



**Village of Thiensville
Plan Commission
AGENDA**

Date:
Tuesday, April 15, 2025

LOCATION: 250 Elm Street, Thiensville, WI

Time: 6:00 PM

I. CALL TO ORDER

II. ROLL CALL

Chairman

John Rosing

**Director of Community
Services/Public Works**

Andy LaFond

Village Planner

Meredith Perks

Commissioners

Jeff Hershberger Joe Nelson

Rebecca Holyoke- M. Randy Pasternak
Odeja (Excused)

Vacant Jerry Schmitz

III. CITIZENS TO BE HEARD

A. Open to any resident or taxpayer on items not subject to a public hearing: Please be advised per §19.84(2), information will be received from the public. Village policy limits a three (3) minute time period per person, with time extension by the presiding official's discretion or a vote of 2/3 of the Board or Committee; be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments. Written comments on agenda items are encouraged to be sent and addressed to the intended body by noon on the day of the meeting. Comments received timely will be forwarded to all members of the body. If you wish to speak, you must pre-register by emailing the Village Clerk at clandisch@village.thiensville.wi.us by 4:00 PM on the day of the meeting or by signing in immediately prior to the meeting.

IV. APPROVAL OF MINUTES

A. March 11, 2025 (att)

V. BUSINESS

A. Review and Approve Backyard Shed at 610 Laurel Drive (att)

B. Review and Recommendation Regarding Resolution 2025-04 the Adoption of A Public Participation Plan for the Update of the Comprehensive Plan (att)

C. Consultation Regarding Rezoning and Expansion of Christ Alone Evangelical Church and School (att)

VI. STAFF REPORT

A. March 2025 (att)

VII. ADJOURNMENT

Colleen Landisch-Hansen, Village Clerk

Please advise the Thiensville Municipal Hall, 250 Elm Street (262-242-3720) at least 24 hours prior to the start of this meeting if you have disabilities and desire special accommodations.



VILLAGE OF THIENSVILLE
Plan Commission
MINUTES

DATE: Tuesday, March 11, 2025

LOCATION: 250 Elm Street, Thiensville, WI

TIME: 6:00 PM

I. CALL TO ORDER

Chairman Rosing called the meeting to order at 6:00 PM.

II. ROLL CALL

Chairman

John Rosing

Director of Community Services/Public Works

Andy LaFond

Village Planner

Meredith Perks

Commissioners

Jeff Hershberger Joe Nelson

Rebecca Holyoke- M. Randy Pasternak
Odeja

Ken Kucharski Jerry Schmitz

III. CITIZENS TO BE HEARD

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IV. APPROVAL OF MINUTES

A. February 11, 2025 (att)

MOTION to Approve by Commissioner Holyoke-Odeja **SECONDED** by Commissioner Pasternak. **MOTION CARRIED UNANIMOUSLY.**

Aye: 7

No: 0

Abstain: 0

V. BUSINESS

A. Review and Action Regarding Front Porch Replacement at 225 Riverview Drive (att)

Mr. John Konop from John's Custom Carpentry, LLC explained the project involves rebuilding the porch to the same dimensions as the existing porch. The project will reuse three posts on each corner and will include changes to the railing, using aluminum banisters and cedar railing.

Director LaFond points out a discrepancy between the existing roof-line and the provided drawings.

Mr. Konop explained that was an issue with the software rendering, the actual plan will not change the roof-line.

MOTION to Approve Front Porch Replacement at 225 Riverview Drive by Commissioner Nelson **SECONDED** by Commissioner Pasternak. **MOTION CARRIED UNANIMOUSLY.**

Aye: 7

No: 0

Abstain: 0

B. Review and Recommendation Regarding Amending the Zoning Code to Allow for the Keeping of Domesticated Chickens as an Accessory use in the R1 and R2 Zoning Districts (att)

Director LaFond re-introduced the amendment to allow for the keeping of domesticated chickens in R1 and R2 zoning districts and explained of the procedural steps required by the zoning code, including a recommendation from the plan commission.

Commissioner Kucharski stated that at the public hearing regarding the amendment there were 12 speakers from the public and eight of the twelve speakers were against the amendment. Commissioner Kucharski requested that this be recorded in the minutes for the record.

Director LaFond went through the restrictions and guidelines laid out in the draft amendment and explained that the Village Board had requested this amendment be drafted for review.

MOTION to Recommend to the Village Board the Keeping of Domesticated Chickens by

Commissioner Holyoke-Odeja **SECONDED** by Commissioner Schmitz. **MOTION FAILED.**
Aye: Schmitz, Holyoke-Odeja, Rosing
No: Hershberger, Kucharski, Nelson, Pasternak
Abstain: None

MOTION to Recommend to the Village Board not Amending the Zoning Code to Allow for the Keeping of Domesticated Chickens by Commissioner Hershberger **SECONDED** by Commissioner Schmitz. **MOTION PASSED.**
Aye: Hershberger, Kucharski, Nelson, Pasternak
No: Schmitz, Holyoke-Odeja, Rosing
Abstain: None

C. Review and Discussion Regarding the Addition of a Mixed-Use Zoning District (att)
Director LaFond Introduced the proposal to add mixed-use zoning districts

Director LaFond explained the need for a modern zoning framework to support economic growth and enhance community character and detailed the current reliance on Planned Development Overlays (PDOs) and the cumbersome nature of that process.

Director LaFond further explained the the Town Center Plan, Village Center Plan, and the Thiensville TID Plan call for a Mixed-Use Zoning District as an economic development tool.

Planner Perks made a presentation of the drafted Downtown Mixed-Use Zoning District.

MOTION to Recommend the Addition of a Mixed-Use Zoning District by Commissioner Hershberger **SECONDED** by Commissioner Kucharski. **MOTION CARRIED UNANIMOUSLY.**
Aye: 7
No: 0
Abstain: 0

VI. STAFF REPORT

A. February, 2025 (att)

VII. ADJOURNMENT

MOTION to Adjourn at 7:19 PM by Commissioner Pasternak **SECONDED** by Commissioner Kucharski. **MOTION CARRIED UNANIMOUSLY.**
Aye: 7
No: 0
Abstain: 0

[MIN_SIGNATURES]

SMALL PROJECTS APPLICATION

Submission Information:

This form must be completed for all projects that can be approved at the staff level. This includes fences, decks, swing sets, hot tubs, egress windows, and parking pads.

Property Address: 610 Laurel Drive Thiensville 53092

Tax Key #

Current Zoning

Property Owner:

Steve + Susan Gattani

Name

610 Laurel Drive Thiensville

Address

262 617 1079

Phone

sdgattani@gmail.com

Email Address

Applicant: Same as Owner

Name

Address

Phone

Email Address

Project Description:

Please describe your project in detail. Include details about height and dimensions, color, materials used, and setbacks from the street and property lines. Provide any information that you believe will assist staff in reviewing and approving your request.

Utility Shed, 150 sq ft 10' x 5' x 12ft H.

wood construction w/T11 siding Asphalt shingle roof

color to be neutral tone as attached ^{picture} example of buildings included

Back corner of property will maintain Required 3ft setbacks as shown on plot survey.

[Signature]

Applicant Signature

3/4/2025

Date



Application Checklist:

- Submit drawings, photo example or rendering and/or other descriptions of projects
- Submit scaled drawing or survey with proposed location and setbacks
- Complete building permit application

Is this property in Thiensville's Historic District? Yes No

If yes, you must apply for a Certificate of Appropriateness with the Historic Preservation Commission. Complete the COA application. Attendance at HPC meeting is required.

The applicant is responsible to pay planner charges after a first half hour that will be paid by the village. Work cannot begin until staff approval and paid building permit approval. Staff reserve the right to forward application to the Plan Commission for approval if deemed necessary.



Village Staff Review

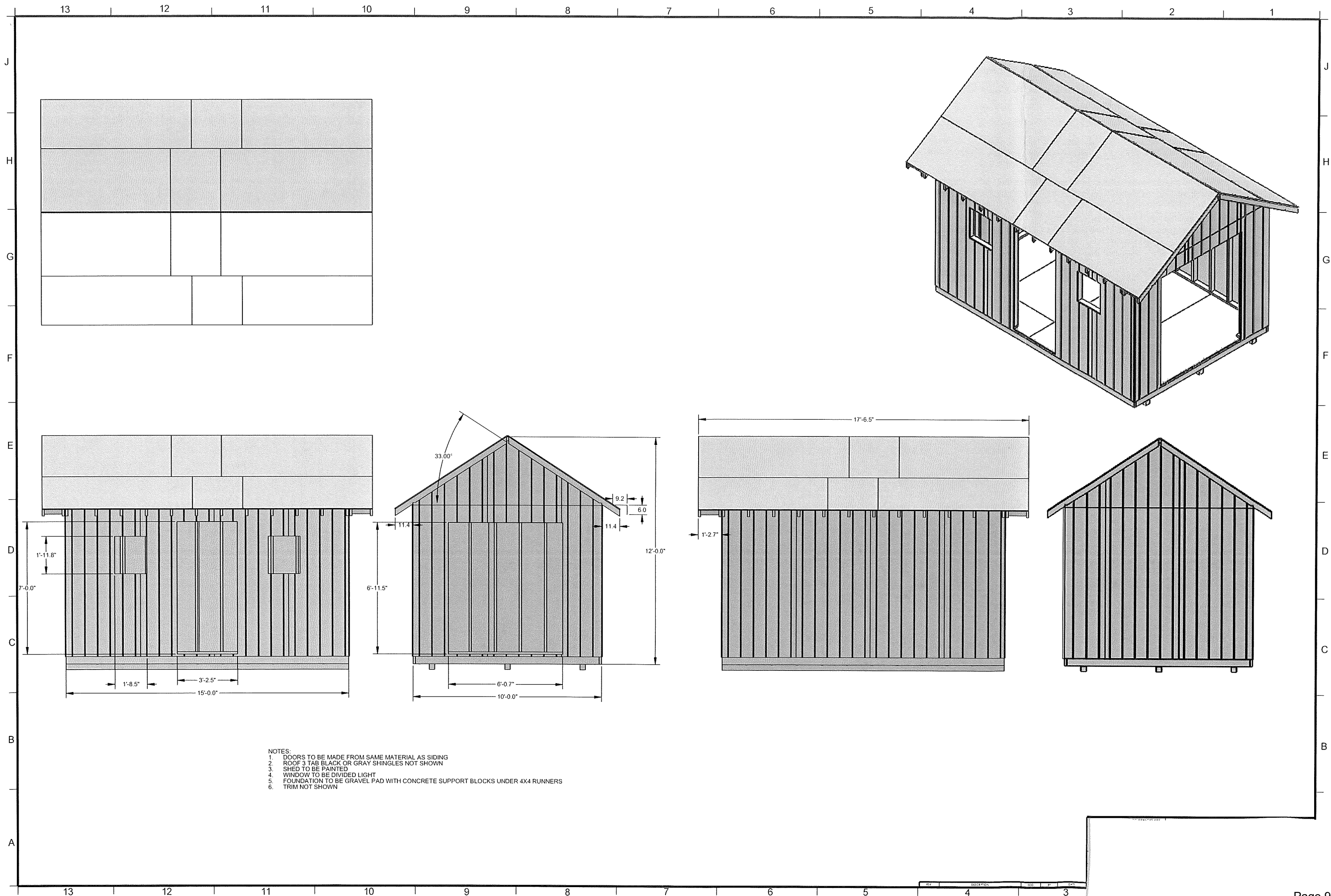
- Application Complete. Items needed: _____
- Submitted to Village Planner on _____ Approved by planner on _____
- Historic Preservation Approval (if needed) on _____

Additional Remarks/Conditions:

Village Staff Signature

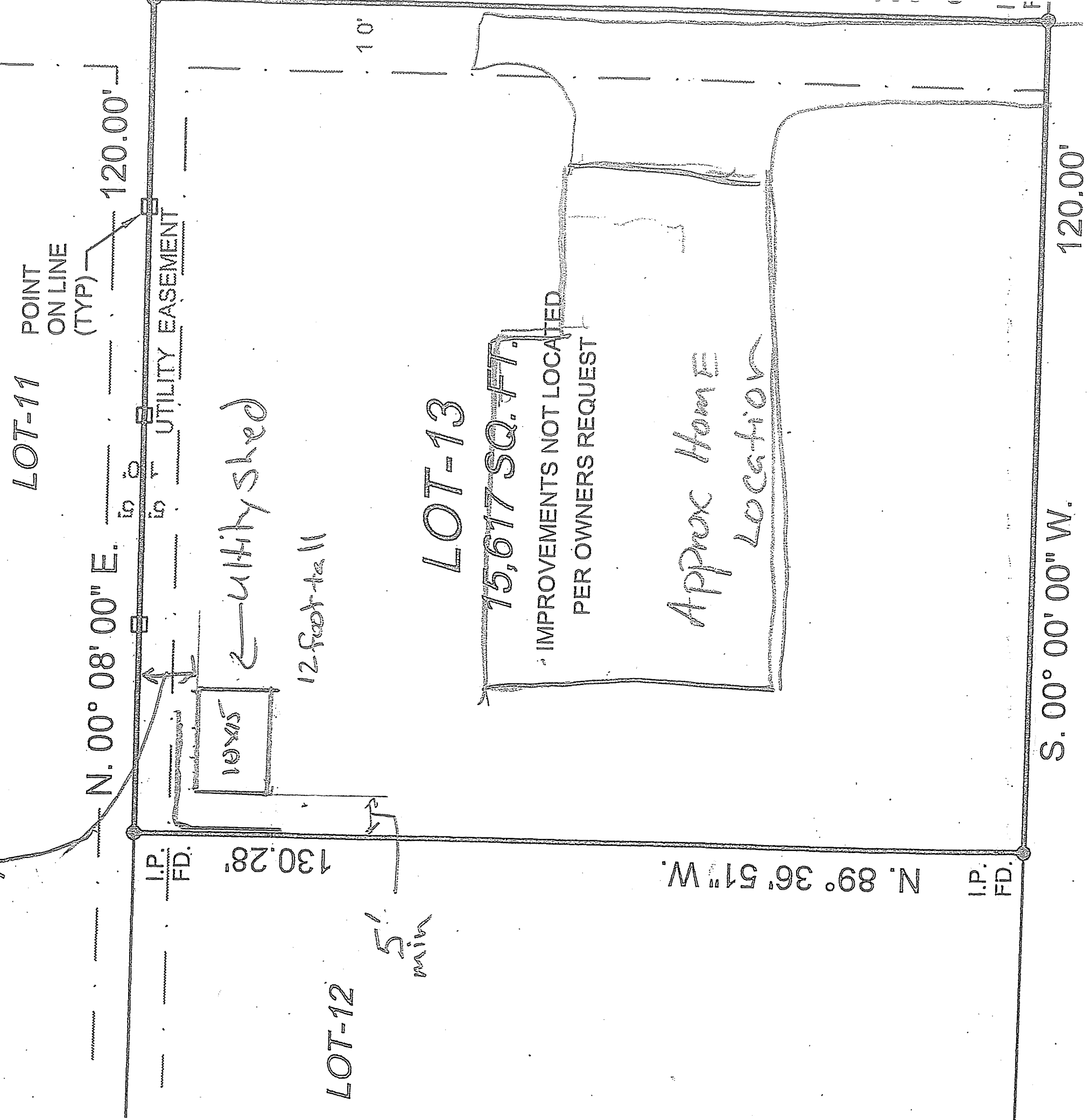
Date

262-420-4732 SAFEbuilt	WI UNIFORM PERMIT APPLICATION Wlinspections@safebuilt.com <i>Inspections need to be called in by 4 pm for next business day inspections.</i>	PERMIT NO. TAXKEY#	
 Village of THIENSVILLE	<input type="checkbox"/> TOWN <input checked="" type="checkbox"/> VILLAGE <input type="checkbox"/> CITY OF <u>Thiensville</u> COUNTY: <u>Ozaukee</u>	PROJECT LOCATION (Building Address) <u>610 Laurel Drive Thiensville 53092</u>	
PROJECT DESCRIPTION <u>Utility shed</u>		<input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> ONE & TWO FAMILY	
Owner's Name <u>Steve and Susan Gotton</u> Mailing Address - Include City & Zip <u>610 Laurel Drive Thiensville 53092</u> Telephone - Include Area Code <u>262 617 1019</u>		Construction Contractor (DC Lic No.) Mailing Address - Include City & Zip Telephone - Include Area Code	
Dwelling Contractor Qualifier (DCO Lic No.) Dwelling Contractor Qualifier shall be an owner, CEO, COB, or employee of Dwelling Contractor Telephone - Include Area Code		Plumbing Contractor (Lic No.) Mailing Address - Include City & Zip Telephone - Include Area Code	
Electrical Contractor (Lic No.) Mailing Address - Include City & Zip Telephone - Include Area Code		HVAC Contractor (Lic No.) Mailing Address - Include City & Zip Telephone - Include Area Code	
PROJECT INFORMATION		Subdivision Name <u>Alberfa</u>	Lot No. <u>13</u> Block No.
Zoning District	Lot Area <u>15617</u> Sq. Ft.	N.E.W. Setbacks	Front <u>120</u> Ft. Rear <u>120</u> Ft. Left <u>130</u> Ft. Right <u>130</u> Ft.
1a. PROJECT <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Raze <input type="checkbox"/> Alteration <input type="checkbox"/> Repair <input type="checkbox"/> Move <input checked="" type="checkbox"/> Other <u>Utility shed</u>	3. TYPE <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Two Family <input type="checkbox"/> Multi <input type="checkbox"/> Commercial	6. STORIES <input type="checkbox"/> 1-Story <input checked="" type="checkbox"/> 2-Story <input type="checkbox"/> Other	9. HVAC EQUIPMENT <input type="checkbox"/> Forced Air Furnace <input type="checkbox"/> Radiant Baseboard or Panel <input type="checkbox"/> Heat Pump <input type="checkbox"/> Boiler <input type="checkbox"/> Central Air Conditioning <input checked="" type="checkbox"/> Other <u>NA</u>
1b. GARAGE <input type="checkbox"/> Attached <input type="checkbox"/> Detached	4. CONST. TYPE <input type="checkbox"/> Site Constructed <input type="checkbox"/> Mfd. UDC <input type="checkbox"/> Mfd. HUD	7. FOUNDATION <input type="checkbox"/> Concrete <input type="checkbox"/> Masonry <input checked="" type="checkbox"/> Treated Wood <input type="checkbox"/> ICF <input type="checkbox"/> Other	12. ENERGY SOURCE Fuel: Nat. Gas <input type="checkbox"/> L.P. <input type="checkbox"/> Oil <input type="checkbox"/> Elec. <input type="checkbox"/> Solid <input type="checkbox"/> Solar <input type="checkbox"/> Space Htg <input type="checkbox"/> Water Htg <input type="checkbox"/> <input type="checkbox"/> Dwelling unit will have 3 kilowatt or more installed electric space heater equipment capacity.
2. AREA Basement _____ Sq. Ft. Living Area _____ Sq. Ft. Garage _____ Sq. Ft. Other _____ Sq. Ft. TOTAL _____	5. ELECTRICAL Entrance Panel Size: _____ amp Service: ___ New ___ Rewire Phase _____ Volts Underground Overhead Power Company:	8. USE <input type="checkbox"/> Seasonal <input checked="" type="checkbox"/> Permanent <input type="checkbox"/> Other	10. PLUMBING Sewer <input type="checkbox"/> Municipal <input type="checkbox"/> Septic No. _____ 11. WATER <input type="checkbox"/> Municipal Utility <input type="checkbox"/> Private On-Site Well
		13. HEAT LOSS (Calculated) Total _____ BTU/HR	
		14. ESTIMATED COST \$ <u>15000</u>	
<p>I understand that I am subject to all applicable codes, laws, statutes and ordinances, including those described on the Notice to Permit Applicants form; am subject to any conditions of this permit; understand that the issuance of this permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If one acre or more of soil will be disturbed, I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and the owner shall sign the statement on the Notice to Permit Applicants form. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.</p> <p><input type="checkbox"/> I vouch that I am or will be an owner-occupant of this dwelling for which I am applying for an erosion control or construction permit without a Dwelling Contractor Certification and have read the cautionary statement regarding contractor responsibility on the Notice to Permit Applicants form.</p>			
APPLICANT (PRINT): <u>Stephen Gotton</u> SIGN:  DATE: <u>3/4/25</u>			
APPROVAL CONDITIONS This permit is issued pursuant to the attached conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. Owner/Builder solely responsible for compliance with all applicable State & Local Building and Zoning codes.			
INSPECTIONS NEEDED Building <input type="checkbox"/> Footing <input type="checkbox"/> Foundation <input type="checkbox"/> Rough <input type="checkbox"/> Insulation <input type="checkbox"/> Bsmt. Fl. <input type="checkbox"/> Final Electric <input type="checkbox"/> Rough <input type="checkbox"/> Service <input type="checkbox"/> Final Plumbing <input type="checkbox"/> Rough <input type="checkbox"/> Underfloor <input type="checkbox"/> Final HVAC <input type="checkbox"/> Rough <input type="checkbox"/> Final			
FEES:	PERMIT(S) ISSUED	SEAL NO. _____ Municipality No. _____	
Building Fee _____ Zoning Fee _____ WI Seal _____ Electric Fee _____ Plumbing Fee _____ HVAC Fee _____ Adm. Fee _____ Other _____ Total _____	Bldg. # At top of form _____ Zoning # _____ Elec. # _____ Plmb. # _____ HVAC # _____	RECEIPT CK # _____ Amount \$ _____ Date _____ From _____ Rec By. _____	PERMIT EXPIRATION: Permit expires two years from date issued unless municipal ordinance is more restrictive. PERMIT ISSUED BY MUNICIPAL AGENT: Name _____ Date _____ Certification No. _____



