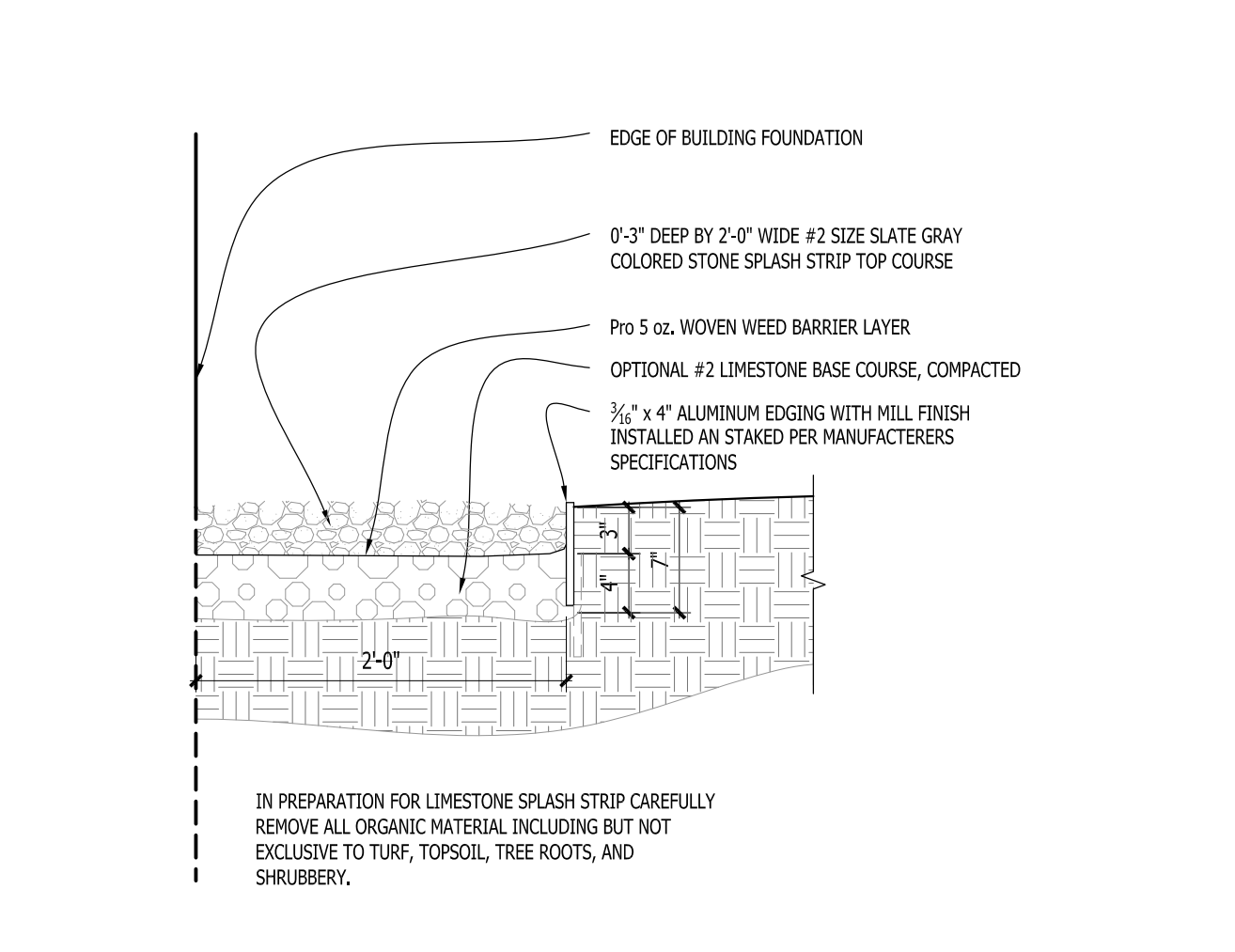
8 PERENNIAL BED PLANTING DETAIL SCALE: NONE



9 SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE



10 METAL LANDSCAPE EDGING DETAIL SCALE: 1/2\"/>



11 COMPACTED GRAVEL SPLASH STRIP SCALE: 1\"/>

Issuance and Revisions:

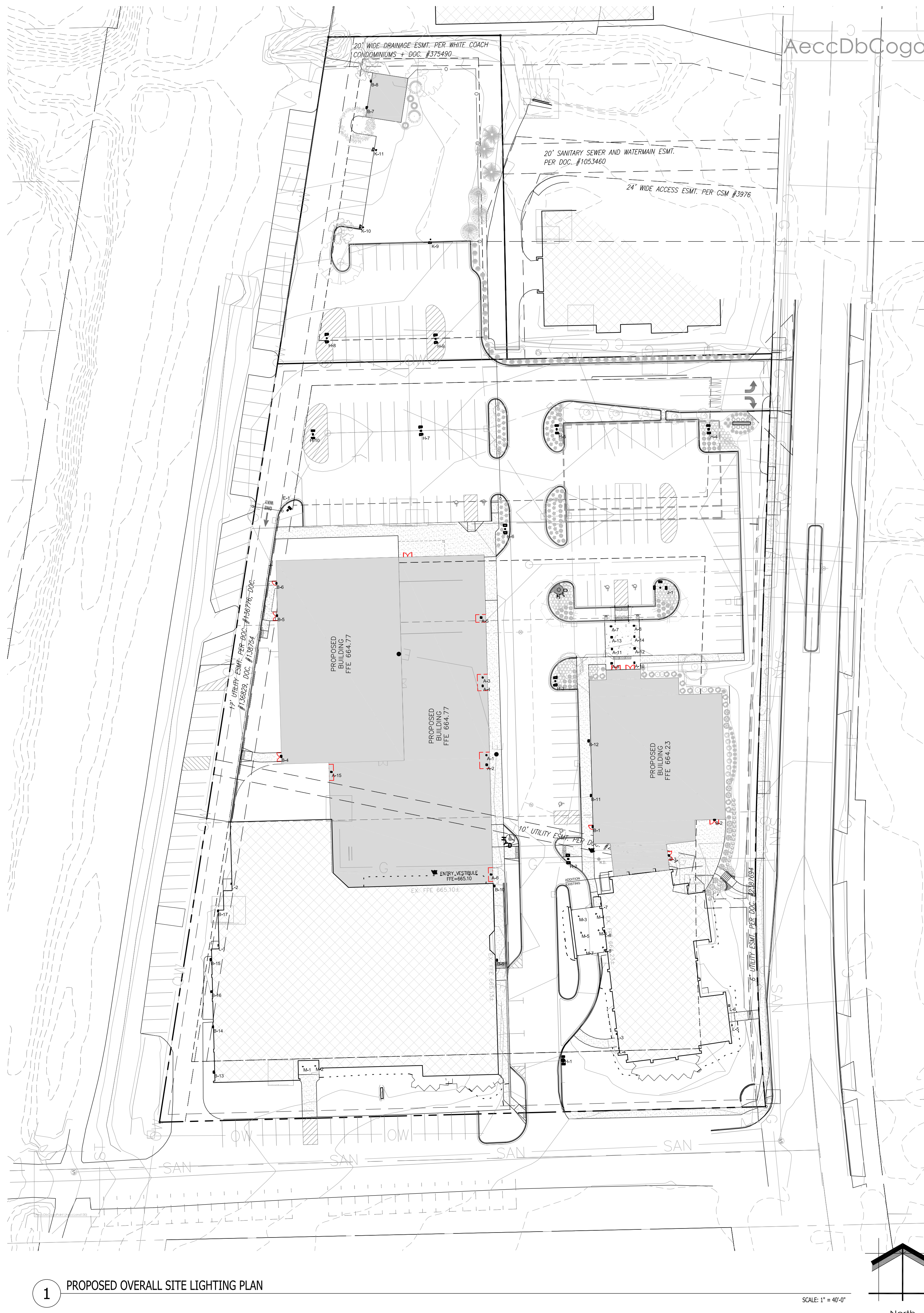
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Sheet Title:
**PROPOSED LANDSCAPE PLAN,
PLANTING DETAILS**

Date of Drawing: 05/14/25
Scale: As Noted
Drawn By: MCD
Job Number: L25-007
Sheet Number:

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LUMINAIRE SCHEDULE

Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	A	15	LDN4 - 25LM 35K L04WR TRW LD WD MVOLT UGZ ELR	LITHONIA LIGHTING LDN4 SWITCHABLE 4" DIA. OPEN IC LED SOFFIT DOWNLIGHT	LED	1	2500	1	39
	B	17	EWLS02_40AF740_-120-277V	EWLS02 WALL PACK	LEDs	1	4000	1	27
	E	1	EACL01_F4AF750_-WITH ELS-EAC-ABL-BLCK	EACL AREA LIGHT	LEDs	1	13590	1	122
	H	10	EACL01_D3AW740_-	EACL AREA LIGHT	LEDs	1	10200	1	146
FIXTURE H-1 - EXISTING LOCATION & FOOTING NEW POLE & FIXTURE									
	J	1	EACL01_H4AF750_-	EACL AREA LIGHT	LEDs	1	20000	1	459
	K	3	EACL01_D3AW740_-WITH ELS-EAC-ABL-BLCK	EACL AREA LIGHT	LEDs	1	9050	1	73
	L	8	EWLS02_40AF740_-120-277V	EWLS02 WALL PACK	LEDs	1	4000	1	27
EXISTING WALL PACK LIGHT SHOWN FOR REFERENCE ONLY									
	M	8	ECLS01_A5SM730_-120-277V	EVOLVE CANOPY LED SOFFIT - ECLS01	LED	1	5200	1	30
EXISTING CANOPYLIGHT SHOWN FOR REFERENCE ONLY									

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.9 fc	40.1 fc	0.0 fc	N/A	N/A

LUMINAIRE NOTES

- FIXTURE "E" (1) IS A NEW POLE LOCATION w/ NEW POST TOP FIXTURE (TRIPLE HEAD AND TENONS). FIXTURES ARE TO BE INSTALLED ON A NEW 2'-6" TALL REINFORCED POURED CONCRETE FOUNDATION AND NEW 16'-0" SQUARE BLACK POLE.
- FIXTURE "J" (1) IS A NEW POLE LOCATION w/ NEW POST TOP FIXTURE (TWIN HEAD AND TENONS). FIXTURES ARE TO BE INSTALLED ON A NEW 2'-6" TALL REINFORCED POURED CONCRETE FOUNDATION AND NEW 16'-0" SQUARE BLACK POLE.
- FIXTURE "K" (3) IS A NEW POLE LOCATION w/ NEW POST TOP FIXTURE (TRIPLE HEAD AND TENONS). FIXTURES ARE TO BE INSTALLED ON A NEW 2'-6" TALL REINFORCED POURED CONCRETE FOUNDATION AND NEW 16'-0" SQUARE BLACK POLE.
- FIXTURE "L" (8) IS AN EXISTING POLE LOCATION w/ NEW POST TOP FIXTURE (SINGLE HEAD AND TENONS). FIXTURES ARE TO BE INSTALLED ON AN EXISTING REINFORCED POURED CONCRETE FOUNDATION AND NEW 16'-0" SQUARE BLACK POLE.
- ALL PROPOSED FIXTURE HEADS ARE TO BE DARK-SKY COMPLIANT AND HAVE HARDWARE WITH BESNA FULL CUTOFF HOUSE SIDE SHIELDING WHERE REQUIRED. NEW PROPOSED POLE MOUNTED FIXTURES (HEADS AND TENONS) FINISH IS TO MATCH EXISTING w/ OPTIONAL PHOTOCELL CONTROL.
- ALL NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL EXPOSED FORM MARKS REMOVED. GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.
- ALL NEW PROPOSED AREA LIGHT POLES SHALL BE LOCATED 3'-0" FROM BACK OF CURB TO THE EDGE OR FACE OF THE REINFORCED LIGHT POLE BASE, UNLESS NOTED OTHERWISE.
- INSTALLATION CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR CONDUIT ROUTING OF LIGHT POLES AND SIGNAGE LIGHTING CONTROL AND WIRING.
- CONTRACTOR TO REFER TO REINFORCED LIGHT POLE BASE SECTION AND DETAIL FOR FURTHER INFORMATION.
- PROPOSED POLE MOUNTED FIXTURES (HEADS AND TENONS) ARE TO HAVE A SILVER FINISH w/ OPTIONAL PHOTOCELL CONTROL.
- ALL EXTERIOR FIXTURES, BOTH BUILDING MOUNTED AND POLE FIXTURES SHALL BE DESIGNED AND INSTALLED SUCH THAT THE LIGHT EMITTED FROM THE LUMINAIRE AT AN ANGLE OF 90 DEGREES FROM VERTICAL (OR MORE) AND NO LIGHT SHALL TRESPASS ACROSS PARCEL BOUNDARIES INTO ADJACENT LOTS, BUILDINGS OR STREETS IN EXCESS OF 1.0 FOOT CANDLE OR GREATER.
- ALL BUILDING MOUNTED LIGHT FIXTURES ARE TO BE COORDINATED WITH THE ARCHITECTURAL ELEVATIONS FOR EXACT MOUNTING HEIGHTS AND LOCATIONS.
- FOR PURPOSES OF CALCULATING THE SITE PHOTO METRIC OUTPUT LUMINAIRE WERE PLACED AT 22'-0" ABOVE FINISHED FLOOR ELEVATION AND ALL BUILDING MOUNTED FLOOD LIGHTS COORDINATED WITH THE ARCHITECTURAL ELEVATIONS AND PLACED AT HEIGHTS SPECIFIED ON THE BUILDING ELEVATIONS.

THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS ARE CALCULATED VALUES INCLUDE DIRECT AND INTER-REFLECTED COMPONENT AND ILLUMINATION LEVELS. CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH APPROVED ILLUMINATION ENGINEERING SOCIETY METHODS. ACTUAL ON-SITE PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY FROM LABORATORY TEST RESULTS DUE TO VARIATIONS IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDINGS CURBS, LANDSCAPING, OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED.

- ### PHOTOMETRIC PLAN GENERAL NOTES
- BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POLE PLACEMENTS AND LUMINAIRE ORIENTATION. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO RELEVANT FIELD CONDITIONS.
 - THE DEPICTED ILLUMINATION RESULTS ARE BASED UPON ILLUMINATION MEASUREMENTS AS CALCULATED BY AN INDEPENDENT LABORATORY. LUMINAIRE CHARACTERISTICAL DATA WAS MEASURED UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH APPROVED ILLUMINATION ENGINEERING SOCIETY METHODS. ACTUAL ON-SITE PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY FROM LABORATORY TEST RESULTS DUE TO VARIATIONS IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
 - IF EXISTING LUMINAIRES ARE INCLUDED IN THIS REPORT, THEIR ILLUMINATION CHARACTERISTICS ARE BASED UPON A COMBINATION OF CUSTOMER'S PROVIDED SPECIFICATIONS & OUR BEST ESTIMATION.
 - ALL EXISTING AND NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.

- ### EXISTING CONDITIONS GENERAL NOTES
- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE ARCHITECTURAL DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.
 - VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES I.E. WATER, SEWER, ELECTRICAL, TELECOMMUNICATION AND ACCESS PANELS FOR ALL UTILITIES AND ALL ASSOCIATED EQUIPMENT FOR ACCESSIBILITY OF THOSE ITEMS.
 - VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.

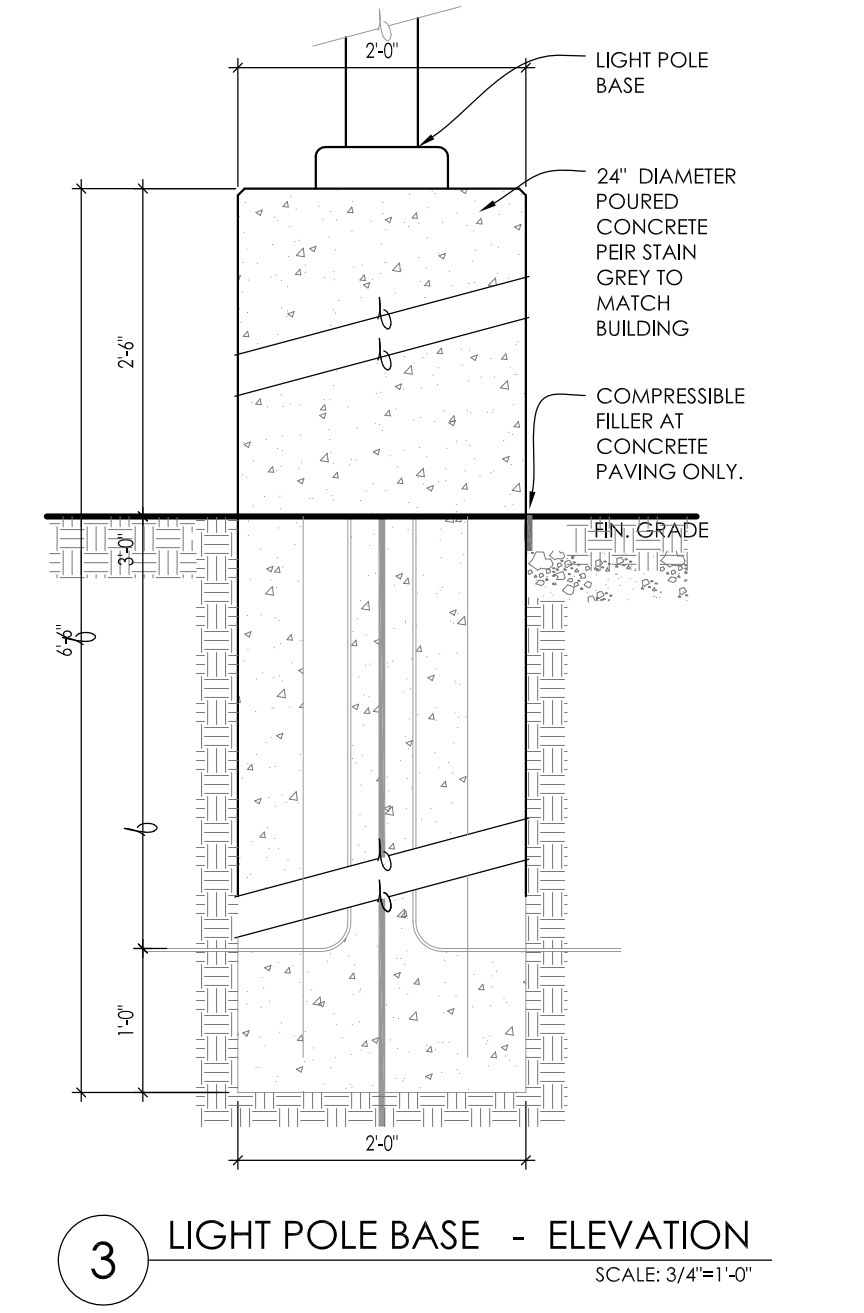
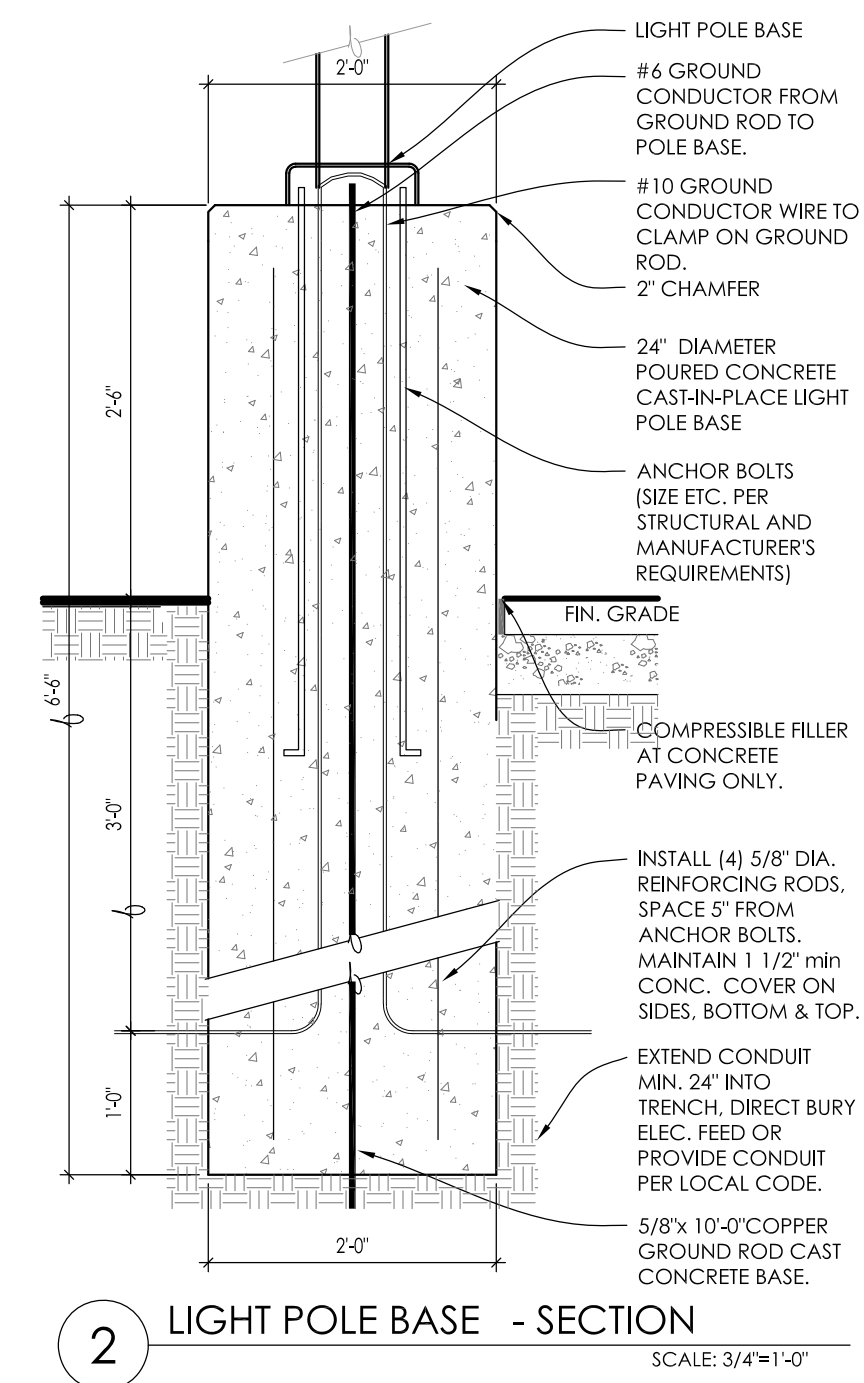
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TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK www.DiggersHotline.com (800) 242-8511 OR