- NOTES:
1. DOORS TO BE MADE FROM SAME MATERIAL AS SIDING
 2. ROOF 3 TAB BLACK OR GRAY SHINGLES NOT SHOWN
 3. SHED TO BE PAINTED
 4. WINDOW TO BE DIVIDED LIGHT
 5. FOUNDATION TO BE GRAVEL PAD WITH CONCRETE SUPPORT BLOCKS UNDER 4X4 RUNNERS
 6. TRIM NOT SHOWN

5-8' minimum
outside utility easement



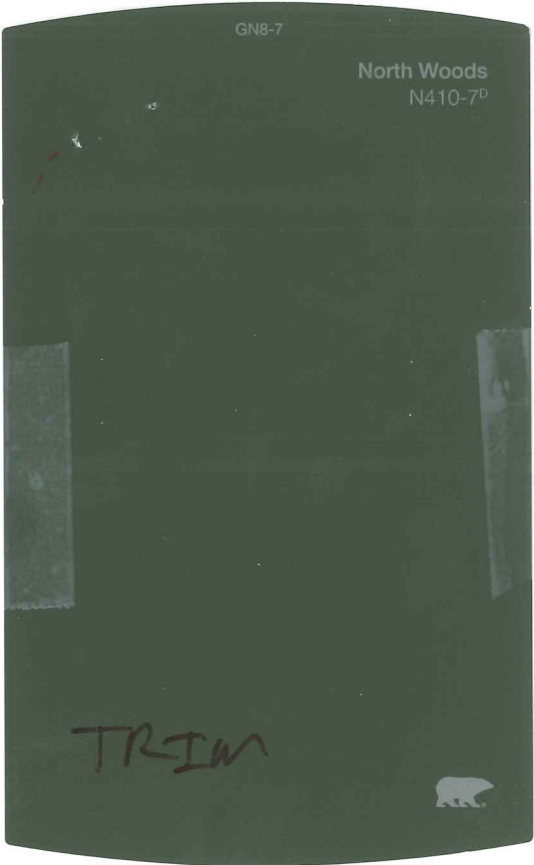
LAUREL DRIVE

60' R.O.W. ASPHALT SURFACE

OF WISCONSIN } SS.
OF WAUKESHA

KE & JAHNKE ASSOCIATES INC., DO HEREBY CERTIFY THAT WE HAVE
IS SURVEY AND THAT THE INFORMATION AS SHOWN ON THE ABOUT
SURVEY IS TRUE AND CORRECT

[Signature]
DATE: 11/11/11





**GATTONI
610 LAUREL DR
BACKYARD SHED**

To: Thiensville Plan Commission	Prepared by: Andy LaFond, Director of Community Services
Date: April 15, 2025	
Applicant:	Steve and Susan Gattoni
Status of Applicant:	Owner
Location:	610 Laurel Drive
Existing Zoning:	R-1 Single Family Residential District
Requested Action:	Approval of Backyard Shed

Report:

The applicant proposes to install a backyard shed on the north east side of the parcel, 5-8 feet off the rear property line and 5 feet from the north property line. The shed will measure 10 feet by 15 feet for a total of 150 square feet and, at 12 feet, the shed will be right at the 12-foot height limit. The proposed shed will have two doors and two windows. The shed is wood construction with asphalt shingles. The shed will be painted Pure Earth (Tan) with North Woods (Green) trim

According to **Sections 17.0603. E.** of the zoning code, **Accessory structures, such as garden or utility sheds, shall be placed or erected in the rear yard provided, cannot exceed 150 square feet and shall not be closer than 5 feet to the principal structure, shall not exceed 12 feet in height and shall be located no closer than 3 feet to any property line; and all accessory structures shall occupy not more than 20% of the rear yard area. One detached accessory structure is allowed on a residential parcel.**

Staff Comments:

Staff's review indicates full compliance with the R-1 requirements that therefore approval is recommended subject to the following:

- The applicant secures a building permit prior to construction.
- The applicant consults with the Village Building Inspector to ensure the structure has a proper footing plan.

VILLAGE BOARD & PLAN COMMISSION RESOLUTION 2025-04
RECOMMENDING THE ADOPTION OF A PUBLIC PARTICIPATION PLAN
FOR THE UPDATE OF THE COMPREHENSIVE PLAN
VILLAGE OF THIENSVILLE, WISCONSIN

WHEREAS, the Village of Thiensville on November 24, 2008 adopted the Comprehensive Plan for the Village of Thiensville: 2035 under the authority of and procedures established by §66.1001(4), Wisconsin Statutes; and

WHEREAS, that Comprehensive Plan document advises both the regular Plan Commission review of the Comprehensive Plan, as well as the ability to respond to unique circumstances which arise in relation to the Comprehensive Plan which are distinct from the regular plan review process, and to enable the Village's consideration of potential amendments and updates where the Plan becomes irrelevant or contradictory to emerging policy or trends; and

WHEREAS, §66.1001(4)(a), Wisconsin Statutes, requires that the governing body of the local governmental unit adopt written procedures designed to foster public participation at every stage of the comprehensive plan preparation or update process, and that such written procedures shall provide for wide distribution of draft plan materials, an opportunity for the public to submit written comments on the plan materials, and a process for the governing body to respond to such comments; and

WHEREAS, the Village of Thiensville believes that meaningful public involvement in processes designed to consider and update its Comprehensive Plan is important to assure that the resulting Plan meets the wishes and expectations of the public; and

WHEREAS, the attached "Village of Thiensville Comprehensive Plan Amendment Public Participation Plan" includes procedures to foster public participation, ensure distribution of draft plan materials, provide opportunities for written comments on such materials, and provide mechanisms to respond to such comments for all future Comprehensive Plan amendments.; and

WHEREAS, at a duly noticed public meeting held on April 21, 2025, the Village of Thiensville Plan Commission adopted resolution 2025-04 recommending that the Thiensville Village Board adopt the attached "Village of Thiensville Comprehensive Plan Amendment Public Participation Plan" as its public participation procedures for updating the Village's Comprehensive Plan.

NOW, THEREFORE, BE IT RESOLVED that the Village Board of the Village of Thiensville hereby adopts the procedures included in the "Village of Thiensville Comprehensive Plan Amendment Public Participation Plan" as its public participation procedures for periodic amendments to the Village's Comprehensive Plan, meeting the requirements of §66.1001(4)(a), Wisconsin Statutes.

Adopted by Plan Commission this 15th day of April 2025.

Colleen Landisch-Hansen, Village Clerk

John Rosing, Plan Commission Chair

Approved by The Village Board this 21st day of April 2025.

Colleen Landisch-Hansen, Village Clerk

John Rosing, Village President

VILLAGE OF THIENSVILLE COMPREHENSIVE PLAN AMENDMENT PUBLIC PARTICIPATION PLAN

Section 1: Introduction

A key required component of Section 66.1001 of Wisconsin Statutes—the State’s comprehensive planning legislation—is actively involving community stakeholders as each local comprehensive plan is being developed, updated, or amended. Public participation helps to ensure that the resulting comprehensive plan accurately reflects the vision, goals, and values of citizens of the community.

Section 66.1001(4)(a) of Wisconsin Statutes requires the Village of Thiensville to adopt, by resolution, written procedures designed to foster public participation at every stage in the preparation or subsequent amendment of its comprehensive plan. The written procedures must provide for wide distribution of the comprehensive plan, an opportunity for the public to submit written comments on the plan, and provisions for local response to such comments. This document meets this statutory requirement. It serves to establish the procedures that will be used to consider and potentially adopt amendments to the Village’s Comprehensive Plan.

Once this public participation plan is adopted by the Village, it will continue to be valid, and it will apply to all amendments to the Village’s Comprehensive Plan that are proposed and considered in the future.

Section 2: Major Goals of Public Participation Strategy

- Provide opportunities for the public to participate in processes to consider and adopt amendments to the Village’s Comprehensive Plan.
- Adopt plan amendments that reflect the ideas, desires, and objectives of most residents and property owners.
- Meet both the letter and spirit of Wisconsin’s Comprehensive Plan legislation.
- Use the Village’s Plan Commission as a foundation for guiding the plan amendment process.
- Recognize that the goals expressed above must be balanced with the need to complete the comprehensive plan amendments within a reasonable timeframe.

Section 3: Selected Public Participation Techniques

The Village will, at a minimum, use the following techniques to obtain public input during the plan amendment process:

- Assure that all Plan Commission and Village Board meetings to consider and adopt amendments are open to the public and are noticed as required by State open meeting regulations.
- Provide an opportunity for public comment at each public meeting held on the plan amendment. Some meetings will be intended to encourage wide participation from the public. Other meetings are intended to be work sessions for the Plan Commission, Village Board, or some combination. The public comment period will be provided at either the beginning or end of each public meeting, or at one or more other parts of the meeting, at the discretion of the Plan Commission or Village Board. This will allow the Commission or Village Board to concentrate on completing tasks without interruption, while still allowing the public an opportunity to observe and comment.
- Hold at least one formal public hearing on the proposed comprehensive plan amendments and the adopting ordinance prior to adoption. All members of the public will have an opportunity to

present testimony and offer comments at the public hearing. The public hearing will be noticed and held per the requirements of Wisconsin Statutes, Section 66.1001.

Section 4: Opportunities for Comments/Responses on Draft Comprehensive Plan Amendments

The Village will have available copies of draft plan amendment materials on the Village website and at Village Hall during normal business hours. The Village will also provide the draft and final plan amendments to adjacent and overlapping governments and non-metallic mineral interests as required by statute, and to members of the participating public as requested. The Village may charge for public copies an amount equal to the costs of time and materials to produce such copies.

Public comments will be solicited and responded to at every stage of the plan amendment process. Written comments on the comprehensive plan amendments may also be delivered, mailed, or emailed to the Village Clerk. The Village will respond to written comments via telephone, email, mail, meeting, and/or through consideration of appropriate changes to the comprehensive plan, or to the proposed amendments to the comprehensive plan.

CHRIST ALONE 247 SOUTH MAIN STREET CHURCH AND SCHOOL EXPANSION PLAN COMMISSION CONSULTATION

To: Thiensville Plan Commission
Date: April 9, 2025

Prepared by: Meredith Perks, Village Planner

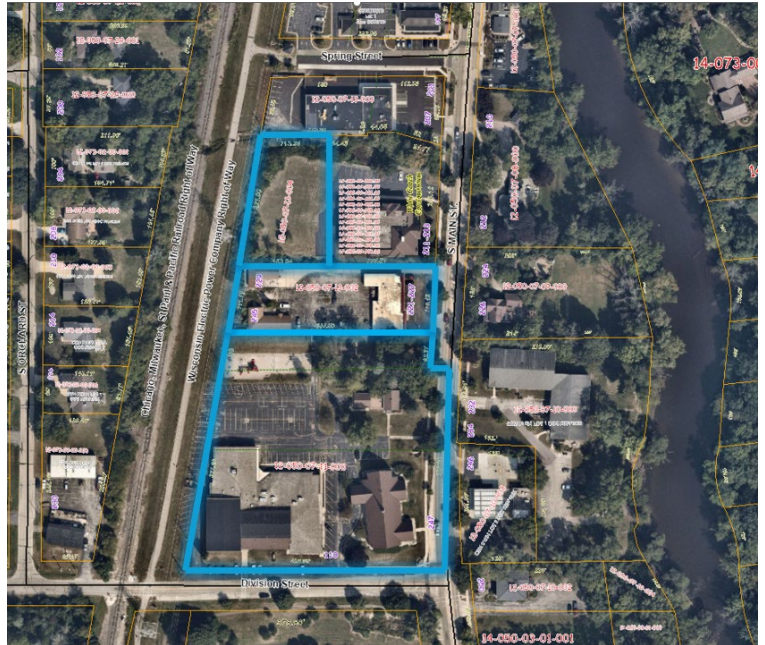
General Information

Applicant:	Geoff Grossman, Christ Alone Evangelical Lutheran Church and School
Status of Applicant:	Parish Administrator
Location:	247 South Main Street
Requested Action:	Comprehensive Plan Amendment, Rezoning, CSM, Building and Site Plan Review
Existing Zoning:	I-1, B-4, PDO

Background Information:

The applicant is proposing an expansion of both the school and church buildings that will require numerous steps in the review and approval processes. The project will include a Certified Survey Map (CSM) to combine parcels, a Comprehensive Plan Amendment and rezoning to convert the new parcel to Institutional, building, site plan and sign plan review, and review by the Historic Preservation Commission. Some of these steps have notice waiting periods set by State Statutes that will impact the review timeline.

As stated in the Plan Commission Application narrative, the proposed plan will include the demolition of existing single story buildings on the current site. The primary improvements in the plan include a 27,750 sf addition to the existing school building on the west side of the site and a new 10,550 sf addition to the existing Church building for a new Fellowship Hall. The plan will also include expanding parking and drive lanes, a new access point on South Main Street, and a 750 sf garage on the north side of the site. New parking is also shown along Division Street on the south side of the school building.



The project will require the applicant to combine three parcels, owned by the applicant, into a single parcel via CSM. The parcels to be combined are currently zoned Institutional, Commercial, and R-5 Multiple-Family Residential. The

northern most parcel was previously under a PDO also attached to the White Coach Condominiums, however, the overlay on the subject parcel has expired under the terms of the PDO and reverted to its previous zoning designation.

Following approval of the CSM to combine the parcels, the Village will need to approve a rezoning of the parcel to Institutional (I-1), which will align with the church and school uses. According to State of Wisconsin consistency requirements, rezoning a property must align with the Planned Land Use identified in the Comprehensive Plan. According to the Planned Land Use Map in the Comprehensive Plan for the Village of Thiensville: 2035, the Planned Land Uses for the subject parcels are not consistent with the Institutional land use. Therefore, an amendment to the Comprehensive Plan is required prior to rezoning the property.

The applicant has submitted all necessary materials and the project will be reviewed for site plan, landscaping, architectural design, building materials, and sign plan compliance with the Village Zoning Code and Ordinances in addition to advancing the CSM, Comprehensive Plan Amendment, rezoning, and Historic Preservation processes.

Review Procedures and Timeline:

- **Comprehensive Plan Amendment:** Update to the Comprehensive Plan Planned Land Use Map
 - Requires a 30-day public hearing notice period prior to review and approval
 - Recommend holding a special Joint Meeting of the Plan Commission and Village Board to accomplish the Plan Commission review and recommendation and Village Board public hearing and approval in a single step
- **CSM Approval:** Plan Commission review and approval
- **Rezoning:** Update the Zoning Map to I-1 for the project property
 - Requires a 2-week public hearing notice period prior to review and approval
 - Plan Commission will review and recommend
 - Village Board will hold public hearing for review and approval
- **Building, Site Plan, Sign Plan Approval:** Plan Commission review and approval of proposed building, site plan, and sign plan to confirm compliance with Village Zoning Code.

	Process	Action	Body		Date
1	Comp Plan	Public Participation Plan Approval	PC		4/15
2	Building/Site Plan	Plan Commission Consultation (No Action)	PC		4/15
3	Comp Plan	Public Participation Plan Approval	VB		4/21
6	Historic Preservation	Review & Approval	HPC		5/6
4	Comp Plan	Plan Commission Recommendation	PC	Joint Meeting	5/19
5	Comp Plan	Public Hearing & Adoption	VB		5/19
7	CSM	Plan Commission Approval	PC		6/10
8	Rezoning	Plan Commission Review & Recommendation	PC		6/10
9	Building/Site Plan	Building/Site Plan: Plan Commission Review & Approval	PC		6/10
10	Rezoning	Public Hearing & Approval	VB		6/16

Process Color Code:

Comp Plan	Building and Site Plan Review
CSM	Historic Preservation
Rezoning	

PLAN COMMISSION APPLICATION

Submission Information:
 A complete application along with the appropriate fees shall be submitted by the deadline stated on the meeting schedule to the Village Clerk In order for an application to be considered complete, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. The applicant is responsible to pay planner charges after a first half hour of planner time. Owner, architect, builder or owner's representative must attend the Plan Commission meeting for action to be taken. Work cannot begin until Plan Commission approval and paid and approved building permit.

Property Address: Christ Alone - 247 S. Main St., 221-227 S. Main St., 229 S. Main St., 211 S. Main St., North Campus and 245 S. Main St.

12-050-07-11-000, 12-050-07-13-002,
 Tax Key # and 12-050-07-13-004

I-1, B-4, and PDO (lapsed)
 Current Zoning

Property Owner:

Geoff Grossman, Parish Administrator

Name Christ Alone Lutheran School
247 S. Main St. Thiensville, WI 53092

Address
(262) 242-4710

Phone
geoff_grossman@christalnewels.org

Email Address

Applicant: Same as Owner

Name

Address

Phone

Email Address

Project Description:

Please describe your project in detail. Include details about height and dimensions, color, materials used, and setbacks from the street and property lines. Provide any information that you believe will assist staff in reviewing and approving your request.

The project involves the demolition of existing single story buildings at the property to create a new campus plan for Christ Alone Lutheran School North Campus. The proposed plan includes a new 27,750 SF addition to the existing school building, a new 10,550 SF addition to the existing Church building, expanded parking and new drive lanes, and a new 750 SF maintenance garage. The setbacks are indicated on the attached site plan. All proposed new buildings will be single-story slab on grade structures. The height of the proposed school addition is 26'-8". The height of the proposed church addition is 32'-8". The height of the garage is 17'-4". The exterior materials for the school addition include brick veneer to match the existing school, precast wall panels, prefinished aluminum windows and doors, and prefinished metal roof coping. The exterior materials for the church addition include stone veneer to match the existing church, architectural precast accents, fiber cement siding to match the color of siding on the existing church, prefinished aluminum windows and doors, and prefinished metal roof coping. The garage will have fiber cement siding to match the church addition. The roof on the school will be EPDM. The roof on the church will be dimensional asphalt shingles on sloped roofs and EPDM on low-slope (flat) roofs. The roof on the garage will be dimensional asphalt shingles on the sloped roof to match the church addition. See attached Owner narrative for more information.


 Applicant Signature

3/20/2025
 Date

Planner Fee Schedule: The Village provides the first half hour of the Village Planner’s services. Any additional plan review time is billed at \$130.00/hr.

Application Checklist: *Two paper copies and an electronic copy with files in PDF format (plan size 11X17) must be submitted for all applicable items below for planner review and the Plan Commission packet.*

Submit scaled site plan with proposed location and setbacks with accurate dimensions indicating the property size, its relationship to surrounding properties, existing topography, key natural features and show the location of all existing and proposed:

A. Structures, showing all entrances	K. Dumpster location and screening
B. Driveways & street access	L. Location, color, message, dimensions and materials of all signs
C. Parking areas	M. Location, size and character of dedicated or private open space
D. Walkways	N. Location of sanitary sewer, storm sewer, water mains and services and storm water detention facilities
E. Existing landscaping	O. Floor plan of building or addition
F. Abutting public and private streets	
G. Public easements	
H. Surrounding land uses and zoning	
I. Retaining walls	
J. Decorative accessories	

Storm water management plan.

Completed building permit application (including two full size plan sets with state stamp for commercial and multi-family). N/A - Building Drawings are concept plans at this time. Not applying for Building Permit yet.

Grading plan showing existing and finished grades.

Professionally prepared landscape plan.

Lighting plan; photometric plan, type of fixtures, wattage and location and height of lighting structures.

Topographic data or pertinent grade elevations, if necessary, for proper remodeling of existing buildings showing finished exterior treatment.

Colored elevations of proposed buildings, structures and fencing, or of proposed remodeling of existing buildings, showing finished exterior treatment and a listing of building materials.

Is this property in Thiensville’s Historic District? Yes No

If yes, you must apply for a Certificate of Appropriateness with the Historic Preservation Commission. Complete the COA application. Attendance at HPC meeting is required.

**All Commercial and Multi-Family projects including any change of occupancy, change of use, or construction/alteration must be submitted to the Southern Ozaukee Fire Department for review, approval, and inspections.*

Village Staff Review

Application Complete. Items needed: _____

Submitted to Village Planner on _____ Approved by planner on _____

Historic Preservation Approval (if needed) on _____

Additional Remarks/Conditions:

Village Staff Signature

Date

ZONING & DEVELOPMENT APPLICATION

Submission Information:

In order for applications to be processed, all required information drawings, application signatures, and fees must be submitted at the time of application. The Zoning Administrator reserves the right to deny any application that is incomplete or that is not accompanied by the required documents and plans.

Project Name: _____ **Date:** _____

Submittal deadline for next Plan Commission meeting: _____

Property Address: _____

Tax Key #	Current Zoning	Proposed Zoning
-----------	----------------	-----------------

Property Owner:

Name

Address

Phone

Email Address

Applicant: Same as Owner

Name

Address

Phone

Email Address

If the applicant is not the owner of record, the applicant must submit a signed letter of authorization along with the application.

Project Description:

→ Current use of the site or tenant space: _____

→ Proposed use of site or tenant space: _____

→ Will there be any exterior changes to the building, site, or signage? Yes No

If yes, a Planning Commission application form and existing and proposed exterior elevations shall be submitted to the Community Services Department for approval. Some projects may be approved at the staff level while others may require Plan Commission approval.

Describe in detail the proposed activities to be conducted or the proposed construction at the subject property, and any accessory activities to be conducted:

Applicant and Owner hereby certify that they have read and understand all the information in this form.

 Applicant Signature 

 Owner Signature

 Date

 Date

Application Checklist (Review Submittal Required):

- Two paper copies and an electronic copy with files in PDF format
- Owners' statement
- Related exhibits (See Plan Commission checklist)
- Application and fees due 14 days prior to Plan Commission meeting for small projects; 30 days for large projects

Parcel 12-050-07-13-004 is in the Historic District

Is this property in Thiensville's Historic District? Yes No

If yes, you must apply for a Certificate of Appropriateness with the Historic Preservation Commission.

VILLAGE OF THIENSVILLE DEVELOPMENT APPLICATION FEE SCHEDULE

TYPE OF REQUEST	BASE FEE	✓	Receipt
Pre-Application – Phone Consultation	\$25.00		
Pre-Application Conference/ Conceptual approval before Plan Commission	\$350.00		
Rezoning Requests*/Parcel Splitting	\$1,000.00 plus consultant rate for time over 6 hours		
SITE PLAN REVIEW			
Minor Requests (no construction)	\$350.00 plus consultant rate for time over 6 hours		
Minor Site Plan Request			
Zoning Code Research/Review			
BSOP Construction (<10,000sf)	\$350.00 plus consultant rate for time over 6 hours		
BSOP Construction (10,000sf – 50,000sf)	\$1,050.00 plus consultant rate for time over 6 hours		
Certified Survey Map	\$525.00 plus consultant rate for time over 3 hours		
Amendment to the Zoning Ordinance (Map or Text)*	\$1,050.00 plus consultant rate for time over 6 hours		
Planned Unit Development Overlay*	\$2,000.00 plus consultant rate for time over 8 hours		
Request for Variance*	\$350.00 plus consultant & legal rates for time over 6 hours		
Conditional Use Permit*	\$750.00 plus consultant rate for time over 4 hours and cost of the public hearing notice		
Special Exception Request	\$350.00 plus consultant & legal rates for time over 6 hours		
Certificate of Appropriateness – Historic Preservation, Residential or Commercial Historic Preservation District	No Charge		
Plan Commission Review (Residential)	No Charge		

DATE: _____

TOTAL FEE(S): _____

*Public Hearing required. The costs of Mailing/Delivering and Publication of Notice, Drafting of Ordinance/Resolution to be billed separately by Village Clerk’s Office.

The Village will invoice monthly with deposits refunded (if applicable) upon payment of all invoices. Until ALL application fees and the cost of additional review time is paid in full, no rezoning ordinance will take effect, no Plat nor Certified Survey Map will be released for recording, no building permit will be issued nor will any deposits be refunded

CHRIST ALONE EVANGELICAL LUTHERAN CHURCH
247 S. MAIN STREET
THIENSVILLE, WI 53092

March 20, 2025

Village of Thiensville Plan Commission
250 Elm St.
Thiensville, WI 53092

RE: Rezoning and Expansion of Christ Alone Evangelical Church and School – North Campus
247 S. Main St., 221-227 S. Main St., 229 S. Main St., 245 S. Main St., and 211 S. Main St.

Dear Plan Commissioners:

Enclosed please find the following in support of our application for rezoning and expansion of Christ Alone Evangelical Lutheran Church and School located at 247 S. Main Street:

- Site Plan (including expansion to 221-227 S. Main St., 229 S. Main St., 245 S. Main St. and 211 S. Main St.);
- Building elevations;
- Floor plans;
- Conceptual Renderings / Material Visuals
- Landscape plan;
- Signage elevations;
- Photometric/dispersion plan;
- Lighting cut-sheets;
- Preliminary civil engineering;
- Certified Survey Map;
- Rezoning exhibit

Zoning: The 4.902 acre site is currently zoned I-1, B-4 and PDO. We are requesting that the entire site be zoned I-1. We also request removal of the northerly parcel at 211 S. Main Street from an existing PDO.

Building Uses: Church, school (and general office uses associated therewith) and accessory garage/maintenance building.

Building Size, Floor Area Ratio:

Building Footprint SF	FAR
78,220	36.6%

Building and Parking Setbacks and Offsets: As set forth in the tables at the end of this document.

Project and Architecture: The project involves the demolition of existing single-story buildings at the property to create a new campus plan for Christ Alone Evangelical Lutheran Church North Campus. The proposed plan includes a new 27,750 SF addition to the existing school building, a new 10,550 SF addition to the existing Church building, expanded parking and new drive lanes, and a new 750 SF maintenance garage. The setbacks are indicated on the attached site plan. All proposed new buildings will be single-story slab on grade structures. The height of the proposed school addition is 26'-8". The height of the proposed church addition is 32'-8." The height of the garage is 17'-4". The exterior materials for the school addition include brick veneer to match the existing school, precast wall panels, prefinished aluminum windows and doors, and prefinished metal roof coping. The exterior materials for the church addition include stone veneer to match the existing church, architectural precast accents, fiber cement siding to match the color of siding on the existing church, prefinished aluminum windows and doors, and prefinished metal roof coping. The garage will have fiber cement siding to match the church addition. The roof on the school will be EPDM. The roof on the church will be dimensional asphalt shingles on sloped roofs and EPDM on low-slope (flat) roofs. The roof on the garage will be dimensional asphalt shingles on the sloped roof to match the church addition.

The maintenance garage building is included in building footprint and FAR calculations above.

Parking & Access: We are proposing a total of 198 parking spaces, including 6 ADA stalls, while the existing site, which includes all three current properties, has 145 stalls for an increase of 53 total stalls. The proposed property use includes a church and school which will have offsetting peak uses. As such, the required parking count has been defined as the largest of the two uses at 1 space per 3 church seats, or 117 spaces. Parking areas will be accessible from both Main Street and Division Street, with internal drive aisle. Pavement will be striped with pedestrian walkways along accessible routes and the building. Expansion of existing permission from the utility company for parking stalls located in the right-of-way along the western property line is in progress.

Landscaping: A preliminary landscaping plan is enclosed. Based on recommendations from the Police Department, the intent is to minimize foliage and landscape screening for safety and security reasons. We are proposing approximately 22.6% open space. We are requesting approval for a minimum of 8.8% of the parking lot to be landscaped with islands as shown on the enclosed plans and approval for parking lot shading as shown on the enclosed plans. The landscaping plan is designed to avoid interference with pedestrian sight lines and minimize maintenance and snow removal costs for parking areas that are primarily utilized on Sunday mornings.

Signage: We are requesting approval to relocate the existing monument sign to the location shown on the enclosed site plan adjacent to the main drive lane. Additionally, we request approval for 2 wayfinding and directional signage within the paved areas as shown on the enclosed plans and depicted in the enclosed renderings.

Building and Site Lighting: The site will be illuminated with 16, sixteen foot (16') high, cut-off type light fixtures on poles with concrete bases (total combined height of poles and bases not to exceed 18.5'). 16 poles are new, 0 are existing. In addition, 15 new and 8 existing LED cylinder pendant downlights, 17 new and 8 existing LED wall sconces, and 15 LED linear adjustable canopy lights will be installed on the building along with landscape lighting in conformance with Village code. A dispersion plan and lighting fixture specifications are enclosed.

Refuse: Existing garbage and refuse containers shall be screened from view from streets and adjacent sites by an existing trash enclosure located on the west side of the existing site.

Historic District: We are pursuing approvals from the Historic Preservation Commission with respect to the maintenance garage building.

Water: The project is served by municipal water connected to the public water main in Main Street. We are proposing to abandon two (2) existing wells and well building located on the northerly portion of the site.

Sanitary: The project is served by municipal sewer by connecting to the public sanitary sewer located along the west side of Main Street.

Utilities: Utilities shall be primarily underground. Any above ground facilities (such as transformers or pedestals) shall be appropriately screened.

Certified Survey Map: We request approval of the enclosed Certified Survey Map to combine the parcels.

Operational Information: Hours of operation will be consistent with typical operations of religious and school uses, with peak Church attendance occurring on Sunday mornings.

Stormwater Management: The proposed site will require stormwater management with the increased impervious areas associated with the site. Stormwater management requirements will be met by the addition of an underground stormwater management device. The device will manage runoff for both water quality and quantity control. Ultimately, discharge will be reduced to meet local, WDNR, and MMSD requirements, and will discharge to the storm sewer within Main Street, meeting existing conditions.

Departures from Code: We are requesting approval for certain departures from code as follows:

	Proposed	Standards per Ordinance (I-1)
Building Offset Street:	25.6 ft (Division Street Existing Bldg) 19.2 ft (Main Street, Existing Bldg) 20.5 ft (Main Street, Proposed Bldg)	40 feet (Division Street) 32 feet (Main Street, 20% reduction per 17.0605)

Additional Information:

	Proposed	Standards per Ordinance (I-1)
Lot Area:	213,518 sf	15,000 sf (minimum)
Lot Width:	505+/- lf	100 lf (minimum)
Building Height:	32 feet 7 inches	35 feet (maximum)
Open Space:	48,198 sf (22.6%)	
Building Offset Side Yard:	15 feet	15 feet

We are looking forward to working with the Village on this expansion project. Should you have any questions, please call me at 262.242.4710. Thank you.