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INSITE

LANDSCAPE DESIGN

Landscape Consulting & Master Planning Design Services

11525 W. North Avenue, Suite 1B
Wauwatosa, WI 53226
Tel (414) 476-1204
www.insitedesigninc.com
mdavis@insitedesigninc.com

Project:

CHRIST ALONE EVANGELICAL LUTHERAN CHURCH & SCHOOL

247 S. Main Street
Thiensville, WI 53092

Issuance and Revisions:

Date	Number	Description
03/14/25		Preliminary Client Review Submittal
03/18/25		Revisions Based Client Comments
03/20/25		Plan Commission Submittal
05/12/25		Revisions Based on Plan Commission Comments
05/14/25		Revisions Based on Client Comments

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Sheet Title:

PROPOSED OVERALL SITE LIGHTING PLAN, GENERAL NOTES, AND LIGHT FIXTURE TABLE

Date of Drawing: 05/14/25

Scale: 1" = 40'-0"

Drawn By: MCD

Job Number: L25-007

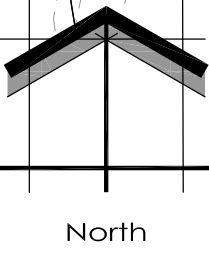
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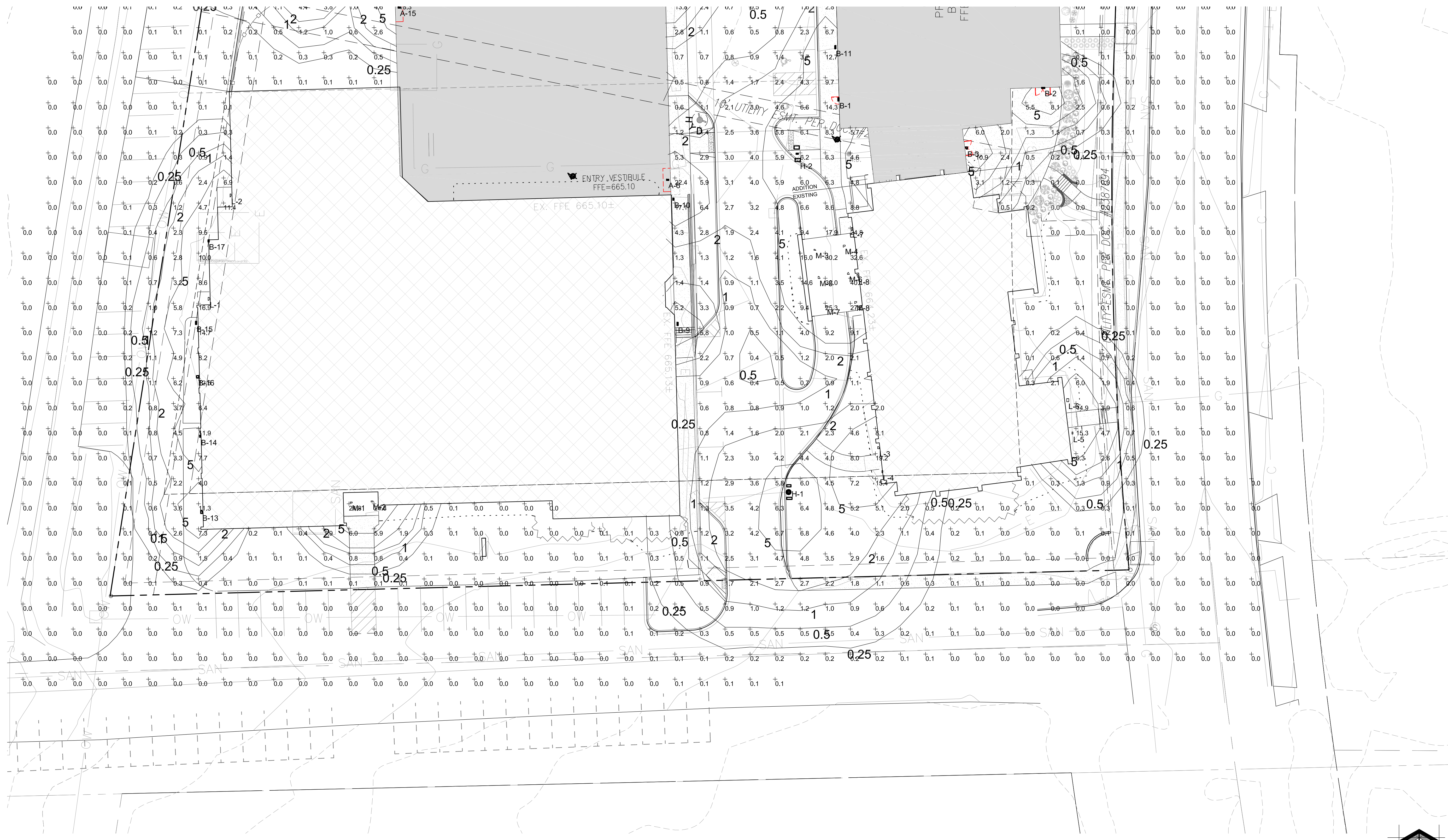
PHO1.1

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1 PROPOSED OVERALL SITE LIGHTING PLAN

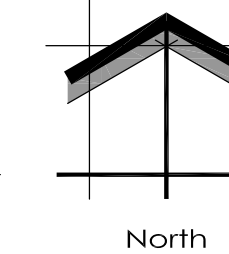
SCALE: 1" = 40'-0"





1 PROPOSED PARTIAL PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN - SOUTH

SCALE: 1" = 40'-0"



Project:

**CHRIST ALONE
EVANGELICAL
LUTHERAN
CHURCH & SCHOOL**

247 S. Main Street
Theinsville, WI 53092

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Sheet Title:

PROPOSED PARTIAL PHOTOMETRIC
LIGHTLEVELS CALCULATIONS PLAN
- SOUTH

Date of Drawing: 03/20/25

Scale: 1" = 20'-0"

Drawn By: MCD

Job Number: L25-007

Sheet Number:

PHO1.2

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

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OR

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Sheet Title:

PROPOSED PARTIAL PHOTOMETRIC LIGHTLEVELS CALCULATIONS PLAN - MID, GENERAL NOTES, AND LIGHT FIXTURE TABLE

Date of Drawing: 03/20/25
Scale: 1" = 20'-0"
Drawn By: MCD
Job Number: L25-007
Sheet Number:

PHO1.3



1 PROPOSED PARTIAL PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN - MID

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

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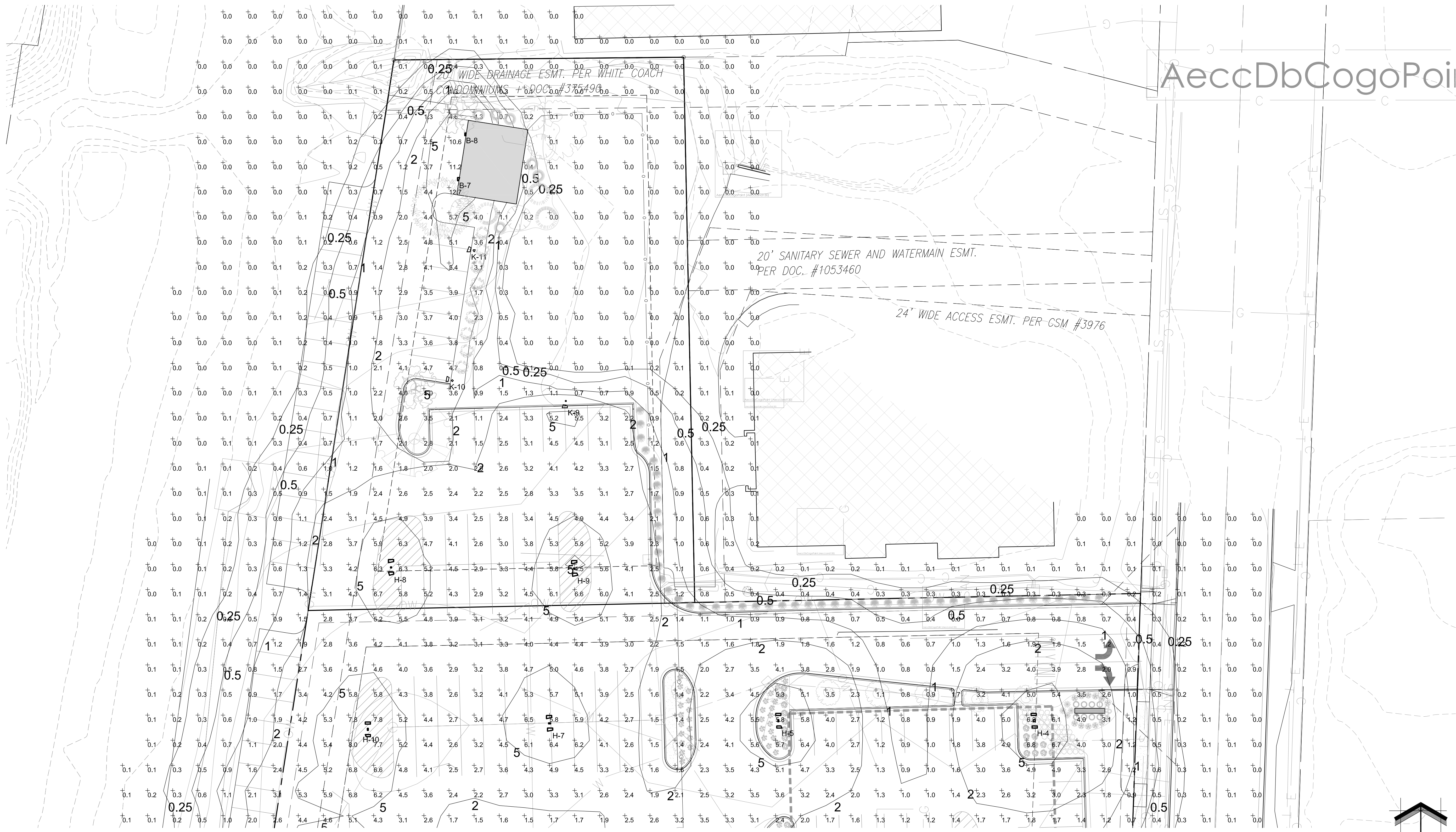
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Sheet Title:

PROPOSED PARTIAL PHOTOMETRIC LIGHTLEVELS CALCULATIONS PLAN - NORTH

Date of Drawing: 05/12/25
Scale: 1" = 20'-0"
Drawn By: MCD
Job Number: L25-007
Sheet Number:

PHO1.4



1 PROPOSED PARTIAL PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN - NORTH

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

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EVOLVE EPTC Twin Support Contemporary LED Post Top Light

Project Name: _____ Type: _____
Date: _____
Notes: _____

The **EVOLVE** LED Post Top Twin Support Contemporary (EPTC) offers energy efficiency and quality of light in your choice of two distinct, modern styles.

Construction

Housing: Contemporary housing design. Die cast aluminum base with a spun aluminum top.
Lens: UV resistant acrylic
Paint: Corrosion resistant polyester powder paint, minimum 2.0 mil thickness. Standard - Black, Dark Bronze RAL, & custom colors available.
Weight: 29.8 lbs. (13.5 kgs.) - 30.8 lbs. (14.0 kgs.)

Lumen Maintenance

Projected Lx per IES TM-21 at 25°C

Lumen Codes	Distribution	LX(XXX) @ Hours
05 - 09	A, B	197 50,000 HR 195 60,000 HR

Note: Projected Lx based on IES TM-21 at 25°C. All industry references apply to initial luminous flux and lumen maintenance measurements.

Luminaire Ambient Temperature Factor

Ambient Temp (°C)	Initial Flux Factor	Ambient Temp (°C)	Initial Flux Factor
10	1.02	30	0.99
20	1.01	40	0.98
25	1.00	50	0.97

Optical System

Lumens: 2,500 - 9,500
Distribution: Symmetric Type V, Asymmetric Type III
Efficacy: 103 - 118 LPW
CCT: 3000K, 4000K
CRI (Min): ≥70

Electrical

Input Voltage: 120-277V and 347-480V
Input Frequency: 50/60Hz
Power Factor: ≥ 90% at rated watts
Total Harmonic Distortion: ≤ 20% at rated watts

Surge Protection*

STANDARD 6kV/3kA **OPTIONAL** 10kV/5kA

*Per ANSI C136.2-2015

Page 1 of 4
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Current LED.com (Rev. 12/16/23) DCP20P_807

EVOLVE EPTC Twin Support Contemporary LED Post Top Light

Project Name: _____ Type: _____
Date: _____
Notes: _____

Ordering Information

EPTC 02

PROB. ID	GEN.	VOLTAGE	LUMENS	DISTRIBUTION	CCT	CONTROLS PER ANSI C136.2-1	TOP TYPE	COLOR	OPTIONS
B = Revolve	02	0 = 120-277V 3 = 3000lm	3000	A = Symmetric Type V B = Asymmetric Type III	30 = 3000K 40 = 4000K	1 = None	A = Street Circular B = Turreted Cone	BLCK = Black DKBZ = Dark Bronze	B = Secondary 19kV/3kA SPD L = DALI Programmer XXX = Special Options

Optical Code

OPTICAL CODE	DIST CODE	TYPICAL INITIAL LUMEN OUTPUT	TYPICAL SYSTEM WATTAGE	BUG RATINGS
03		3100	2900	27
04		4100	3800	35
05		5100	4800	43
06		6400	6000	54
07		7300	6900	65
08		8400	7900	74
09		9500	8800	85

For additional information on EPTC IES files, please refer to LED.com

Page 2 of 4
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Current LED.com (Rev. 12/16/23) DCP20P_807

EVOLVE EPTC Twin Support Contemporary LED Post Top Light

Project Name: _____ Type: _____
Date: _____
Notes: _____

Photometric Plots

EPTC02 Symmetric (Type V)
9,500 Lumens
4000K
EPTC02_09A40_IES

EPST02 Asymmetric (Type III)
9,500 Lumens
4000K
EPTC02_09B40_IES

Page 3 of 4
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Current LED.com (Rev. 12/16/23) DCP20P_807

EVOLVE EPTC Twin Support Contemporary LED Post Top Light

Project Name: _____ Type: _____
Date: _____
Notes: _____

Mounting & Accessories

Mounting
Mounts to 2-3/8 to 3-inch (60-76mm) OD vertical tenon
Suggested Mounting Height = 8-16 ft. (2.5-5 m)

Weight
29.8 lbs (13.5 kgs) - 30.8 lbs (14.0 kgs)

Effective Projected Area
1.12 sq. ft. max (0.10 sq. m)

Page 4 of 4
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Current LED.com (Rev. 12/16/23) DCP20P_807

1 GE EVOLVE POST TOP -- FIXTURES E, H, & J

EVOLVE SSSE Series Poles Square | Straight | Steel

Project Name: _____ Type: _____
Date: _____
Notes: _____

APPLICATIONS

Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location.

CONSTRUCTION

Shaft: One-piece straight steel with square cross section. Flat sides and minimum 0.25" radius on all corners. Minimum yield of 46,000 psi (ASTM A500, Grade B). Longitudinal weld seam to appear flush with shaft side wall. Steel base plate with axial bolt circle slots welded to pole shaft having minimum yield of 36,000 psi (ASTM A36).

Base Cover: Two-piece square aluminum base cover included standard.

Pole Cap: Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available.

Hand Hole: Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening). Mounting provisions for grounding lug located behind gasketed cover.

Anchor Bolts: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling.

Anchor Bolt Part Numbers: 3/4 x 3 x 3 - TAB-30-M38
1 x 36 x 4 - TAB-36-M38

FINISH

- Durable thermoseal polyester powder coat paint finish with nominal 3.0 mil thickness.
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method.
- Decorative finish coat available in multiple standard colors. Custom colors available; RAL number preferable.

10 DAY - EVOLVE EXPRESS SHIP PROGRAM

- Ships in 10 days
- Limit of 15 poles

Page 1 of 5
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Current LED.com (Rev. 06/06/23) SSSE Pole

EVOLVE SSSE Series Poles Square | Straight | Steel

Project Name: _____ Type: _____
Date: _____
Notes: _____

Ordering Information

Example: SSSE25-40A-2-E2-DKBZ-UL

FINISH	HEIGHT	SHAFT	THICKNESS	LOADING	POLE DRILLING	FINISH	OPTIONS
SSSE - Carbon Square Straight Steel Pole	10-12 ft.	40"-4" Square	A-0.125"	1 - Single arm mount	E2 - Endless Square Pole	DKBZ - Dark Bronze	GFP - 20 Amp GFCI Receptacle and Cover
	12-12 ft.	40"-4" Square	A-0.125"	2 - Two fixtures at 90°	LDP01 - 3/8in IDW range 169 - 2.24	BLCK - Black	BHM - Extra Handhole
	14-14 ft.	40"-4" Square	A-0.125"	2x - Two fixtures at 90°	LDP02 - 1/2in IDW range 189 - 2.24	GRAY - Gray	CSF - CS Coupling
	16-16 ft.	40"-4" Square	A-0.125"	3x - Three fixtures at 90°	LDP03 - 9/16in IDW range 225 - 2.99		CP2 - CP2 Coupling
	18-18 ft.	40"-4" Square	A-0.125"	4 - Four fixtures at 90°	LDP04 - 1/2in IDW range 225 - 2.99		MPP - Mid Pole Luminaire Bracket
	20-20 ft.	40"-4" Square	A-0.125"	4x - Four fixtures at 90°	LDP05 - 9/16in IDW range 310 - 3.75		VM1 - 2nd mode vibration damper
	25-25 ft.	40"-4" Square	A-0.125"	4x - Four fixtures at 90°	LDP06 - 9/16in IDW range 376 - 4.49		VM2 - 2nd mode vibration damper
	30-30 ft.	40"-4" Square	A-0.125"	4x - Four fixtures at 90°	LDP07 - 3/8in IDW range 450 - 5.49		VM3 - 2nd mode vibration damper
	35-35 ft.	40"-4" Square	A-0.125"	4x - Four fixtures at 90°	LDP08 - 9/16in IDW range 450 - 5.49		VM4 - 2nd mode vibration damper
	40-40 ft.	40"-4" Square	A-0.125"	4x - Four fixtures at 90°	LDP09 - 3/8in IDW range 550 - 6.00		VM5 - 2nd mode vibration damper

NOTES

- Removable tenon used in conjunction with side arm mounting. First specify desired arm.
- Specify custom location using MOUNTING ORIENTATION logic on this page.
- Not available with VM1 - Mode Vibration Damper.
- VM1 recommended on poles 20' and taller with EFL of less than 1' if field installed.
- VM1 mounting of most poles follows the manual.
- Factory installed.