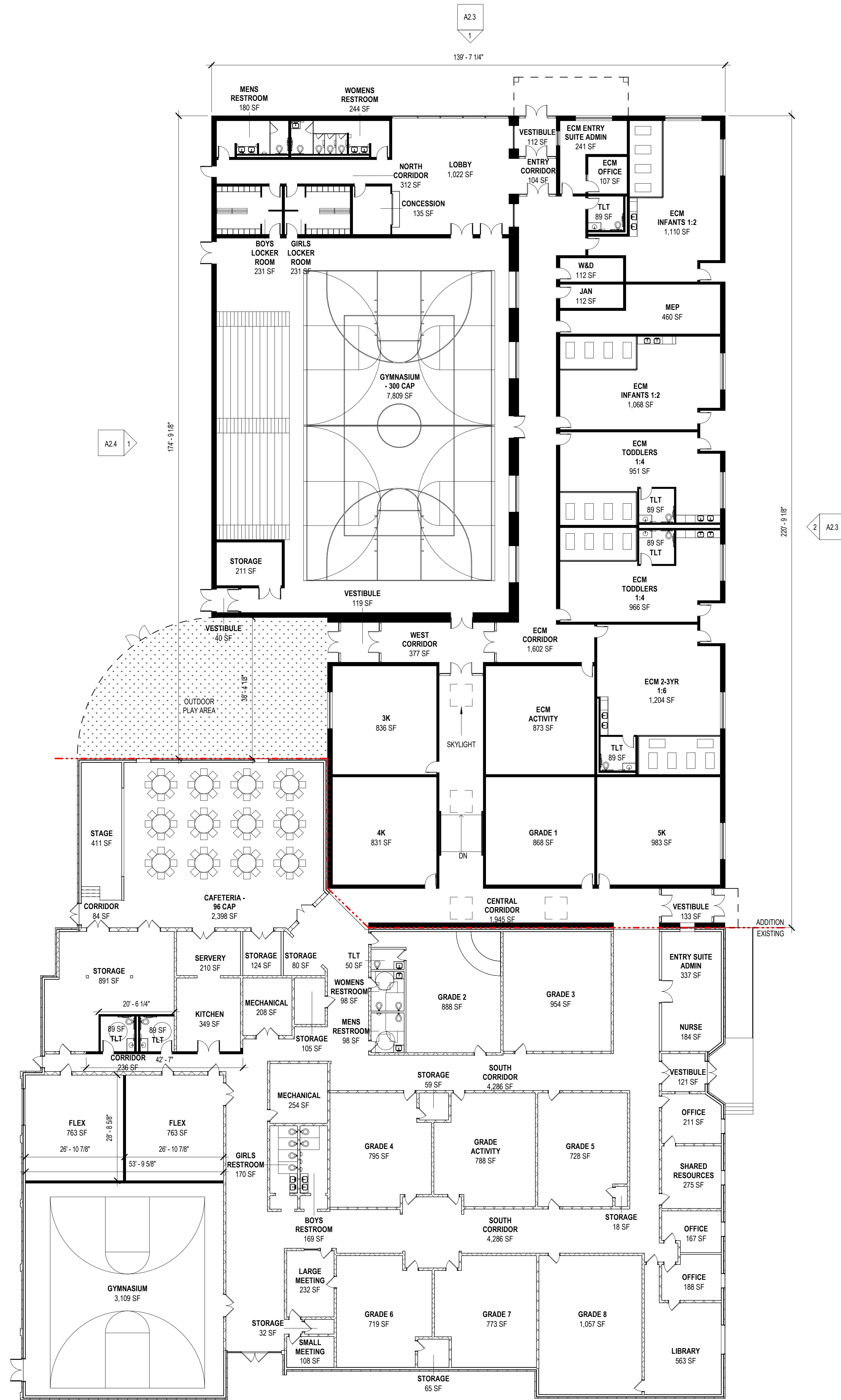
Sincerely,

CHRIST ALONE EVANGELICAL LUTHERAN CHURCH

/s/

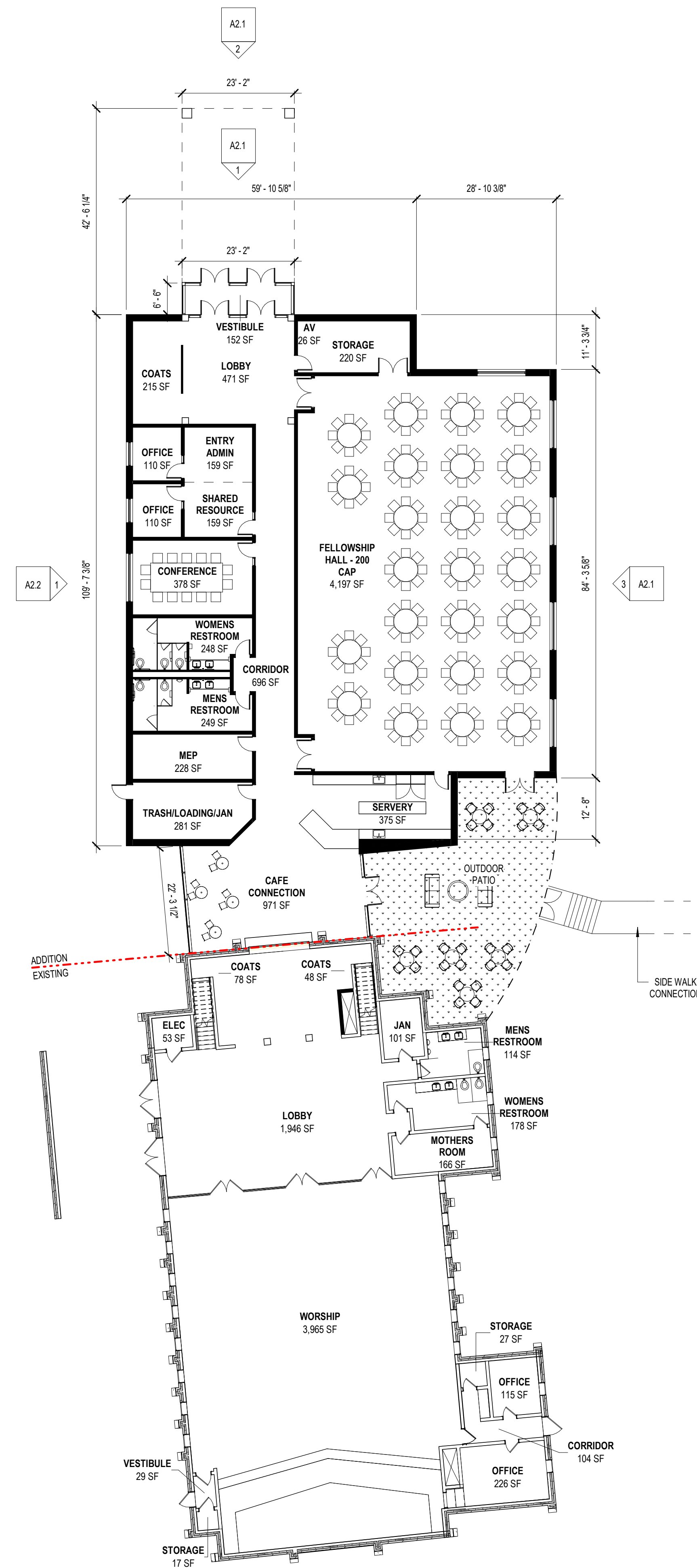
Geoff Grossman
Parish Administrator

Enclosures



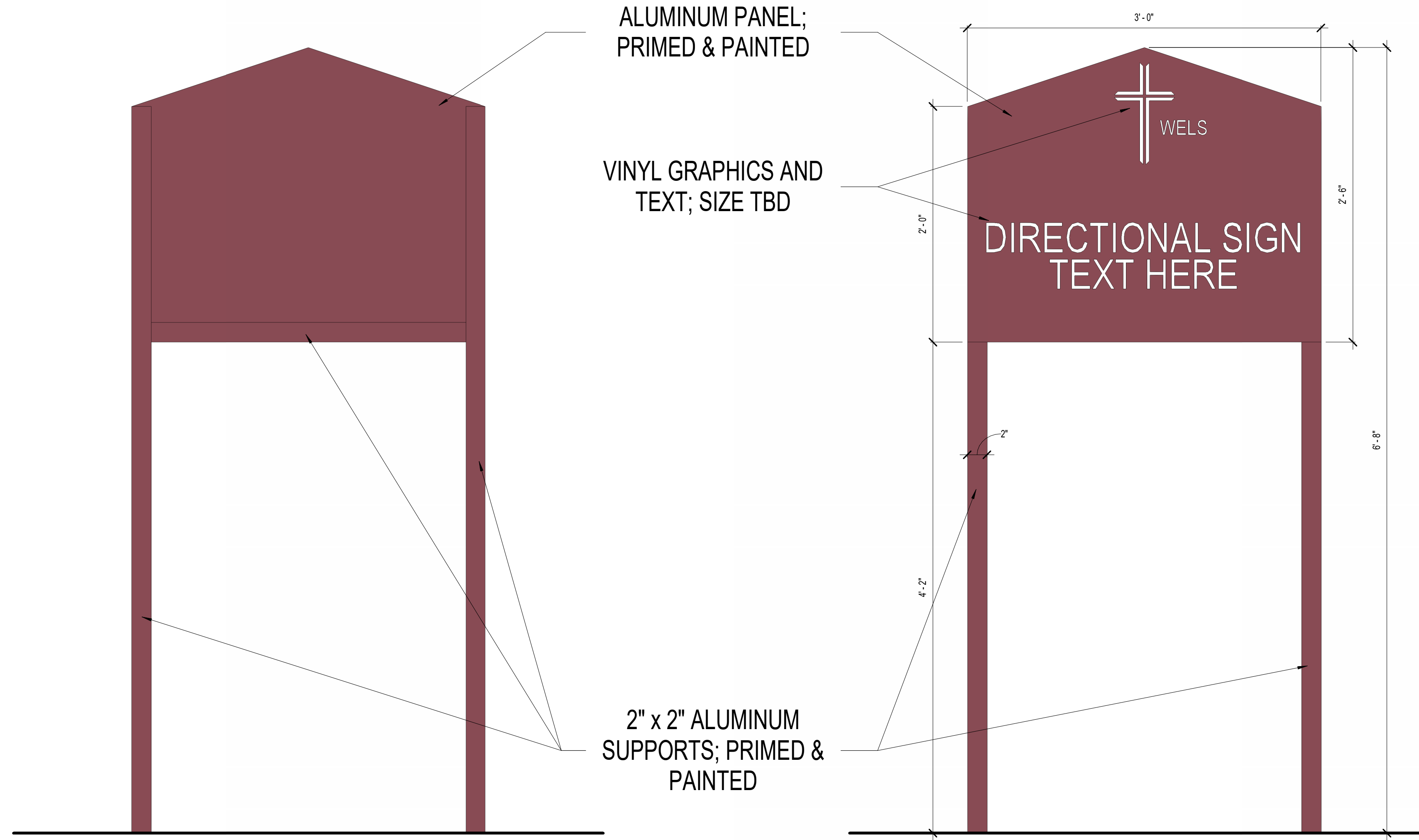
COMPLETE ADDITION
54,420 GSF

PRELIMINARY



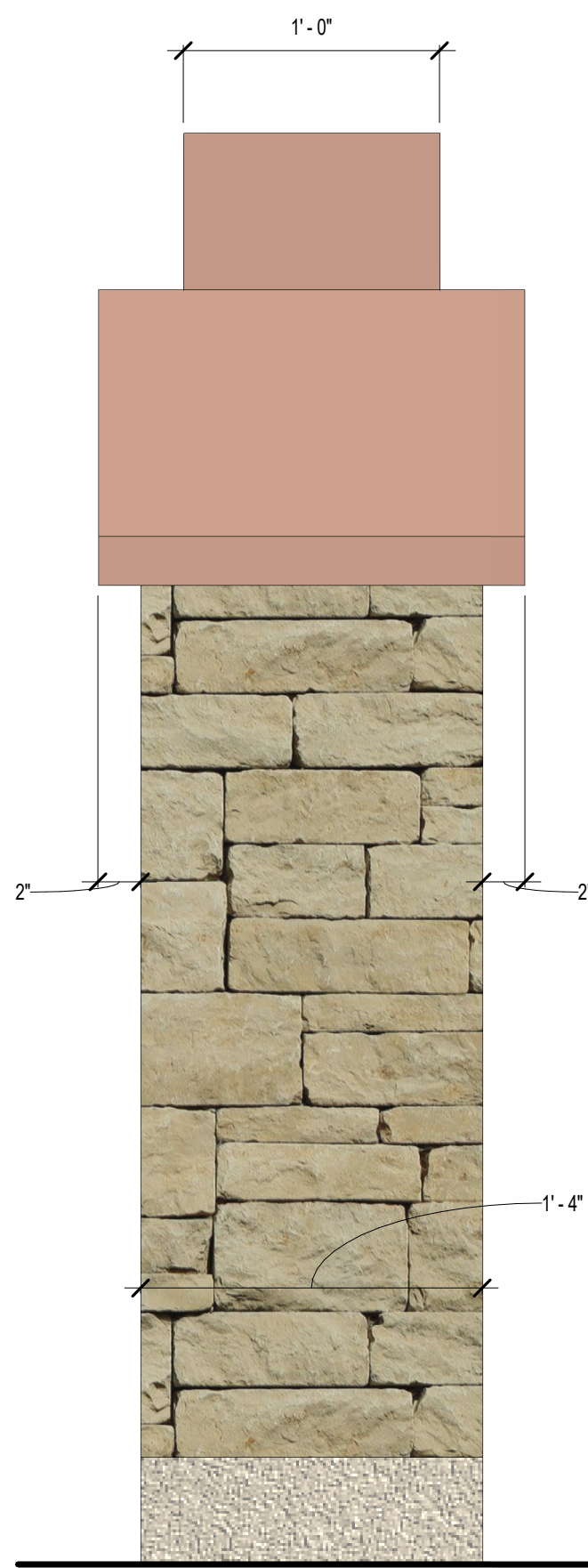
COMPLETE ADDITION
23,050 GSF

PRELIMINARY

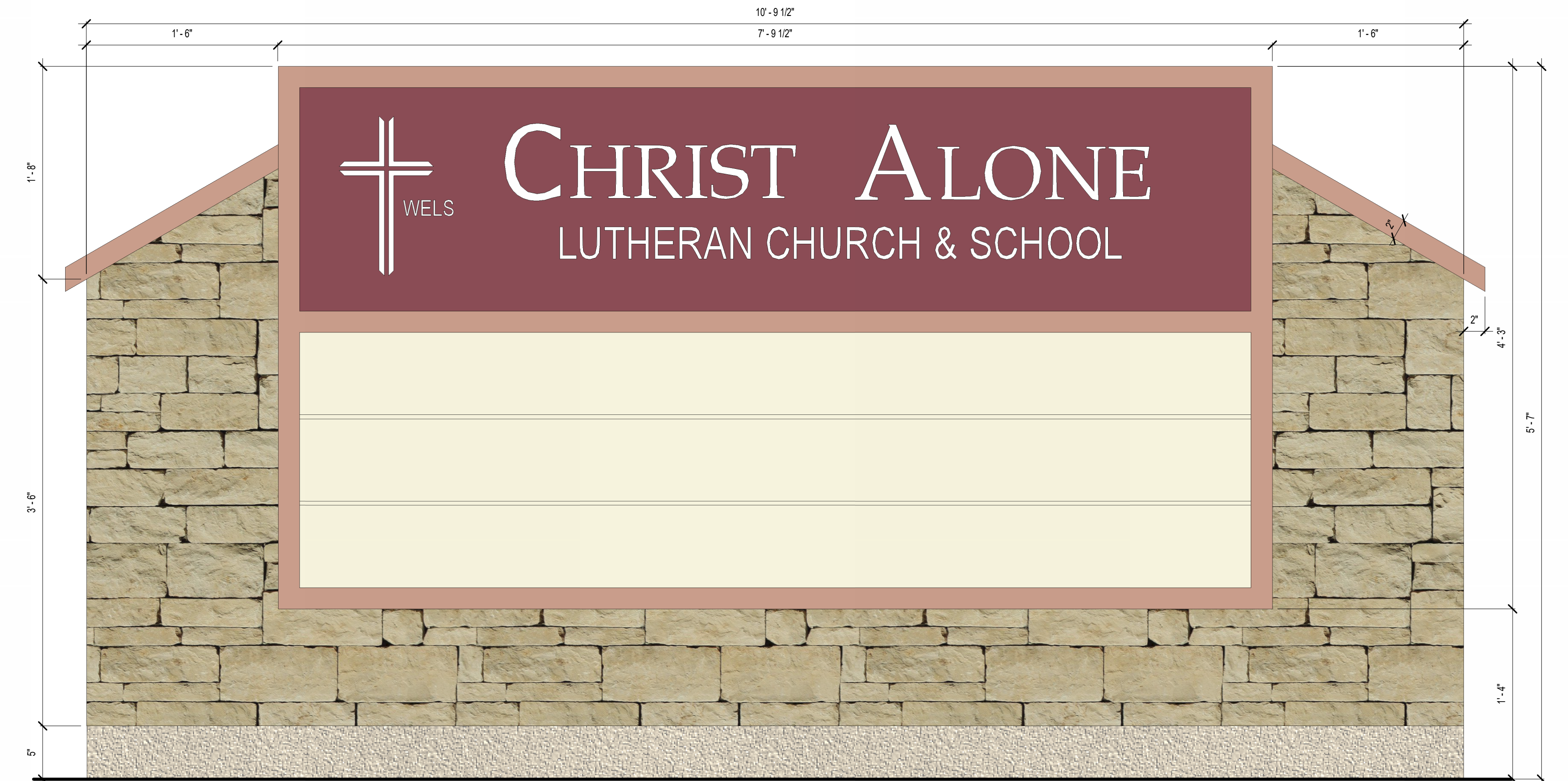


4 DIRECTIONAL SIGNAGE, TYP. - SIDE B
RS.3 SCALE: 1 1/2" = 1'-0"

3 DIRECTIONAL SIGNAGE, TYP. - SIDE A
RS.3 SCALE: 1 1/2" = 1'-0"



2 EXISTING MONUMENTAL SIGNAGE - SIDE ELEVATION
RS.3 SCALE: 1 1/2" = 1'-0"



1 EXISTING MONUMENTAL SIGNAGE - FRONT/BACK ELEVATION
RS.3 SCALE: 1 1/2" = 1'-0"

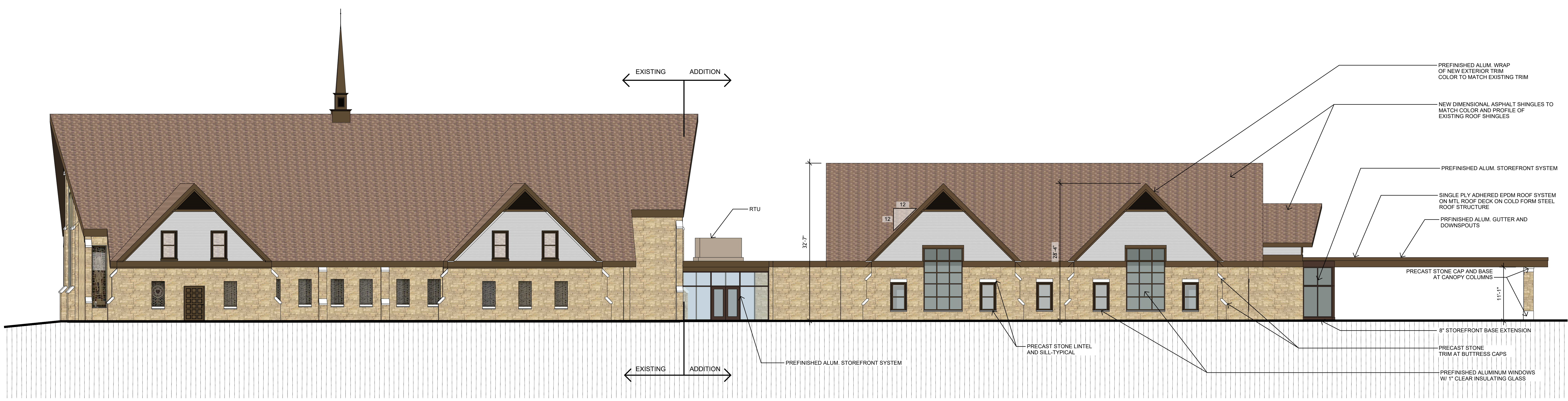
PRELIMINARY



1 NORTH ELEVATION W.O. CANOPY
A2.1 Scale: 1/8"=1'-0"

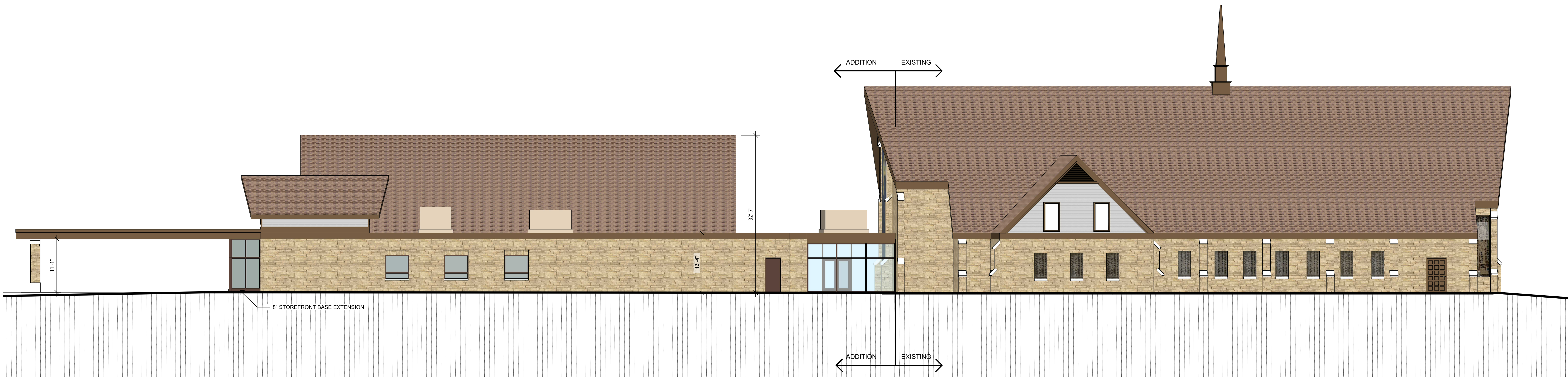


2 NORTH ELEVATION
A2.1 Scale: 1/8"=1'-0"



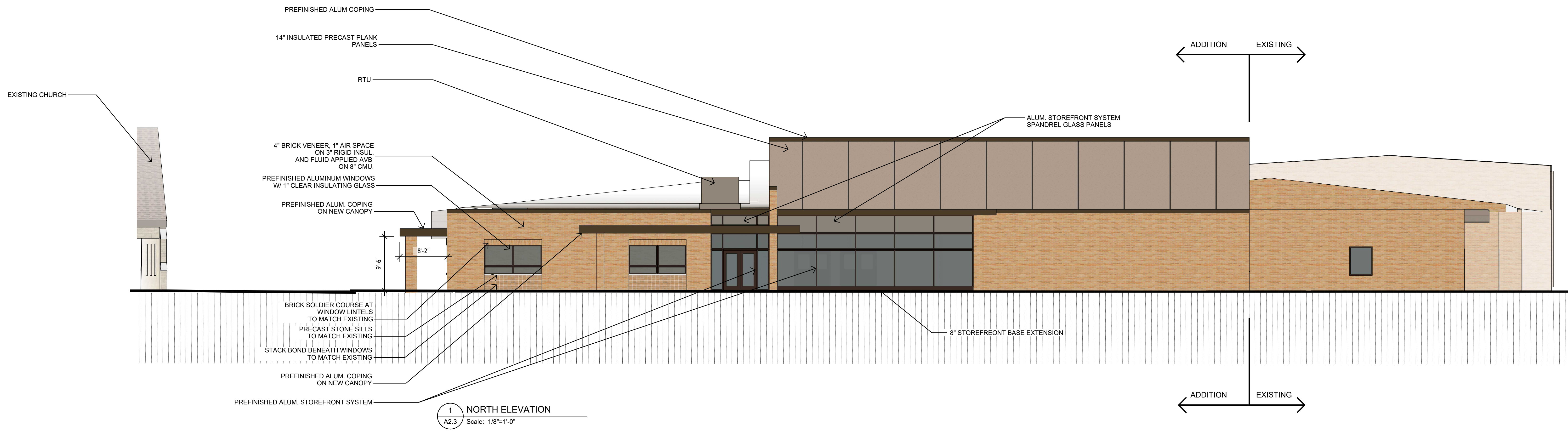
3 EAST ELEVATION
A2.1 Scale: 1/8"=1'-0"

PRELIMINARY

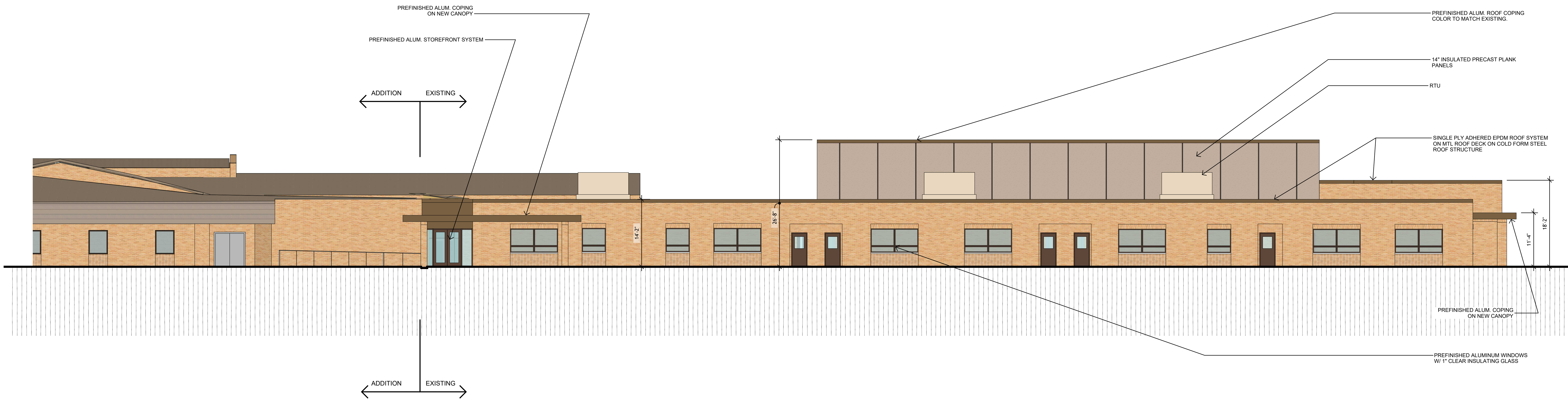


1 WEST ELEVATION
A2.2 Scale: 1/8"=1'-0"

PRELIMINARY

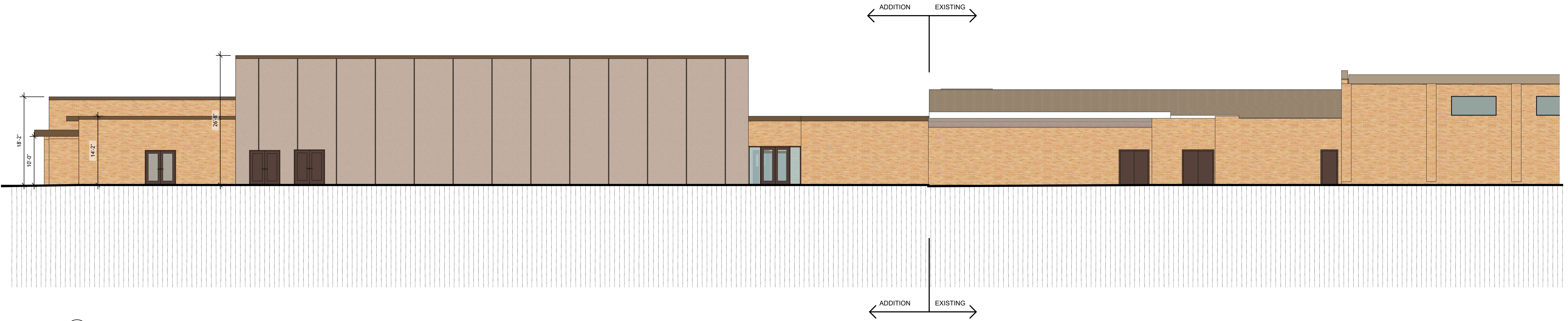


1 NORTH ELEVATION
A2.3 Scale: 1/8"=1'-0"



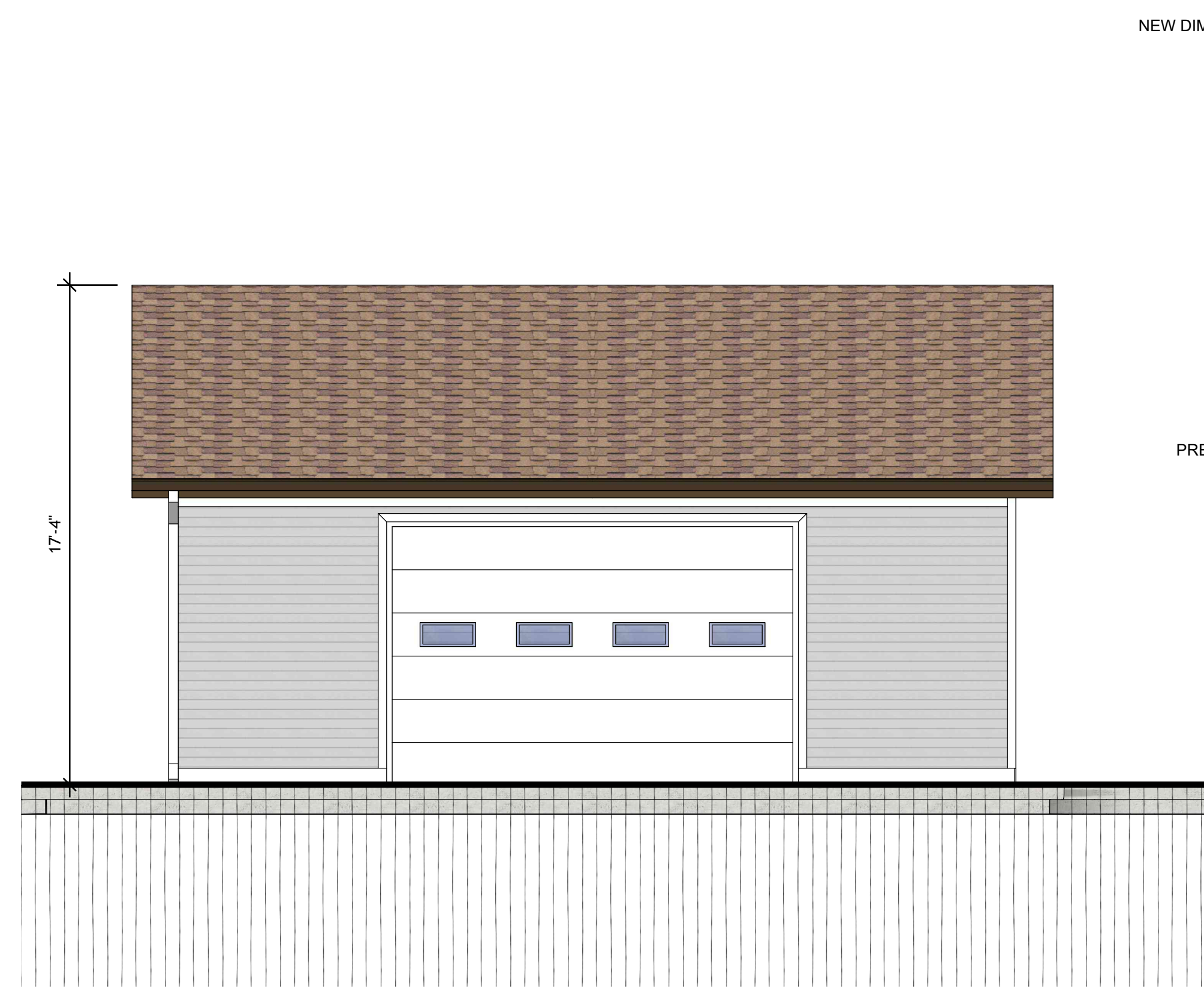
2 EAST ELEVATION
A2.3 Scale: 1/8"=1'-0"

PRELIMINARY

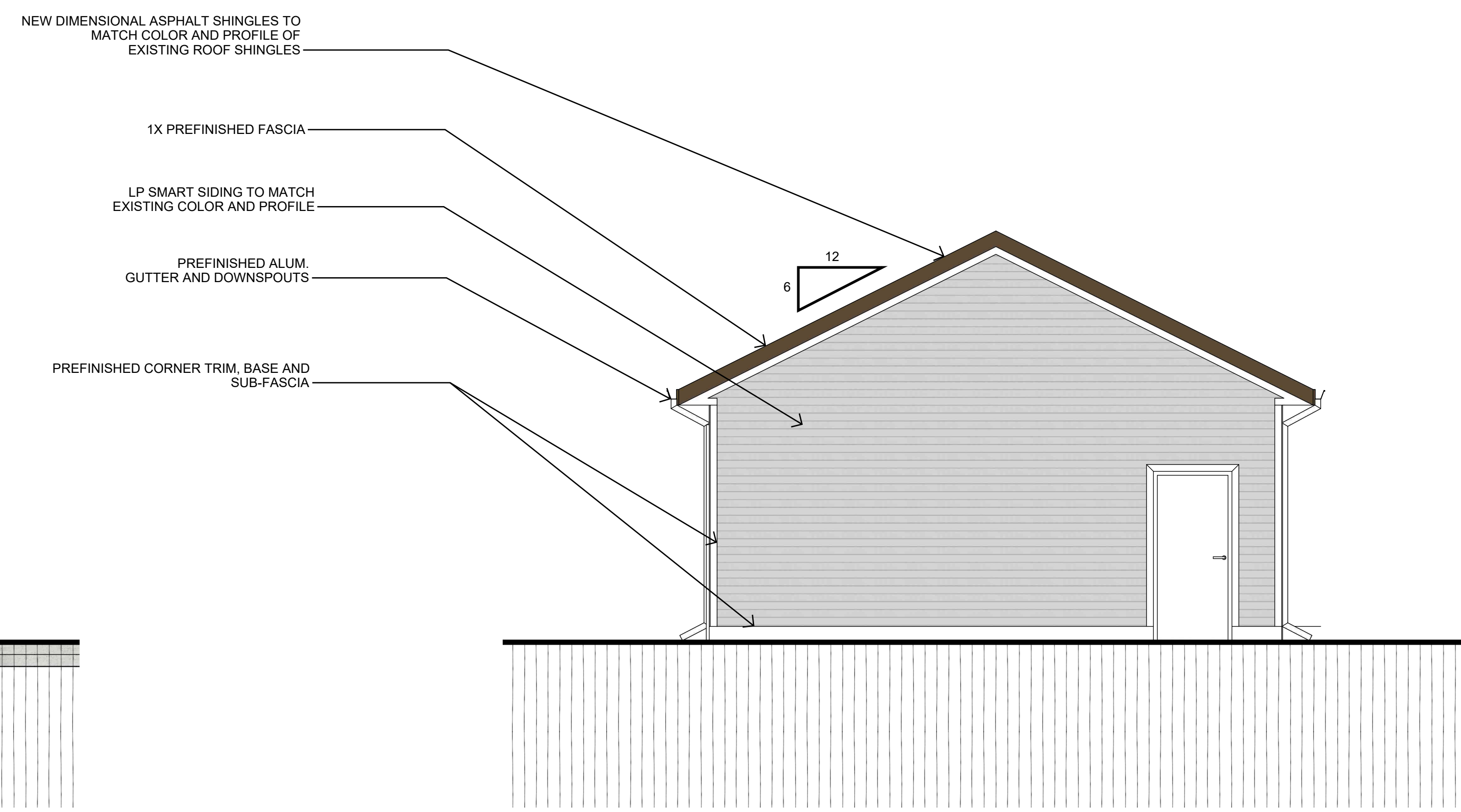


1 WEST ELEVATION
A2.4 Scale: 1/8"=1'-0"

PRELIMINARY



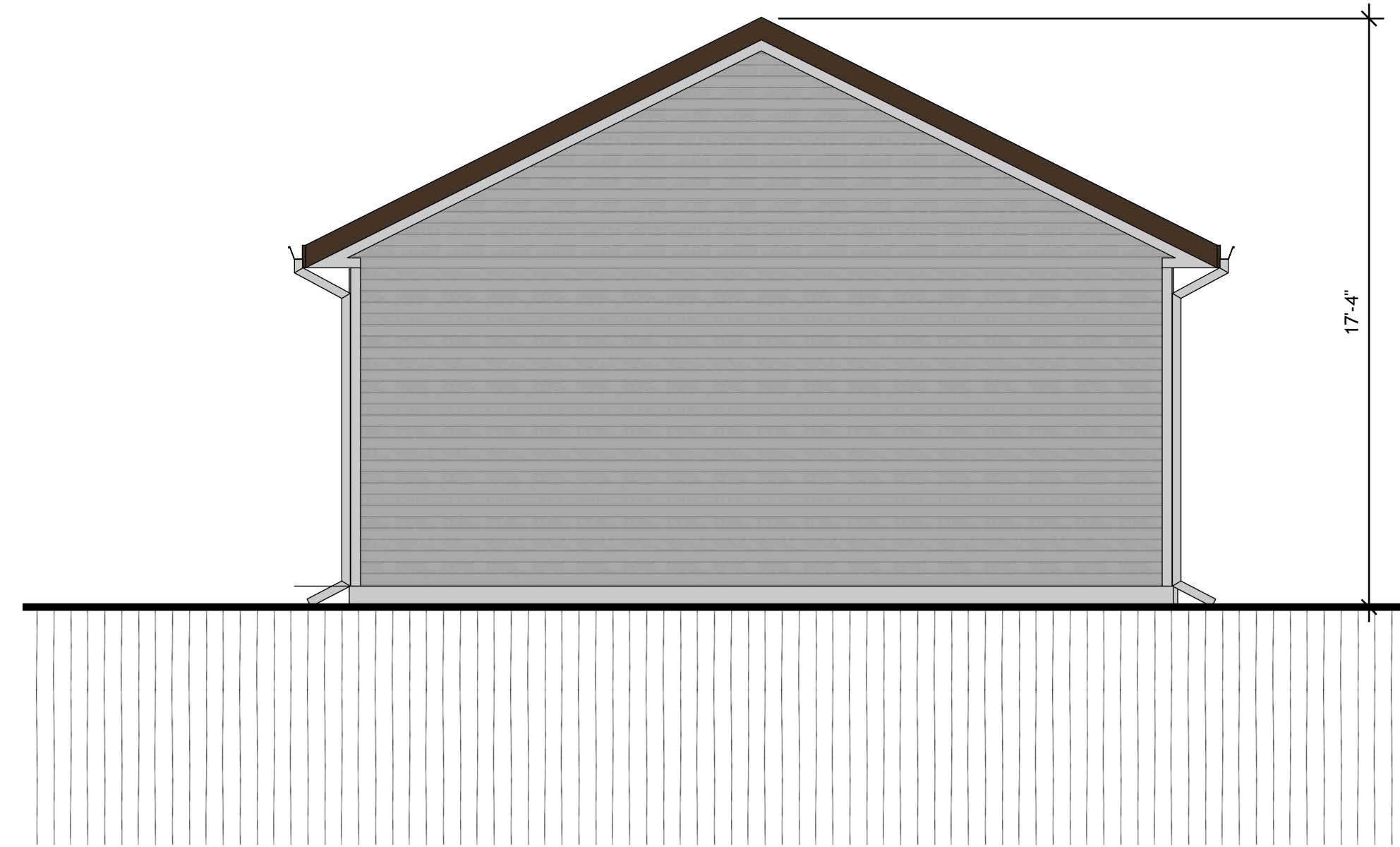
1 FRONT ELEVATION
A2.5 Scale: 1/4"=1'-0"



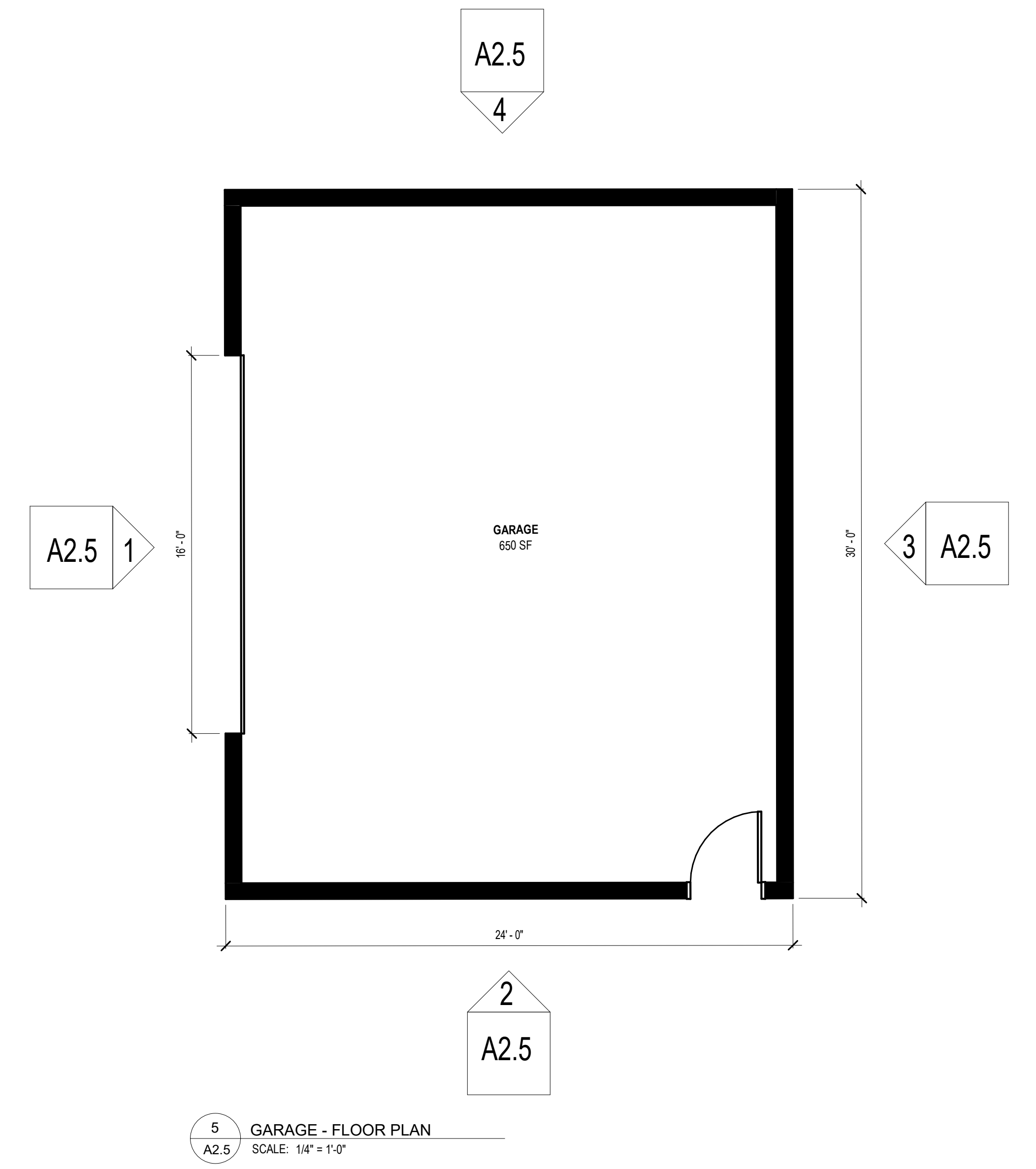
2 RIGHT SIDE ELEVATION
A2.5 Scale: 1/4"=1'-0"



3 REAR ELEVATION
A2.5 Scale: 1/4"=1'-0"



4 LEFT SIDE ELEVATION
A2.5 Scale: 1/4"=1'-0"



5 GARAGE - FLOOR PLAN
A2.5 SCALE: 1/4" = 1'-0"

PRELIMINARY



CHRIST ALONE – NORTH CAMPUS



VILLAGE OF THIENSVILLE
SUBMITTAL SUPPORTING
DOCUMENT 3-20-2025



EXISTING CONDITION PHOTOS



EXISTING CONDITIONS / PROPOSED ADDITION SITE(S)



PROPOSED ADDITIONS – CONCEPT RENDERING



PROPOSED ADDITIONS – CONCEPT RENDERING



PROPOSED ADDITIONS – CONCEPT RENDERING



PROPOSED ADDITIONS – CONCEPT RENDERING



PROPOSED ADDITIONS – CONCEPT RENDERING



PROPOSED ADDITIONS – CONCEPT RENDERING



WINDOW FRAMING and TRIM – Basis of Design / Matching Existing

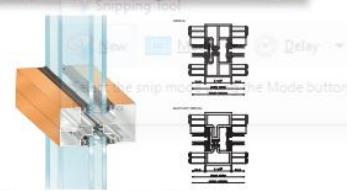
EFCO, Kawneer, and Manko storefront systems will be specified for competitive bidding. **Dark bronze anodized windows** will be specified for the building additions



SERIES 403I STOREFRONT FRAMING



Shear Block • Screw Spline
Series 403-I is a 2-1/4" X 4-1/2" thermally broken storefront framing system that utilizes EFCO's E-Strut™ thermal isolators. These thermal isolators provide outstanding thermal performance and allow dual finish capability. 403-I is compatible with Thermastile™ doors. This system is designed with two fabrication and erection options, providing even greater versatility.