Indicates availability in the **ES 10 Day Evolve Express Ship Program**

MOUNTING ORIENTATION

Denotes handhole location

DRILL PATTERNS

ACCESSORIES - ORDER SEPARATELY

CATALOG NUMBER	DESCRIPTION
VM1*	1st mode vibration damper
VM2**	2nd mode vibration damper

* XX - 08 for E, 12 for L, 16 for M, 20 for 20', and 24 for 24'.
Note: Field installed through handhole.

Page 2 of 5
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Current LED.com (Rev. 06/06/23) SSSE Pole

EVOLVE SSSE Series Poles Square | Straight | Steel

Project Name: _____ Type: _____
Date: _____
Notes: _____

Ordering Information

CATALOG NUMBER	HEIGHT (FEET)	HEIGHT (METERS)	NOMINAL SHAFT DIMENSIONS	WALL THICKNESS	BOLT CIRCLE (SUGGESTED)	BOLT CIRCLE (RANGE)	BOLT SQUARE (RANGE)	ANCHOR BOLT SIZE	BOLT PROJECTION	POLE WEIGHT
SSSE25-40A	10	3.0	4" square	0.125"	9"	8"-9"	5.60"-7.27"	9"	3/4"x30"x2"	3.5 77
SSSE25-40B	12	3.7	4" square	0.125"	9"	8"-9"	5.60"-7.27"	9"	3/4"x30"x2"	3.5 86
SSSE25-40C	14	4.3	4" square	0.125"	9"	8"-9"	5.60"-7.27"	9"	3/4"x30"x2"	3.5 93
SSSE25-40D	16	4.9	4" square	0.125"	9"	8"-9"	5.60"-7.27"	9"	3/4"x30"x2"	3.5 100
SSSE25-40E	18	5.5	4" square	0.125"	9"	8"-9"	5.60"-7.27"	9"	3/4"x30"x2"	3.5 105
SSSE25-40F	20	6.1	4" square	0.125"	9"	8"-9"	5.60"-7.27"	9"	3/4"x30"x2"	3.5 109
SSSE25-40G	25	7.6	4" square	0.125"	9"	8"-9"	5.60"-7.27"	9"	3/4"x30"x2"	3.5 125
SSSE25-40H	30	9.1	4" square	0.125"	9"	8"-9"	5.60"-7.27"	9"	3/4"x30"x2"	3.5 139
SSSE25-50A	14	4.3	4" square	0.188"	11"	10"-11"	7.07"-8.48"	10.50"	3/4"x30"x2"	3.5 152
SSSE25-50B	16	4.9	4" square	0.188"	11"	10"-11"	7.07"-8.48"	10.50"	3/4"x30"x2"	3.5 171
SSSE25-50C	18	5.5	4" square	0.188"	11"	10"-11"	7.07"-8.48"	10.50"	3/4"x30"x2"	3.5 196
SSSE25-50D	20	6.1	4" square	0.188"	11"	10"-11"	7.07"-8.48"	10.50"	3/4"x30"x2"	3.5 209
SSSE25-50E	25	7.6	4" square	0.188"	11"	10"-11"	7.07"-8.48"	10.50"	3/4"x30"x2"	3.5 257
SSSE25-50F	30	9.1	4" square	0.188"	11"	10"-11"	7.07"-8.48"	10.50"	3/4"x30"x2"	3.5 304
SSSE25-50G	36	10.9	5" square	0.188"	11"	10.25"-12.25"	7.25"-9.17"	11.50"	1/2"x36"x4"	4.5 239
SSSE25-50H	40	12.2	5" square	0.188"	11"	10.25"-12.25"	7.25"-9.17"	11.50"	1/2"x36"x4"	4.5 243
SSSE25-60A	20	6.1	5" square	0.188"	11"	10.25"-12.25"	7.25"-9.17"	11.50"	1/2"x36"x4"	4.5 267
SSSE25-60B	25	7.6	5" square	0.188"	11"	10.25"-12.25"	7.25"-9.17"	11.50"	1/2"x36"x4"	4.5 307
SSSE25-60C	30	9.1	5" square	0.188"	11"	10.25"-12.25"	7.25"-9.17"	11.50"	1/2"x36"x4"	4.5 337
SSSE25-60D	35	10.7	5" square	0.188"	11"	10.25"-12.25"	7.25"-9.17"	11.50"	1/2"x36"x4"	4.5 407
SSSE25-60E	40	12.2	5" square	0.188"	11"	10.25"-12.25"	7.25"-9.17"	11.50"	1/2"x36"x4"	4.5 507
SSSE25-60F	20	6.1	6" square	0.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1/2"x36"x4"	5.0 289
SSSE25-60G	25	7.6	6" square	0.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1/2"x36"x4"	5.0 404
SSSE25-60H	30	9.1	6" square	0.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1/2"x36"x4"	5.0 429
SSSE25-60I	35	10.7	6" square	0.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1/2"x36"x4"	5.0 554
SSSE25-60J	40	12.2	6" square	0.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1/2"x36"x4"	5.0 629

NOTES

- Factory supplied tenon must be used when using side arm. Current will carry data for correct and proper placement including how to follow to use factory supplied tenon and anchor bolts.

Accessories

- EHH EXTRA HANDHOLE**
- COS - C07 GFCI COUPLING**
- VM1 - VIBRATION DAMPER 1ST MODE**
- VM2 - VIBRATION DAMPER 2ND MODE**
- VM3 - VIBRATION DAMPER 3RD MODE**
- VM4 - VIBRATION DAMPER 4TH MODE**
- VM5 - VIBRATION DAMPER 5TH MODE**
- VM6 - VIBRATION DAMPER 6TH MODE**
- VM7 - VIBRATION DAMPER 7TH MODE**
- VM8 - VIBRATION DAMPER 8TH MODE**
- VM9 - VIBRATION DAMPER 9TH MODE**
- VM10 - VIBRATION DAMPER 10TH MODE**
- VM11 - VIBRATION DAMPER 11TH MODE**
- VM12 - VIBRATION DAMPER 12TH MODE**
- VM13 - VIBRATION DAMPER 13TH MODE**
- VM14 - VIBRATION DAMPER 14TH MODE**
- VM15 - VIBRATION DAMPER 15TH MODE**
- VM16 - VIBRATION DAMPER 16TH MODE**
- VM17 - VIBRATION DAMPER 17TH MODE**
- VM18 - VIBRATION DAMPER 18TH MODE**
- VM19 - VIBRATION DAMPER 19TH MODE**
- VM20 - VIBRATION DAMPER 20TH MODE**
- VM21 - VIBRATION DAMPER 21TH MODE**
- VM22 - VIBRATION DAMPER 22TH MODE**
- VM23 - VIBRATION DAMPER 23TH MODE**
- VM24 - VIBRATION DAMPER 24TH MODE**

OPTION ORIENTATION

Page 3 of 5
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Current LED.com (Rev. 06/06/23) SSSE Pole

2 GE EVOLVE SSSE SERIES 16'-0" POLES

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Current LED.com (Rev. 06/06/23) SSSE Pole

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Current LED.com (Rev. 06/06/23) SSSE Pole

INSITE

LANDSCAPE DESIGN

Landscape Consulting & Master Planning Design Services

11525 W. North Avenue, Suite 1B
Wauwatosa, WI 53226
Tel (414) 476-1204
www.insitedesigninc.com
mdavis@insitedesigninc.com

Project:

CHRIST ALONE EVANGELICAL LUTHERAN CHURCH & SCHOOL

247 S. Main Street
Theinsville, WI 53092

Issuance and Revisions:

Date	Number	Description
03/14/25		Preliminary Client Review Submittal
03/18/25		Revisions Based Client Comments
03/20/25		Plan Commission Submittal

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Sheet Title:

PROPOSED SITE LIGHT FIXTURES

Date of Drawing: 03/20/25

Scale: NONE

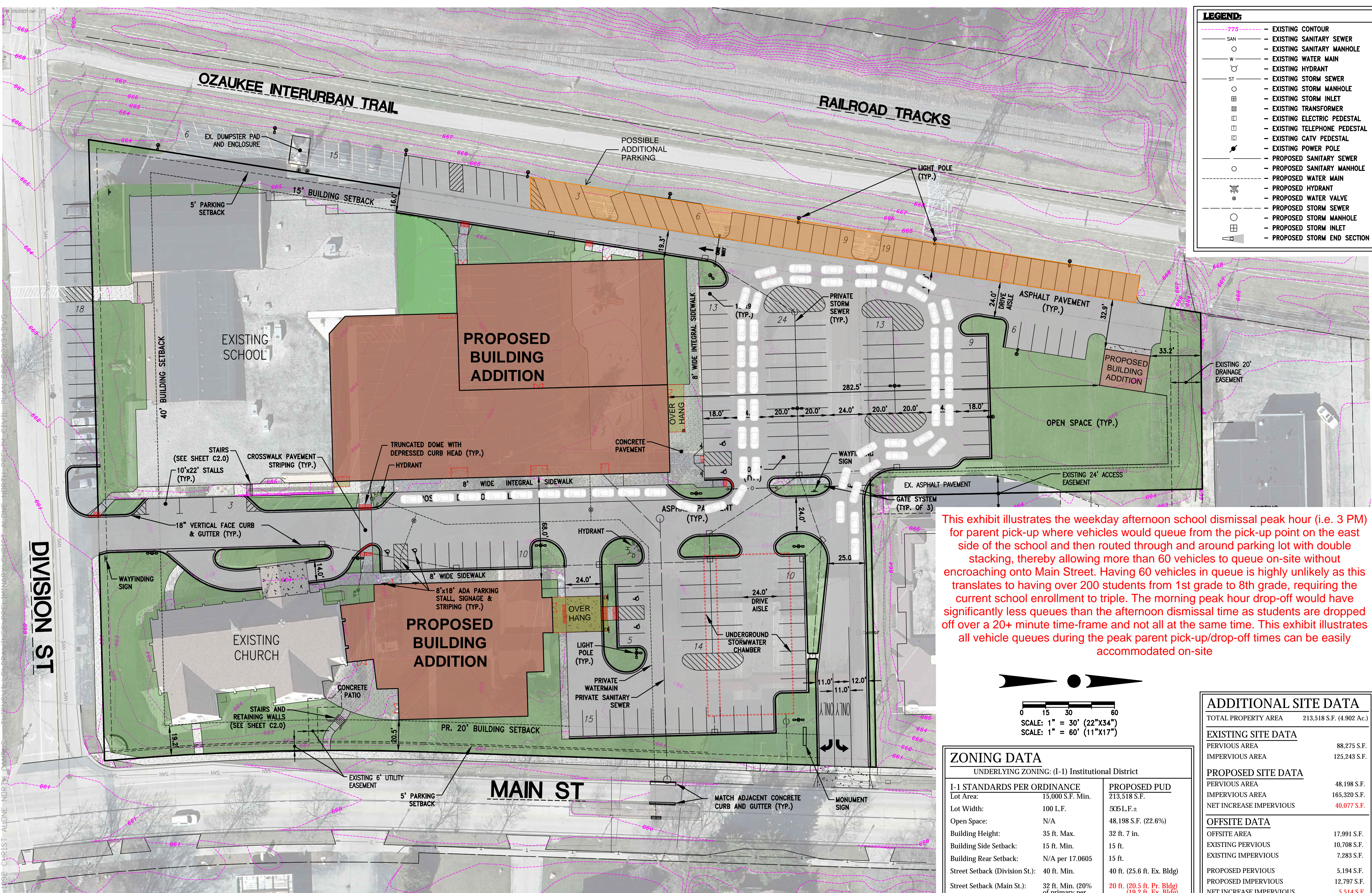
Drawn By: MCD

Job Number: L25-007

Sheet Number:

PHO1.6

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LEGEND:

- 775 --- EXISTING CONTOUR
- - - - - EXISTING SANITARY SEWER
- EXISTING SANITARY MANHOLE
- - - - - EXISTING WATER MAIN
- EXISTING HYDRANT
- - - - - EXISTING STORM SEWER
- EXISTING STORM MANHOLE
- EXISTING STORM INLET
- EXISTING TRANSFORMER
- EXISTING ELECTRIC PEDESTAL
- EXISTING TELEPHONE PEDESTAL
- EXISTING CATV PEDESTAL
- EXISTING POWER POLE
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY MANHOLE
- - - - - PROPOSED WATER MAIN
- PROPOSED HYDRANT
- PROPOSED WATER VALVE
- - - - - PROPOSED STORM SEWER
- - - - - PROPOSED STORM MANHOLE
- - - - - PROPOSED STORM INLET
- - - - - PROPOSED STORM END SECTION

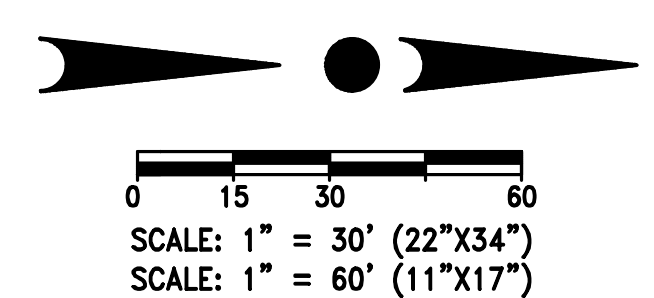
WISCONSIN PROFESSIONAL ENGINEER
Matthew Bailey
 E-4433
 OCONOMOC
 WISCONSIN

TRIO
 DESIGN • LAND SURVEYING
 CIVIL ENGINEERING

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 BROOKFIELD, WI 53005
 PHONE: (262) 790-1480
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 EMAIL: j.pudis@trioeng.com

PROJECT: CHRIST ALONE - NORTH CAMPUS
 247 S. MAIN STREET
 VILLAGE OF THIENSVILLE, WISCONSIN
 BY: RAMLOW/STEN ARCHITECTURE + INTERIORS
 322 E. MICHIGAN ST. SUITE 400
 MILWAUKEE, WI 53202

This exhibit illustrates the weekday afternoon school dismissal peak hour (i.e. 3 PM) for parent pick-up where vehicles would queue from the pick-up point on the east side of the school and then routed through and around parking lot with double stacking, thereby allowing more than 60 vehicles to queue on-site without encroaching onto Main Street. Having 60 vehicles in queue is highly unlikely as this translates to having over 200 students from 1st grade to 8th grade, requiring the current school enrollment to triple. The morning peak hour drop-off would have significantly less queues than the afternoon dismissal time as students are dropped off over a 20+ minute time-frame and not all at the same time. This exhibit illustrates all vehicle queues during the peak parent pick-up/drop-off times can be easily accommodated on-site



ZONING DATA
 UNDERLYING ZONING: (I-1) Institutional District

I-1 STANDARDS PER ORDINANCE	PROPOSED PUD
Lot Area: 15,000 S.F. Min.	213,518 S.F.
Lot Width: 100 L.F.	505 L.F.±
Open Space: N/A	48,198 S.F. (22.6%)
Building Height: 35 ft. Max.	32 ft. 7 in.
Building Side Setback: 15 ft. Min.	15 ft.
Building Rear Setback: N/A per 17.0605	15 ft.
Street Setback (Division St.): 40 ft. Min.	40 ft. (25.6 ft. Ex. Bldg)
Street Setback (Main St.): 32 ft. Min. (20% of primary per 17.0605)	20 ft. (20.5 ft. Pr. Bldg) (19.2 ft. Ex. Bldg)
Parking Setback: 5 ft.	5 ft.

ADDITIONAL LOT DATA:
 FLOOR-AREA-RATIO: 36.6% (78,220 S.F. FLOOR AREA)

ADDITIONAL SITE DATA

TOTAL PROPERTY AREA	213,518 S.F. (4.902 Ac.)
EXISTING SITE DATA	
PERVIOUS AREA	88,275 S.F.
IMPERVIOUS AREA	125,243 S.F.
PROPOSED SITE DATA	
PERVIOUS AREA	48,198 S.F.
IMPERVIOUS AREA	165,320 S.F.
NET INCREASE IMPERVIOUS	40,077 S.F.
OFFSITE DATA	
OFFSITE AREA	17,991 S.F.
EXISTING PERVIOUS	10,708 S.F.
EXISTING IMPERVIOUS	7,283 S.F.
PROPOSED PERVIOUS	5,194 S.F.
PROPOSED IMPERVIOUS	12,797 S.F.
NET INCREASE IMPERVIOUS	5,514 S.F.
PROPOSED PARKING	
PR. STANDARD PARKING STALLS	192 STALLS
PR. ADA PARKING STALLS	6 STALLS
TOTAL PR. PARKING STALLS	198 STALLS

REVISION HISTORY

DATE	DESCRIPTION
03/19/25	INITIAL SUBMITTAL

DATE: MARCH 19, 2025

JOB NUMBER: 23-003-1092

DESCRIPTION: PROPOSED SITE PLAN

SHEET
C1.1

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. **CALL DIGGERS HOTLINE 1-800-242-8511**

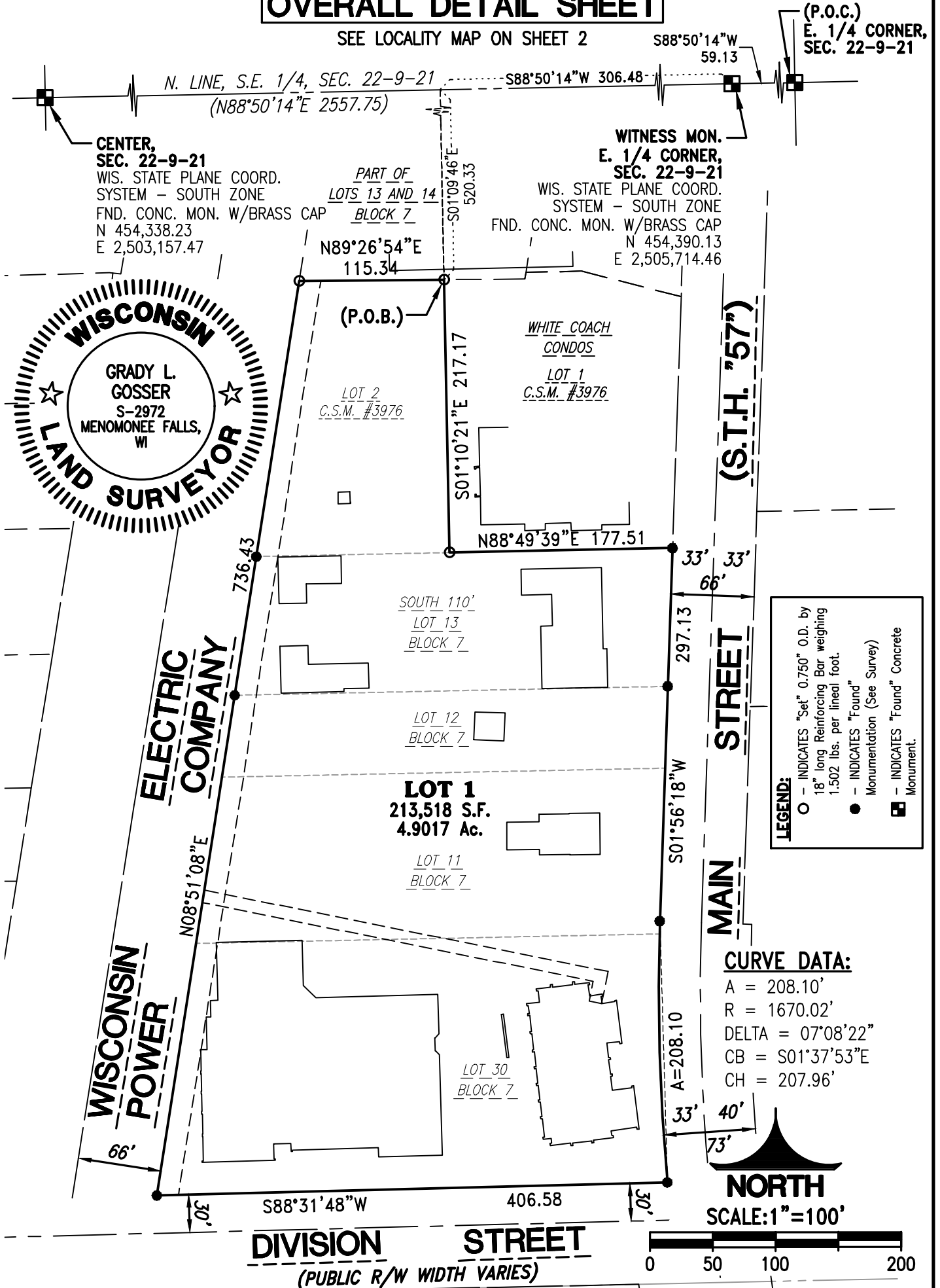
NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

CERTIFIED SURVEY MAP NO. _____

BEING A CONSOLIDATION OF LOTS 11, 12 AND 30 AND THE SOUTH 110 FEET OF LOT 13, BLOCK 7, ASSESSOR'S PLAT, VILLAGE OF THIENSVILLE AND LOT 2 OF CERTIFIED SURVEY MAP NO. 3976, ALL IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWN 9 NORTH, RANGE 21 EAST, IN THE VILLAGE OF THIENSVILLE, OZAUKEE COUNTY, WISCONSIN.