STRUCTURAL LOAD (ASTM E330) VISIT EFCOCORP.COM	WATER RESISTANCE (ASTM E547 & E331) SCREW SPLINE 12 PSF
AIR INFILTRATION (ASTM E283) SCREW SPLINE 0.06 CFM/FT²	CRF (AAMA 1503) SCREW SPLINE 59
U-FACTOR* (ANSI/NFRC 100/200) SCREW SPLINE 0.35-0.55	OITC* (ASTM E90 & E413) N/A
STC* (ASTM E90 & E413) N/A	

STANDARD FEATURES

- E-Strut thermal isolator
- Screw spline construction
- Shear block construction
- 135° inside and outside corners
- Uniform glazing gasket is used for exterior and interior
- Door frame members use thermal struts as a thermal break
- Horizontal stacking members
- Various height intermediate horizontals and sills
- Accommodates up to 1-1/16" glazing
- Accessory options include subframe, pocket fillers, perimeter adaptors, etc.
- Anodized or painted finishes available

* Performance dependent on glass selection. Please contact your EFCO sales rep for project specific performance.

SLOPED ROOF – Basis of Design / Intent is to matching existing

GAF Timberline will be the basis of design for the new sloped (gable) roofs. Intent is to match the color of the existing Church roof(s).

Timberline® AS II



Compare

★★★★★ 4.8 (595)

Timberline® ArmorShield II Shingles are made with our proprietary SBS-modified asphalt formulation and pass UL's toughest impact-resistance test—UL 2218 Class 4.



Barkwood



Charcoal



Pewter Gray



Hickory



LP Smartside will be the basis of design for the new siding on the Church and Garage. Intent is to match the color of the existing Church siding.

NEW LP® SMARTSIDE® EXPERTFINISH® COLORS

With 16 versatile prefinished colors, our collection is designed to complement any home and remain durable for years to come.



Snowscape White

[EXPLORE SIDING IN COLOR >](#)

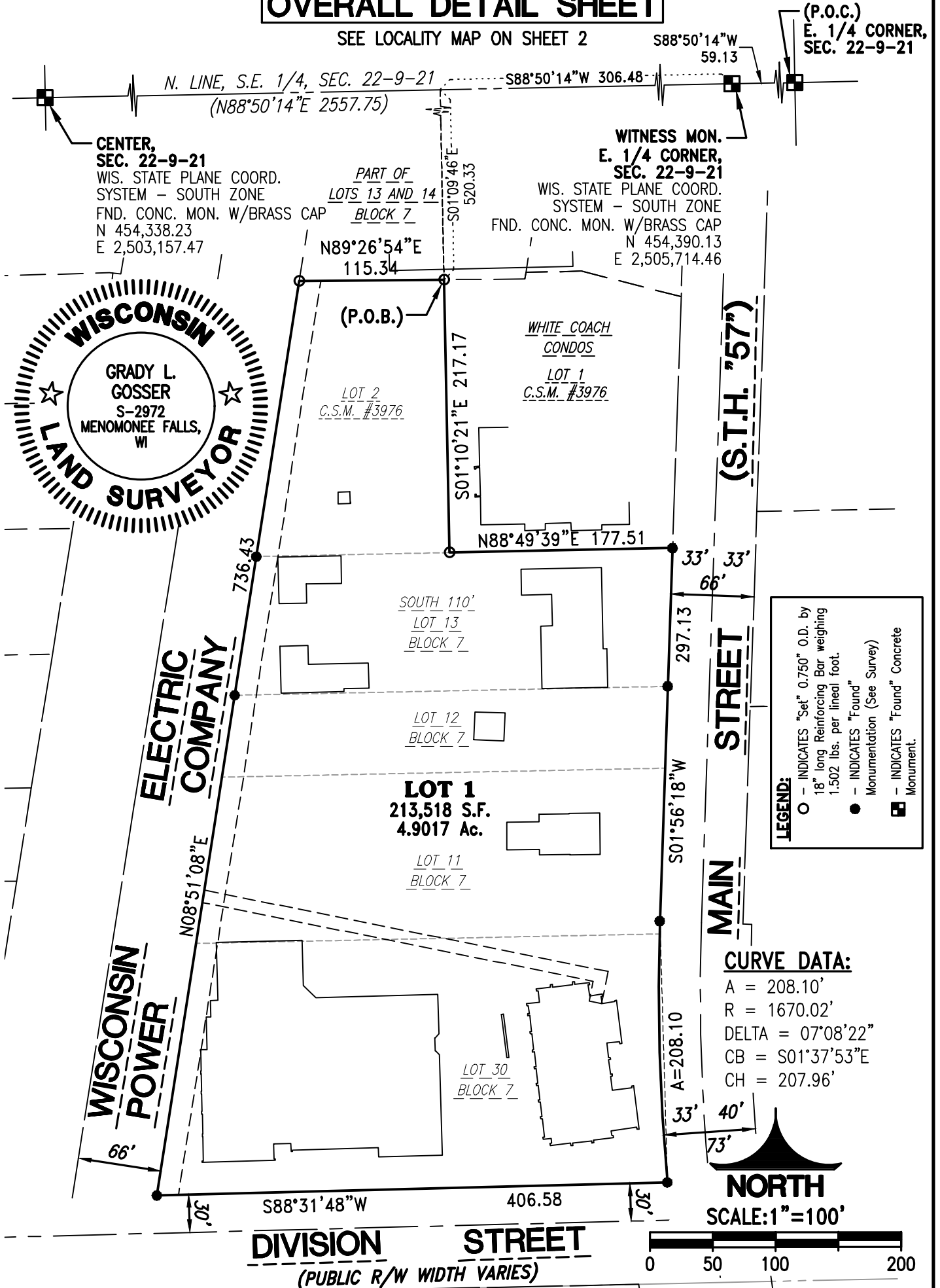


CERTIFIED SURVEY MAP NO. _____

BEING A CONSOLIDATION OF LOTS 11, 12 AND 30 AND THE SOUTH 110 FEET OF LOT 13, BLOCK 7, ASSESSOR'S PLAT, VILLAGE OF THIENSVILLE AND LOT 2 OF CERTIFIED SURVEY MAP NO. 3976, ALL IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWN 9 NORTH, RANGE 21 EAST, IN THE VILLAGE OF THIENSVILLE, OZAUKEE COUNTY, WISCONSIN.

OVERALL DETAIL SHEET

SEE LOCALITY MAP ON SHEET 2



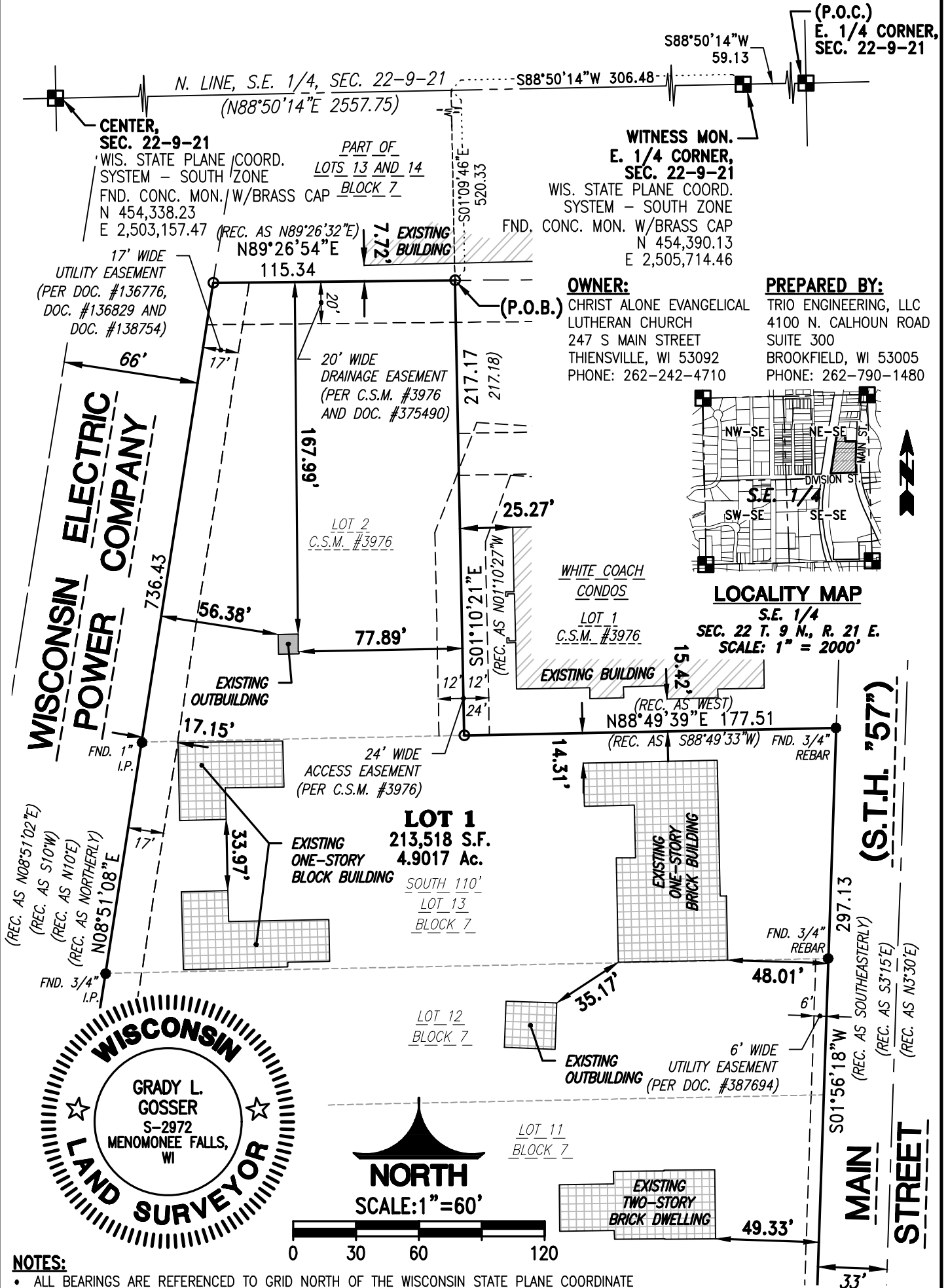
X:\2023\23-002-1092 Christ Alone NORTH Campus - Thiensville\Drawings\Survey\CSM\530CSM01.dwg

DRAFTED THIS 18TH DAY OF MARCH, 2025
 THIS INSTRUMENT WAS DRAFTED BY GRADY L. GOSSER, S-2972

JOB NO. 23-002-1092-01
 SHEET 1 OF 5

CERTIFIED SURVEY MAP NO. _____

BEING A CONSOLIDATION OF LOTS 11, 12 AND 30 AND THE SOUTH 110 FEET OF LOT 13, BLOCK 7, ASSESSOR'S PLAT, VILLAGE OF THIENSVILLE AND LOT 2 OF CERTIFIED SURVEY MAP NO. 3976, ALL IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWN 9 NORTH, RANGE 21 EAST, IN THE VILLAGE OF THIENSVILLE, OZAUKEE COUNTY, WISCONSIN.



NOTES:

- ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-83/2011), IN WHICH THE NORTH LINE OF THE S.E. 1/4 OF SECTION 22, TOWN 9 NORTH, RANGE 21 EAST, BEARS N88°50'14"E.

DRAFTED THIS 18TH DAY OF MARCH, 2025
 THIS INSTRUMENT WAS DRAFTED BY GRADY L. GOSSER, S-2972

JOB NO. 23-002-1092-01
 SHEET 2 OF 5

X:\2023\23-002-1092 Christ Alone NORTH Campus - Thiensville\Drawings\Survey\CSM\530CSM01.dwg

CERTIFIED SURVEY MAP NO. _____

BEING A CONSOLIDATION OF LOTS 11, 12 AND 30 AND THE SOUTH 110 FEET OF LOT 13, BLOCK 7, ASSESSOR'S PLAT, VILLAGE OF THIENSVILLE AND LOT 2 OF CERTIFIED SURVEY MAP NO. 3976, ALL IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWN 9 NORTH, RANGE 21 EAST, IN THE VILLAGE OF THIENSVILLE, OZAUKEE COUNTY, WISCONSIN.

CORPORATE OWNER'S CERTIFICATE:

Christ Alone Evangelical Lutheran Church, a Corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, does hereby certify that said Corporation has caused the land described on this map to be surveyed, divided and mapped as represented on this map in accordance with the provisions of Chapter 236 of the Wisconsin Statutes, and the Village of Thiensville Subdivision Regulations. I also certify that this Certified Survey Map is required to be submitted to the Village of Thiensville for approval.

Dated this _____ day of _____, 20____.

Geoff Grossman, Parish Administrator

STATE OF WISCONSIN)
) ss
COUNTY OF)

Personally came before me this _____ day of _____, 20____, Geoff Grossman, Parish Administrator of the above named Corporation, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Print Name: _____
Notary Public, _____ County, WI
My commission expires: _____

VILLAGE OF THIENSVILLE PLANNING COMMISSION APPROVAL:

This Certified Survey Map is hereby approved by the Planning Commission of the Village of Thiensville on this day of _____, 2025.

John R. Rosing, Chairman

Colleen Landisch-Hansen, Village Clerk

VILLAGE OF THIENSVILLE BOARD APPROVAL:

This Certified Survey Map, being a division of Lots 11, 12 and 30 and the South 110 feet of Lot 13, Block 7, Assessor's Plat, Village of Thiensville and Lot 2 of Certified Survey Map No. 3976, all in the Northeast 1/4 of the Southeast 1/4 of Section 22, Town 9 North, Range 21 East, in the Village of Thiensville, Ozaukee County, Wisconsin, having been approved by the Planning Commission being the same, is hereby approved by the Village of Thiensville on this _____ day of _____, 2025.

John R. Rosing, Village President

Colleen Landisch-Hansen, Village Clerk

REZONING EXHIBIT "A"

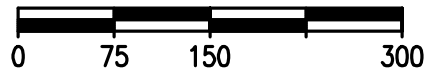
THE SOUTH 110 FEET OF LOT 13, BLOCK 7, ASSESSOR'S PLAT, VILLAGE OF THIENSVILLE AND LOT 2 OF CERTIFIED SURVEY MAP NO. 3976, ALL IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWN 9 NORTH, RANGE 21 EAST, IN THE VILLAGE OF THIENSVILLE, OZAUKEE COUNTY, WISCONSIN.



4100 N. Calhoun Road
Suite 300
Brookfield, WI 53005
Phone: (262) 790-1480
Fax: (262) 790-1481



SCALE: 1" = 150'



THIS EXHIBIT WAS PREPARED BY GRADY L. GOSSER, P.L.S. (S-2972)

DATE: 3/18/25

REZONING EXHIBIT "B"

LEGAL DESCRIPTION:

Being the South 110 feet of Lot 13, Block 7, Assessor's Plat, Village of Thiensville and Lot 2 of Certified Survey Map No. 3976, all in the Northeast 1/4 of the Southeast 1/4 of Section 22, Town 9 North, Range 21 East, in the Village of Thiensville, Ozaukee County, Wisconsin, now being more particularly bounded and described as follows:

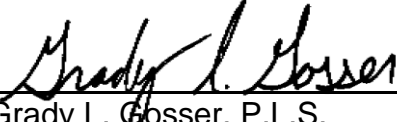
Commencing at the East 1/4 Corner of said Section 22; Thence South 88°50'14" West and along the North line of the said Southeast 1/4 of said Section 22, 59.13 feet to a Witness Monument marking the location and direction of the said North line; Continuing thence South 88°50'14" West and along the said North line, 306.48 feet to a point; Thence South 01°09'46" East along a tie line, 520.33 feet to a point on the North line of said Lot 2 of said Certified Survey Map No. 3976 and the place of beginning of lands hereinafter described;

Thence South 01°10'21" East and along the West line of Lot 1 of said Certified Survey Map No. 3976, 217.17 feet to a point; Thence North 88°49'39" East and along the South line of said Lot 1, 177.51 feet to a point on the West Right-of-Way line of "Main Street" (S.T.H. "57"); Thence South 01°56'18" West and along the said West Right-of-Way line, 110.16 feet to a point; Thence South 88°49'39" West, 344.92 feet to a point on the East line of a Wisconsin Electric Power Company Right-of-Way; Thence North 08°51'08" East and along the said East Right-of-Way line, 333.51 feet to a point on the said North line of said Lot 2; Thence North 89°26'54" East and along the said North line, 115.34 feet to the point of beginning of this description.

Said Parcel contains 66,534 Square Feet (or 1.5274 Acres) of land, more or less.

Date: 3/18/25




Grady L. Gosser, P.L.S.
Professional Land Surveyor S-2972
TRIO ENGINEERING, LLC
4100 N. Calhoun Road, Suite 300
Brookfield, WI 53045
Phone: (262)790-1480

CHRIST ALONE – NORTH CAMPUS

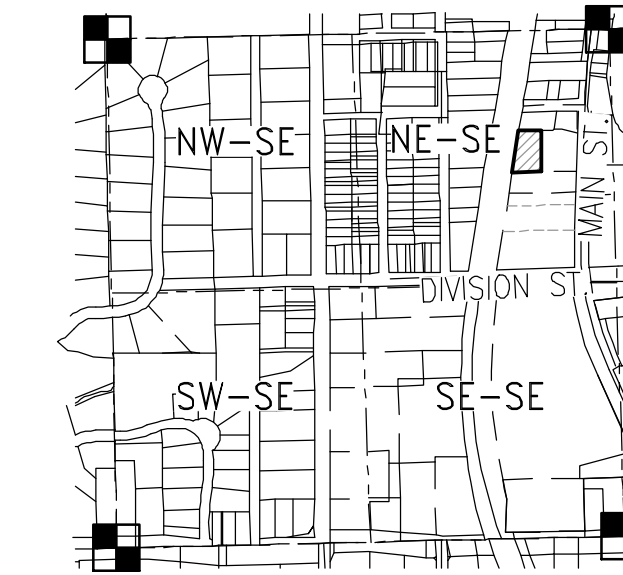
BUILDING ADDITION SITE DEVELOPMENT PLANS VILLAGE OF THIENSVILLE, WISCONSIN

GENERAL NOTES

- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
 - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
 - THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 - WDMR STORMWATER RUNOFF TECHNICAL STANDARDS.
 - WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 - VILLAGE OF MEQUON TECHNICAL STANDARDS.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS BY SWEEPING BEFORE THE END OF THE WORKING DAY OR AS REQUIRED BY THE VILLAGE OF THIENSVILLE.
- THE CONTRACTOR MUST AND IS REQUIRED TO NOTIFY THE VILLAGE OF THIENSVILLE SEWER AND WATER UTILITY A MINIMUM OF 48 HOURS IN ADVANCE OF WATER MAIN FILLING, WATER MAIN FLUSHING, WATER MAIN TESTING AND WATER MAIN CONNECTIONS. NO CONNECTION SHALL BE MADE TO THE EXISTING WATER SYSTEM UNTIL SAFE SAMPLES FROM THE NEW MAIN HAVE BEEN OBTAINED.

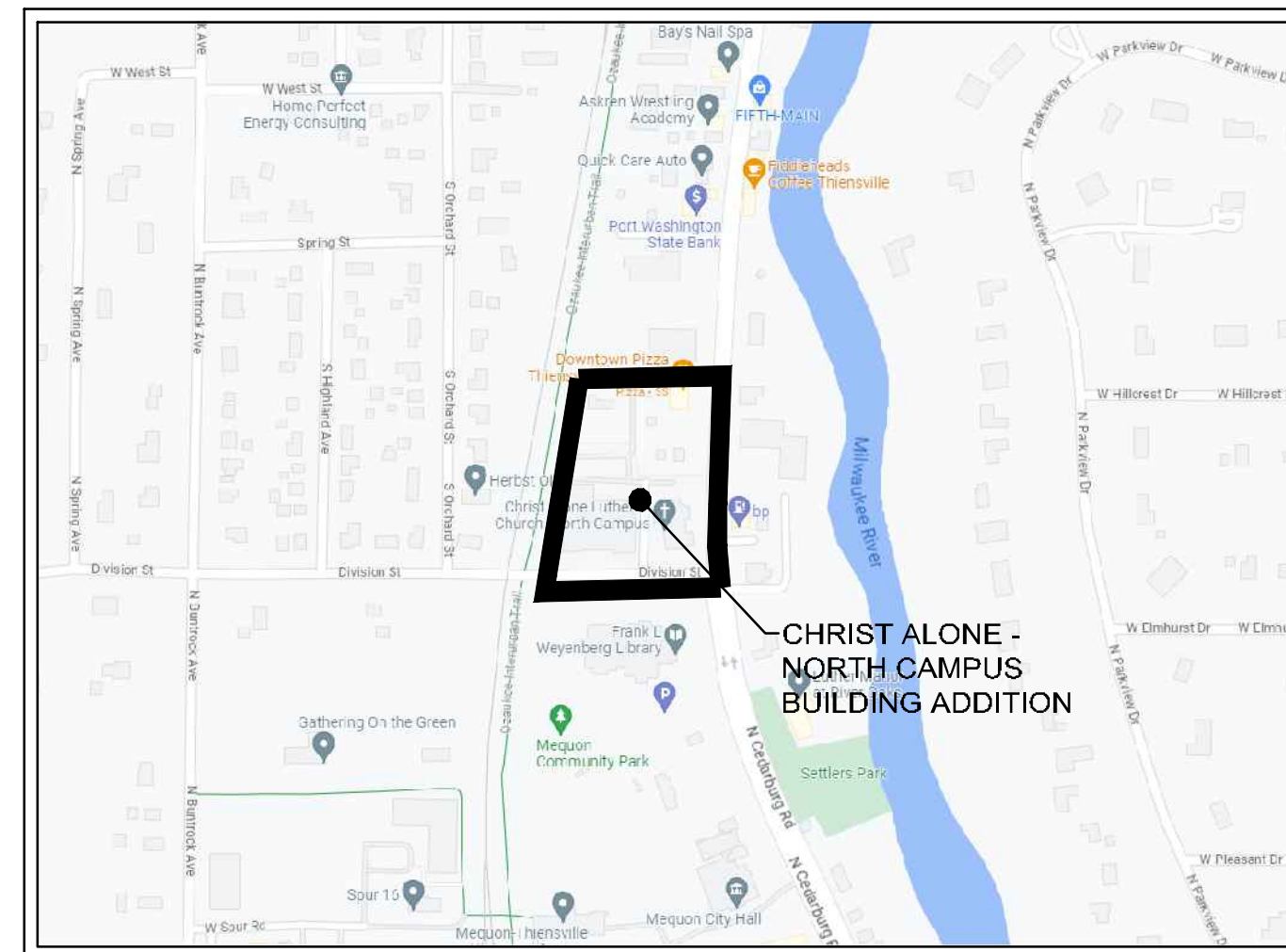


SITE PLAN
SCALE: 1" = 100'



LOCALITY MAP
S.E. 1/4
SEC. 22 T. 9 N., R. 21 E.
SCALE: 1" = 1000'

ENGINEER:
TRIO ENGINEERING, LLC
4100 N CALHOUN ROAD, STE 300
BROOKFIELD, WI 53005
CONTACT: MATTHEW BAILEY, P.E.
PHONE: 262-790-1480
FAX: 262-790-1481
EMAIL: mbailey@trioeng.com



LOCATION MAP
NOT TO SCALE

SHEET INDEX

CIVIL	
T1	- COVER SHEET
C1.0	- EXISTING SITE PLAN
C1.1	- PROPOSED SITE PLAN
C2.0	- GRADING & DRAINAGE PLAN
C2.1	- UNDERGROUND DETENTION SYSTEM PLAN
C3.0	- EROSION CONTROL PLAN
C4.0	- UTILITY PLAN
C5.0	- CONSTRUCTION DETAILS



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PROJECT:
CHRIST ALONE - NORTH CAMPUS
247 S. MAIN STREET
VILLAGE OF THIENSVILLE, WISCONSIN
BY: RAMLOW/STEN ARCHITECTURE + INTERIORS
322 E. MICHIGAN ST. SUITE 400
MILWAUKEE, WI 53202

REVISION HISTORY	
DATE	DESCRIPTION
03/19/25	INITIAL SUBMITTAL

DATE:
MARCH 19, 2025

JOB NUMBER:
23-003-1092

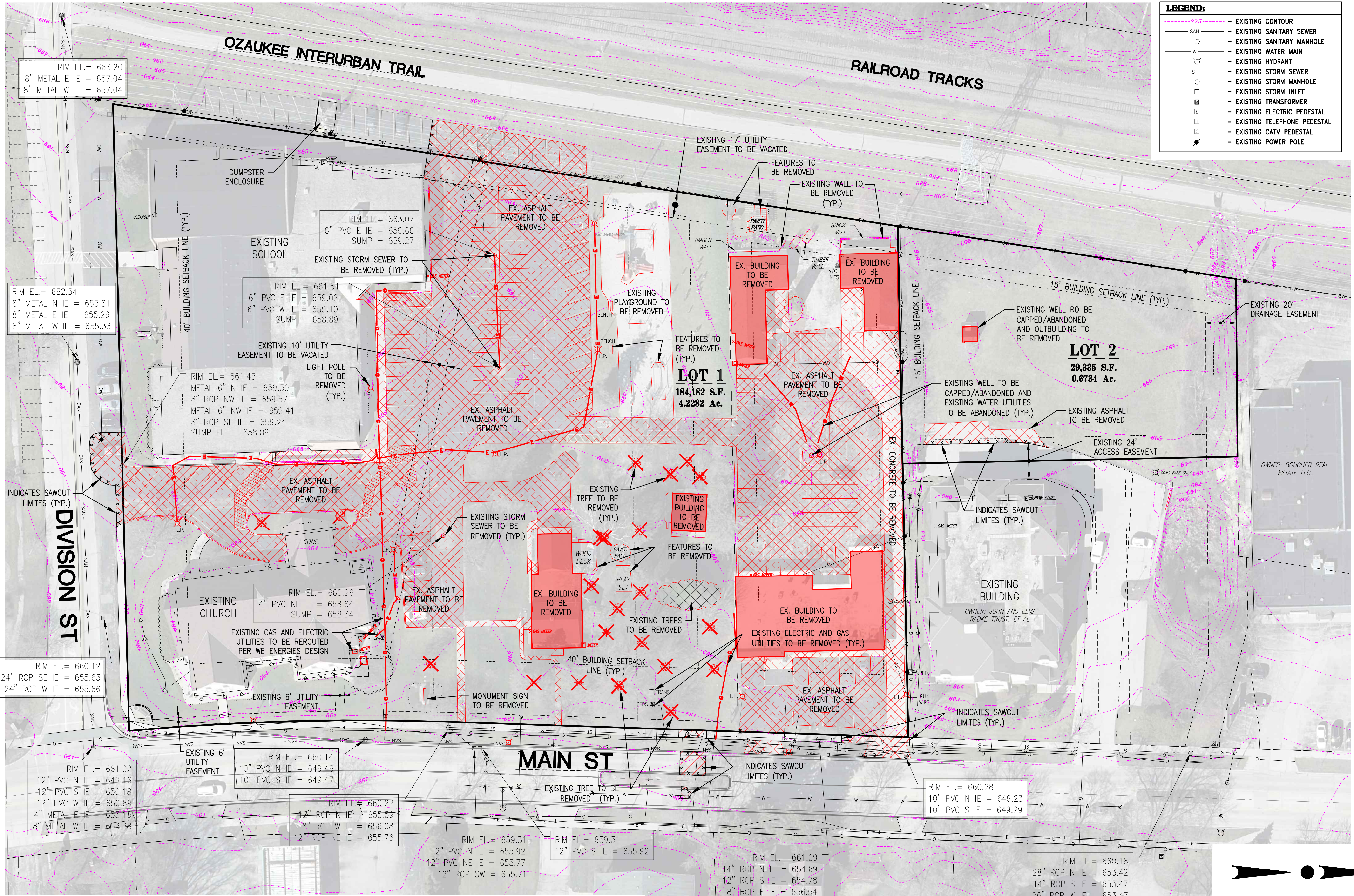
DESCRIPTION:
COVER SHEET

SHEET

T1

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LEGEND:

- 775 - EXISTING CONTOUR
- SAN - EXISTING SANITARY SEWER
- O - EXISTING SANITARY MANHOLE
- W - EXISTING WATER MAIN
- H - EXISTING HYDRANT
- ST - EXISTING STORM SEWER
- O - EXISTING STORM MANHOLE
- I - EXISTING STORM INLET
- T - EXISTING TRANSFORMER
- E - EXISTING ELECTRIC PEDESTAL
- P - EXISTING TELEPHONE PEDESTAL
- C - EXISTING CATV PEDESTAL
- P - EXISTING POWER POLE



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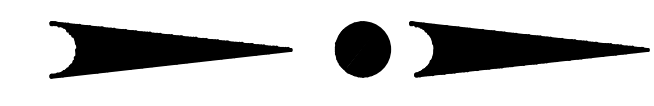
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EXISTING SITE PLAN

SHEET

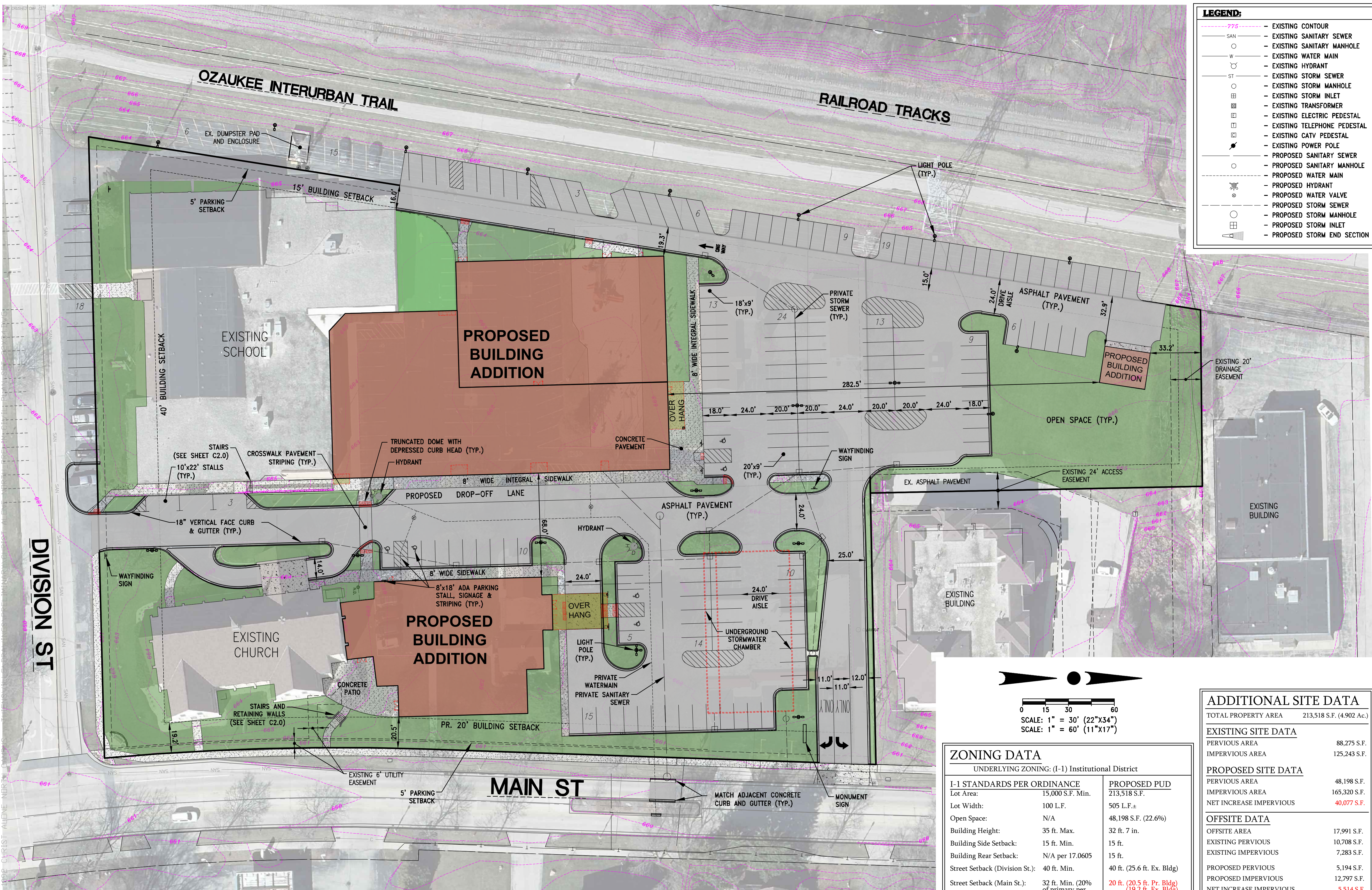
C1.0

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



0 15 30 60
SCALE: 1" = 30' (22"x34")
SCALE: 1" = 60' (11"x17")



LEGEND:

- 775 - EXISTING CONTOUR
- SAN - EXISTING SANITARY SEWER
- O - EXISTING SANITARY MANHOLE
- W - EXISTING WATER MAIN
- H - EXISTING HYDRANT
- ST - EXISTING STORM SEWER
- O - EXISTING STORM MANHOLE
- O - EXISTING STORM INLET
- T - EXISTING TRANSFORMER
- T - EXISTING ELECTRIC PEDESTAL
- T - EXISTING TELEPHONE PEDESTAL
- T - EXISTING CATV PEDESTAL
- P - EXISTING POWER POLE
- O - PROPOSED SANITARY SEWER
- O - PROPOSED SANITARY MANHOLE
- W - PROPOSED WATER MAIN
- H - PROPOSED HYDRANT
- V - PROPOSED WATER VALVE
- ST - PROPOSED STORM SEWER
- O - PROPOSED STORM MANHOLE
- O - PROPOSED STORM INLET
- S - PROPOSED STORM END SECTION



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PROJECT: CHRIST ALONE - NORTH CAMPUS
 247 S. MAIN STREET
 VILLAGE OF THIENSVILLE, WISCONSIN
 BY: RAMLOW/STEN ARCHITECTURE + INTERIORS
 322 E. MICHIGAN ST. SUITE 400
 MILWAUKEE, WI 53202

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DATE	DESCRIPTION
03/19/25	INITIAL SUBMITTAL

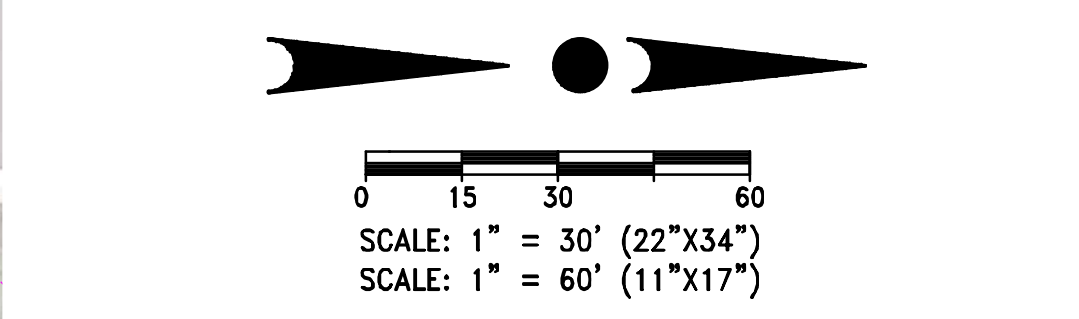
DATE: MARCH 19, 2025

JOB NUMBER: 23-003-1092

DESCRIPTION: PROPOSED SITE PLAN

SHEET

C1.1



ZONING DATA
 UNDERLYING ZONING: (I-1) Institutional District

I-1 STANDARDS PER ORDINANCE	PROPOSED PUD
Lot Area: 15,000 S.F. Min.	213,518 S.F.
Lot Width: 100 L.F.	505 L.F.±
Open Space: N/A	48,198 S.F. (22.6%)
Building Height: 35 ft. Max.	32 ft. 7 in.
Building Side Setback: 15 ft. Min.	15 ft.
Building Rear Setback: N/A per 17.0605	15 ft.
Street Setback (Division St.): 40 ft. Min.	40 ft. (25.6 ft. Ex. Bldg)
Street Setback (Main St.): 32 ft. Min. (20% of primary per 17.0605)	20 ft. (20.5 ft. Pr. Bldg) (19.2 ft. Ex. Bldg)
Parking Setback: 5 ft.	5 ft.

ADDITIONAL LOT DATA:
 FLOOR-AREA-RATIO: 36.6% (78,220 S.F. FLOOR AREA)

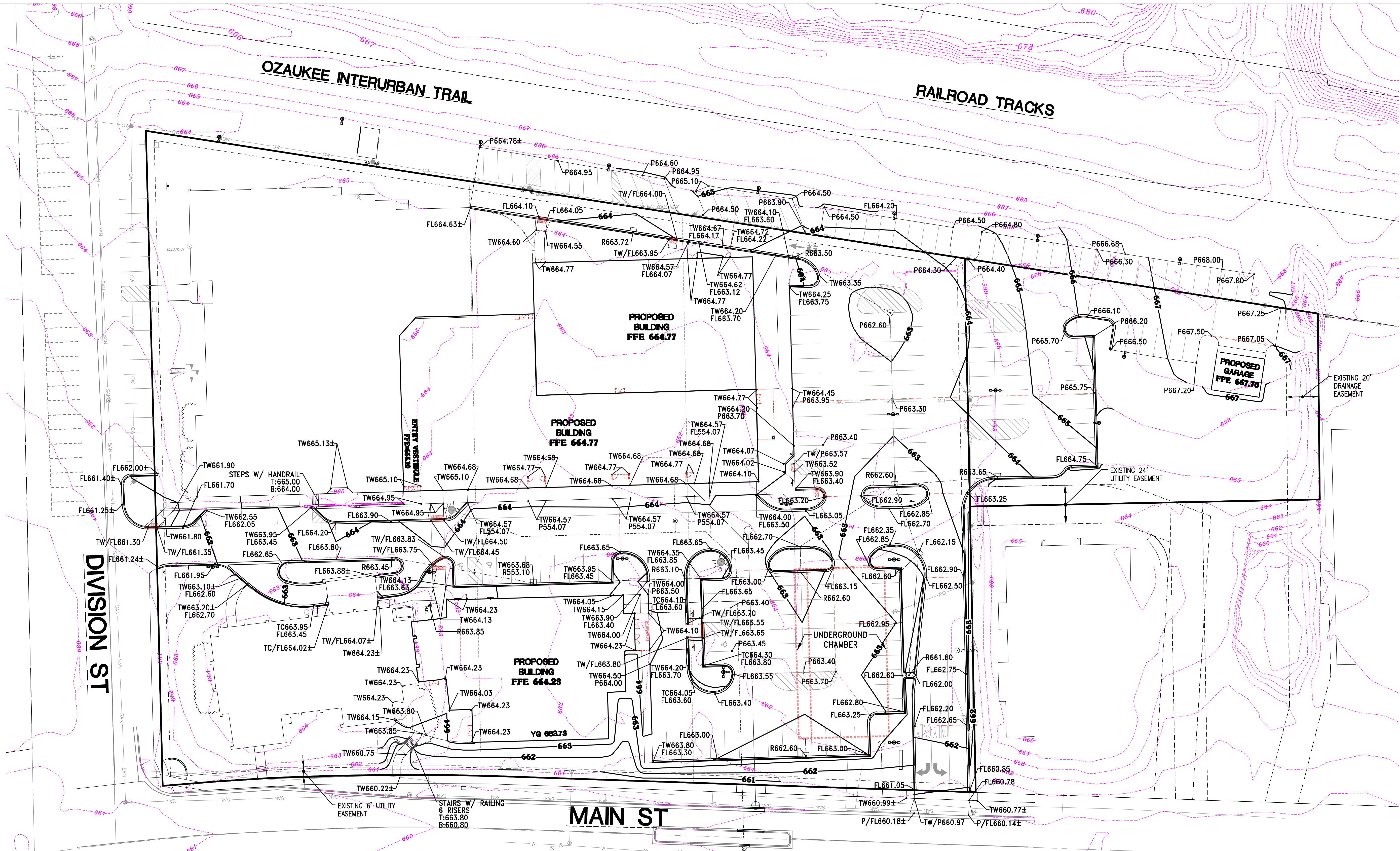
ADDITIONAL SITE DATA

TOTAL PROPERTY AREA	213,518 S.F. (4.902 Ac.)
EXISTING SITE DATA	
PERVIOUS AREA	88,275 S.F.
IMPERVIOUS AREA	125,243 S.F.
PROPOSED SITE DATA	
PERVIOUS AREA	48,198 S.F.
IMPERVIOUS AREA	165,320 S.F.
NET INCREASE IMPERVIOUS	40,077 S.F.
OFFSITE DATA	
OFFSITE AREA	17,991 S.F.
EXISTING PERVIOUS	10,708 S.F.
EXISTING IMPERVIOUS	7,283 S.F.
PROPOSED PERVIOUS	5,194 S.F.
PROPOSED IMPERVIOUS	12,797 S.F.
NET INCREASE IMPERVIOUS	5,514 S.F.
PROPOSED PARKING	
PR. STANDARD PARKING STALLS	192 STALLS
PR. ADA PARKING STALLS	6 STALLS
TOTAL PR. PARKING STALLS	198 STALLS

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NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

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DIVISION ST

OZAUKEE INTERURBAN TRAIL

RAILROAD TRACKS

MAIN ST

LEGEND:

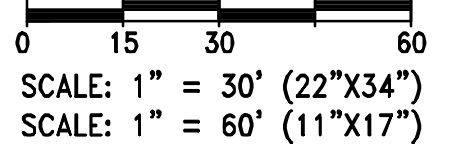
	- EXISTING CONTOUR
	- PROPOSED CONTOUR
	- PROPOSED FLOW ARROW
	- PROPOSED SPOT ELEVATION
	- PROPOSED FIRST FLOOR ELEVATION

GRADE SPOT SHOT NOTE:

- SPOT GRADE PREFIX REPRESENT THE SURFACE ELEVATION AT A SPECIFIC POINT. EACH ARE DEFINED AS FOLLOW: TOP OF SIDEWALK (TW), PAVEMENT (P), CURB & GUTTER FLANGE GRADE (FL) AND RIM (R).
- SPOT GRADE SUFFIX REPRESENTS DEFINES THE NATURE OF THE SPOT GRADE. EACH ARE DEFINED AS FOLLOW: HIGH POINT (HP) AND LOW POINT (LP).