OVERALL DETAIL SHEET

SEE LOCALITY MAP ON SHEET 2



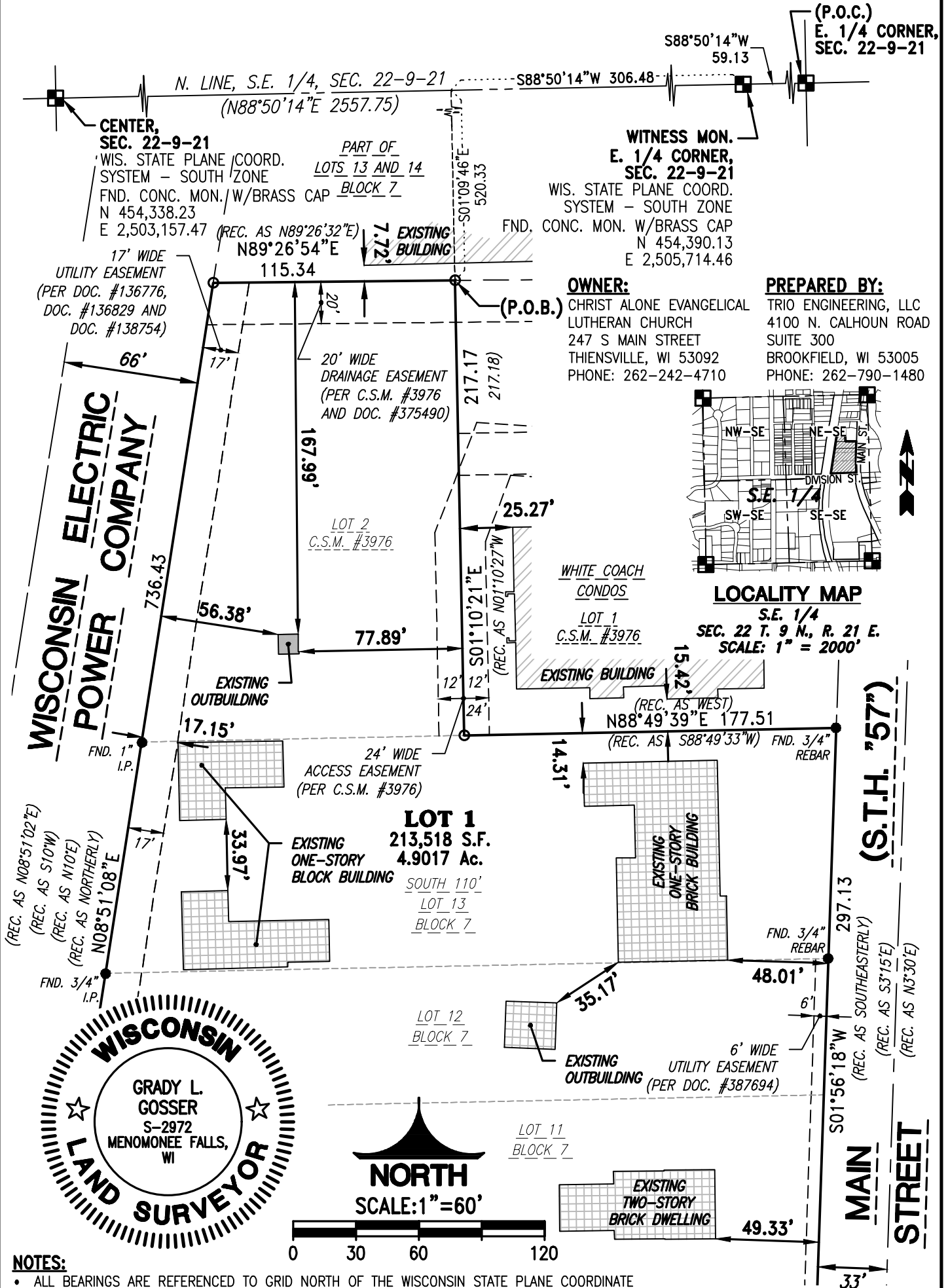
X:\2023\23-002-1092 Christ Alone NORTH Campus - Thiensville\Drawings\Survey\CSM\530CSM01.dwg

DRAFTED THIS 18TH DAY OF MARCH, 2025
 THIS INSTRUMENT WAS DRAFTED BY GRADY L. GOSSER, S-2972

JOB NO. 23-002-1092-01
 SHEET 1 OF 5

CERTIFIED SURVEY MAP NO. _____

BEING A CONSOLIDATION OF LOTS 11, 12 AND 30 AND THE SOUTH 110 FEET OF LOT 13, BLOCK 7, ASSESSOR'S PLAT, VILLAGE OF THIENSVILLE AND LOT 2 OF CERTIFIED SURVEY MAP NO. 3976, ALL IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWN 9 NORTH, RANGE 21 EAST, IN THE VILLAGE OF THIENSVILLE, OZAUKEE COUNTY, WISCONSIN.



NOTES:
 • ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-83/2011), IN WHICH THE NORTH LINE OF THE S.E. 1/4 OF SECTION 22, TOWN 9 NORTH, RANGE 21 EAST, BEARS N88°50'14"E.

DRAFTED THIS 18TH DAY OF MARCH, 2025
 THIS INSTRUMENT WAS DRAFTED BY GRADY L. GOSSER, S-2972
 JOB NO. 23-002-1092-01
 SHEET 2 OF 5

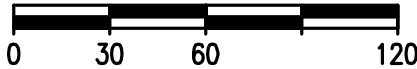
X:\2023\23-002-1092 Christ Alone NORTH Campus - Thiensville\Drawings\Survey\CSM\530CSM01.dwg

CERTIFIED SURVEY MAP NO. _____

BEING A CONSOLIDATION OF LOTS 11, 12 AND 30 AND THE SOUTH 110 FEET OF LOT 13, BLOCK 7, ASSESSOR'S PLAT, VILLAGE OF THIENSVILLE AND LOT 2 OF CERTIFIED SURVEY MAP NO. 3976, ALL IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWN 9 NORTH, RANGE 21 EAST, IN THE VILLAGE OF THIENSVILLE, OZAUKEE COUNTY, WISCONSIN.

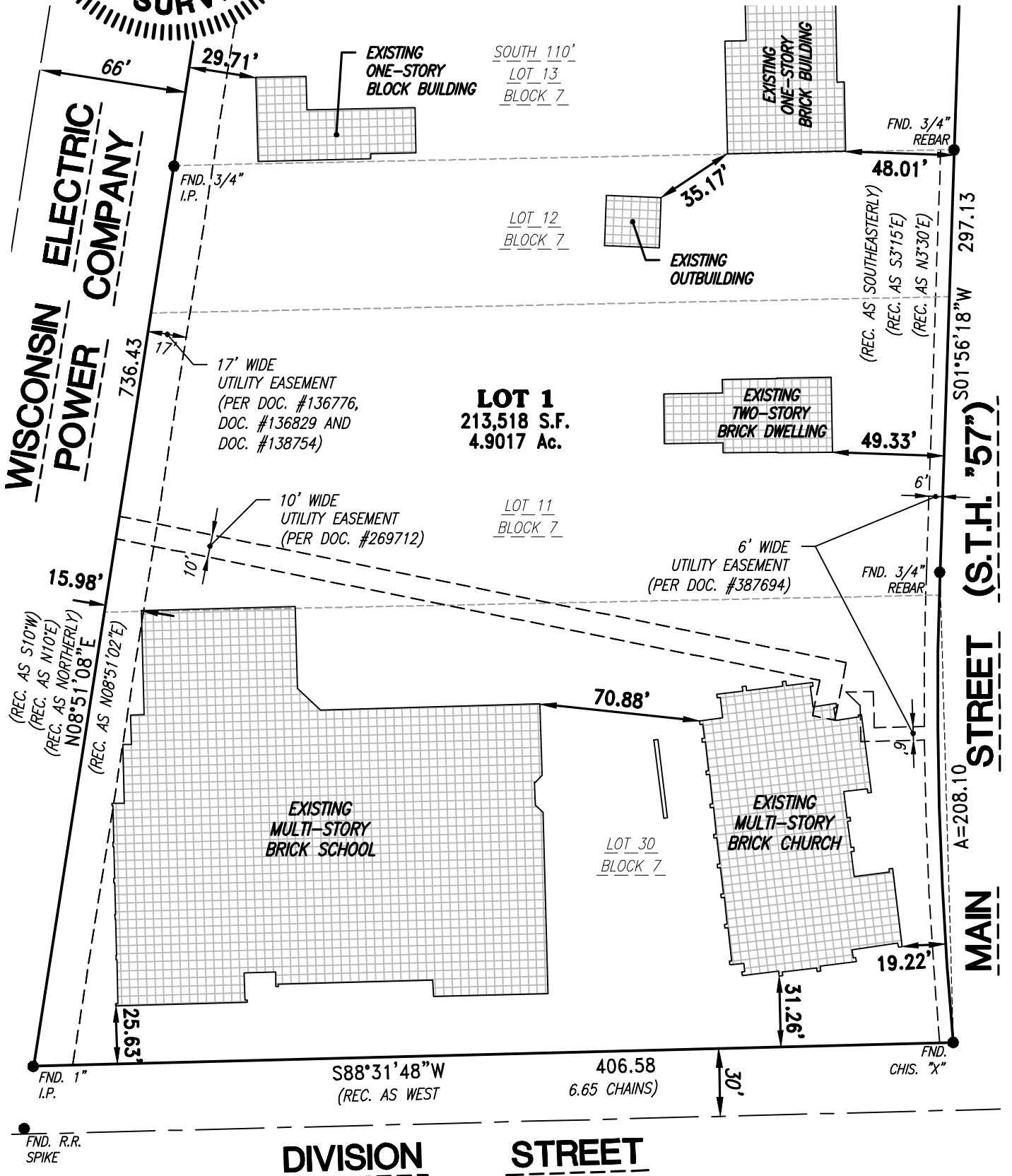


NORTH



CURVE DATA:

A = 208.10'
 R = 1670.02'
 DELTA = 07°08'22"
 CB = S01°37'53"E
 CH = 207.96'



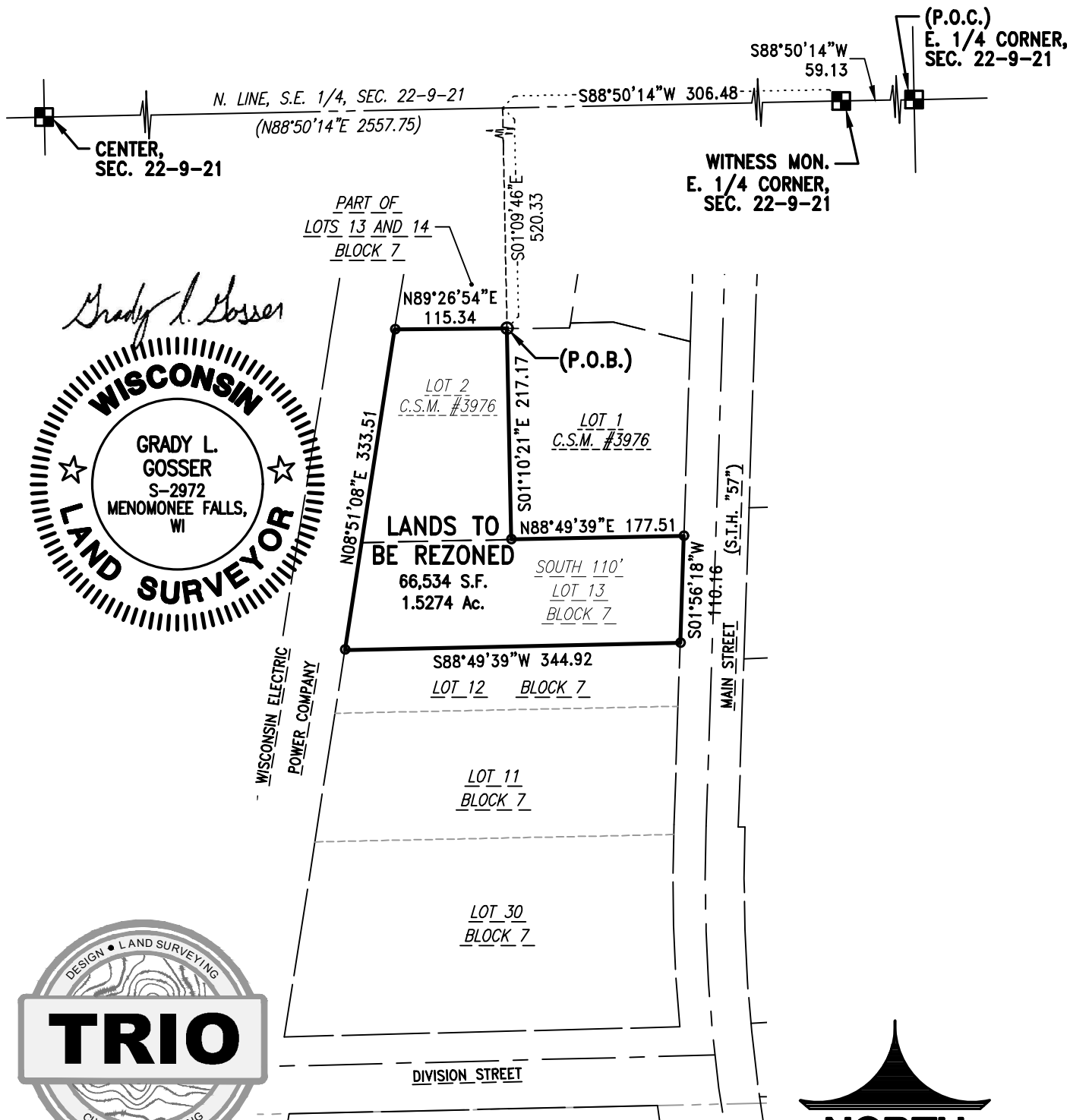
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DRAFTED THIS 18TH DAY OF MARCH, 2025
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JOB NO. 23-002-1092-01
 SHEET 3 OF 5

REZONING EXHIBIT "A"

THE SOUTH 110 FEET OF LOT 13, BLOCK 7, ASSESSOR'S PLAT, VILLAGE OF THIENSVILLE AND LOT 2 OF CERTIFIED SURVEY MAP NO. 3976, ALL IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWN 9 NORTH, RANGE 21 EAST, IN THE VILLAGE OF THIENSVILLE, OZAUKEE COUNTY, WISCONSIN.



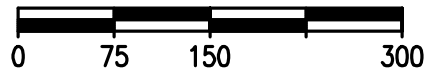
Grady L. Gosser



4100 N. Calhoun Road
Suite 300
Brookfield, WI 53005
Phone: (262) 790-1480
Fax: (262) 790-1481



SCALE: 1" = 150'



THIS EXHIBIT WAS PREPARED BY GRADY L. GOSSER, P.L.S. (S-2972)

DATE: 3/18/25

REZONING EXHIBIT "B"

LEGAL DESCRIPTION:

Being the South 110 feet of Lot 13, Block 7, Assessor's Plat, Village of Thiensville and Lot 2 of Certified Survey Map No. 3976, all in the Northeast 1/4 of the Southeast 1/4 of Section 22, Town 9 North, Range 21 East, in the Village of Thiensville, Ozaukee County, Wisconsin, now being more particularly bounded and described as follows:

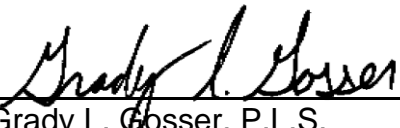
Commencing at the East 1/4 Corner of said Section 22; Thence South 88°50'14" West and along the North line of the said Southeast 1/4 of said Section 22, 59.13 feet to a Witness Monument marking the location and direction of the said North line; Continuing thence South 88°50'14" West and along the said North line, 306.48 feet to a point; Thence South 01°09'46" East along a tie line, 520.33 feet to a point on the North line of said Lot 2 of said Certified Survey Map No. 3976 and the place of beginning of lands hereinafter described;

Thence South 01°10'21" East and along the West line of Lot 1 of said Certified Survey Map No. 3976, 217.17 feet to a point; Thence North 88°49'39" East and along the South line of said Lot 1, 177.51 feet to a point on the West Right-of-Way line of "Main Street" (S.T.H. "57"); Thence South 01°56'18" West and along the said West Right-of-Way line, 110.16 feet to a point; Thence South 88°49'39" West, 344.92 feet to a point on the East line of a Wisconsin Electric Power Company Right-of-Way; Thence North 08°51'08" East and along the said East Right-of-Way line, 333.51 feet to a point on the said North line of said Lot 2; Thence North 89°26'54" East and along the said North line, 115.34 feet to the point of beginning of this description.

Said Parcel contains 66,534 Square Feet (or 1.5274 Acres) of land, more or less.

Date: 3/18/25




Grady L. Gosser, P.L.S.
Professional Land Surveyor S-2972
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Brookfield, WI 53045
Phone: (262)790-1480

Thiensville Plan Commission Staff Report - May 2025

Staff Approved Projects May 2025

Date	Address	Applicant	Project	Staff Approval	ZBOA	Approved	Denied
5/5/2025	505 Alta Loma Dr.	Andy Match	Backyard Chicken permit	5/7/2025		conditionally	
5/8/2025	314 Washington Ct.	Shirley Warren	Replace Garage Floor	5/12/2025		x	
5/15/2025	213 S. Highland	Heidi Kramer	Fence	5/22/2025		x	
5/19/2025	111 Heidel Rd.	Sara Ording	Windows	5/28/2025		x	
5/21/2025	220 Kenwood Dr.	Juan Sotelo	Above Ground Pool	5/28/2025		x	
5/22/2025	105 W. Freistadt	Brooke Thomson/Dr. Dawg	Temporary Banner			conditionally	
5/22/2025	105 W. Freistadt	Brooke Thomson/Dr. Dawg	Feather Banner			conditionally	

Code Compliance May 2025

Community Services			
Address	Owner	Complaint	Action
211 E Freistadt	Derek G Maul	Follow Up Exterior Maintenance complaint	

Police Department May 2025

Date	Location	Complaint	Action
5/3/2025	Interurban/Freistadt Rd	complaint of man walking dog, unleashed on IUT	Upon police arrival, no one matching description was found - one man on trail, walking dog, but it was leashed
5/13/2025	505 N Main St	ad signs in village ROW	Spoke to business owner about ordinance - signs were removed
5/14/2025	232 S Main St	illegal dumping in private dumpster	Offender found and contacted, admitted to dumping; dumpster owner asked for warning to offender. Warning given.
5/23/2025	251 Elm St	car parked in park after hours	RO was called and lvm; car was gone later that night
5/26/2025	200blk S Main St	ad sign removed from village ROW	
5/29/2025	Grand Ave/Park Crest Dr	solicitor with no permit	manager was called and explained the permit instructions for soliciting; solicitor was then picked up and left village

Meeting Date: 6/10/25