GRADING PLAN NOTES:

1. IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS ±, THE ELEVATION HAS BEEN DETERMINED USING INTERPOLATED EXISTING SURVEY GRADES. CONTRACTOR SHALL VERIFY ALL EXISTING MATCH GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES. IF DISCREPANCIES ARE PRESENT CONTRACTOR SHALL REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE ± GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. **CALL DIGGERS HOTLINE 1-800-242-8511**

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PROJECT:
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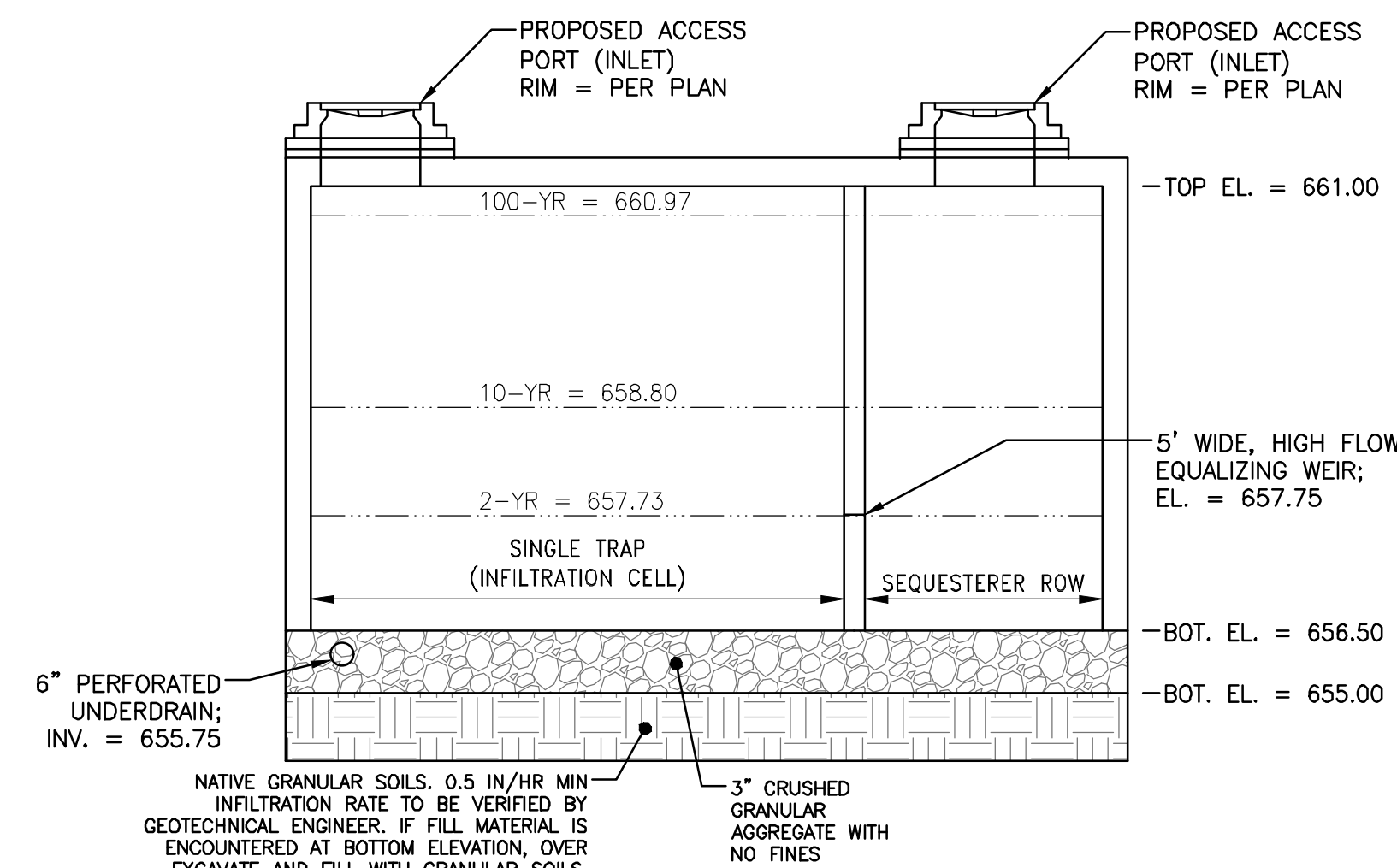
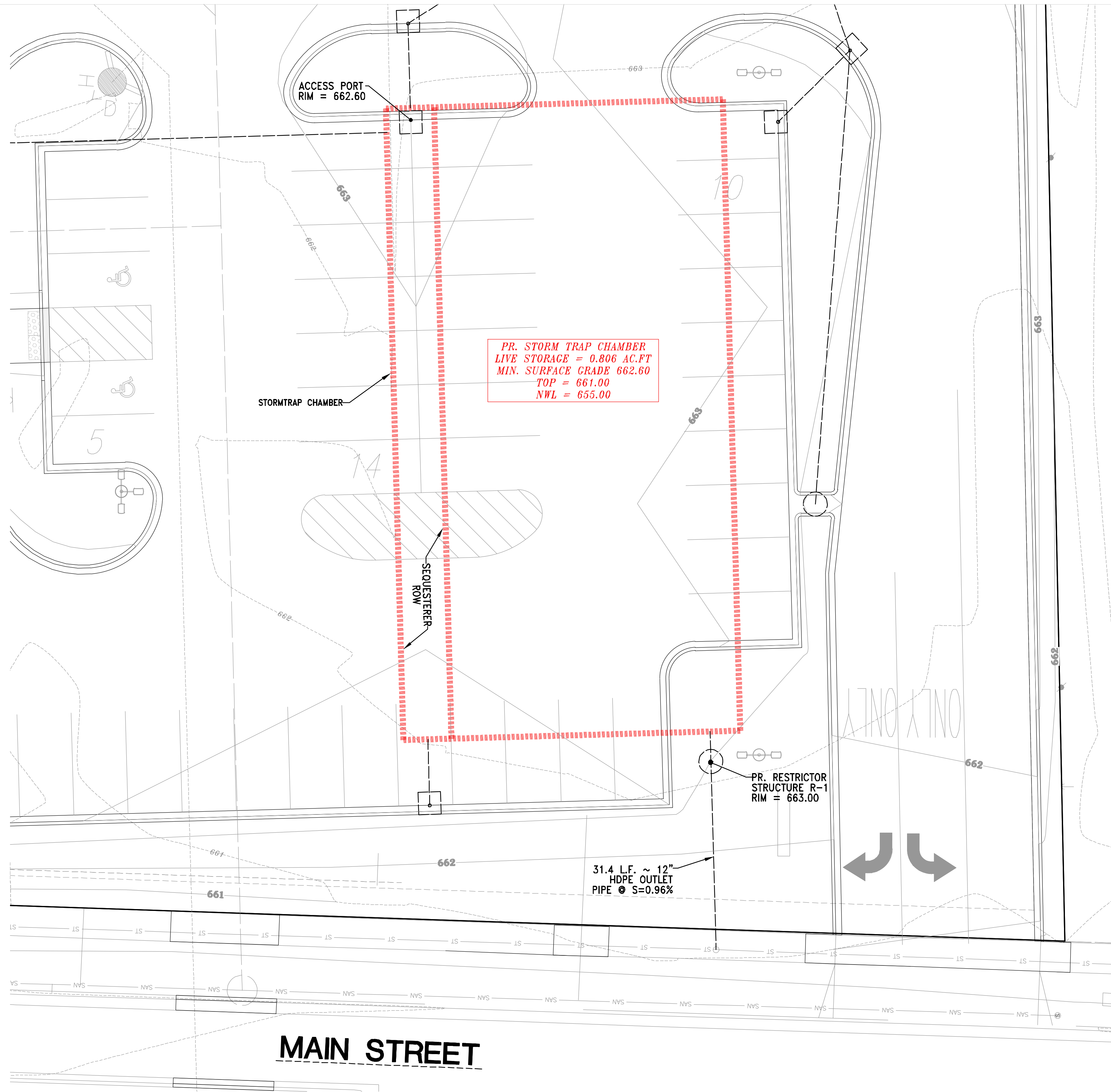
JOB NUMBER:
23-003-1092

DESCRIPTION:
GRADING & DRAINAGE PLAN

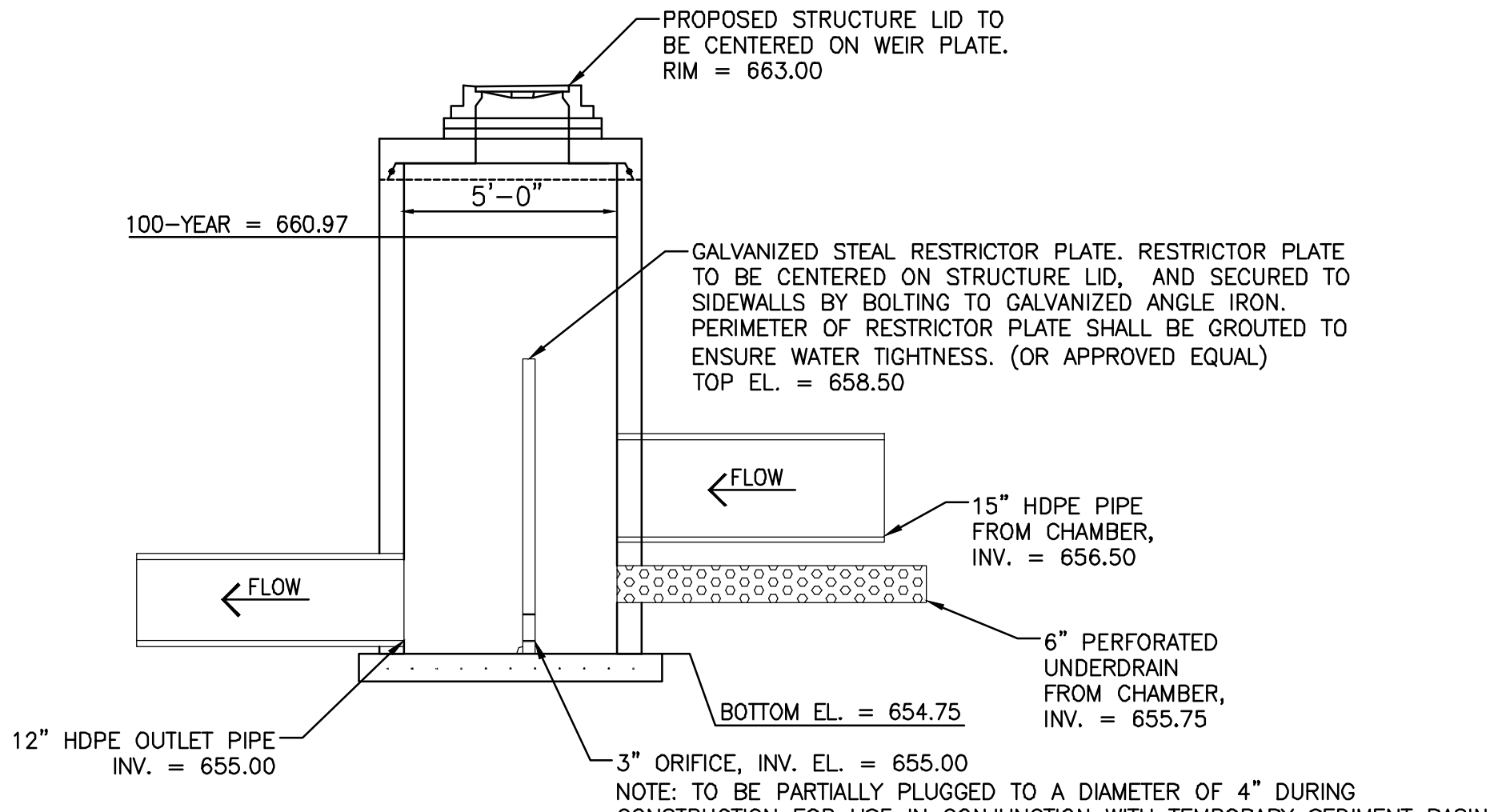
SHEET

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UNDERGROUND CHAMBER P-1 CROSS-SECTION
NO SCALE



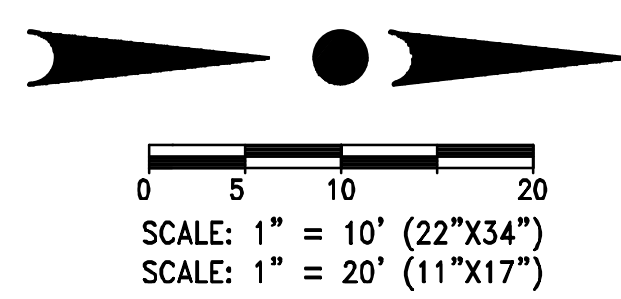
RESTRICTOR STRUCTURE R-1
NO SCALE

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NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

LEGEND:

- - - 795 - - - EXISTING CONTOUR
- 795 — PROPOSED CONTOUR
- ← PROPOSED FLOW ARROW
- P150.00 - PROPOSED SPOT ELEVATION
- FFE XXX.X - PROPOSED FIRST FLOOR ELEVATION



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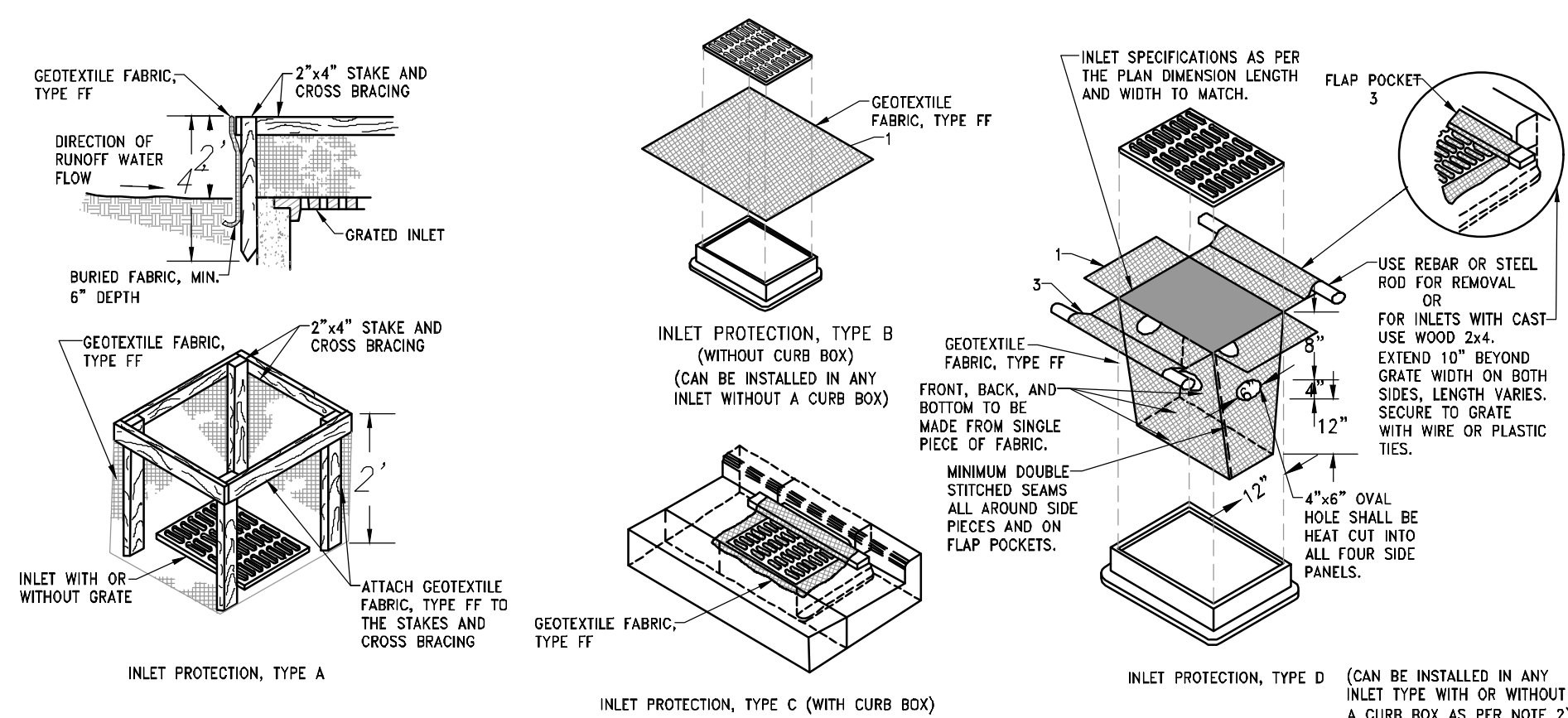
DESCRIPTION:
UNDERGROUND
DETENTION
SYSTEM PLAN

SHEET

C2.1

LEGEND:

- 795 - EXISTING CONTOUR
- 795 - PROPOSED CONTOUR
- PROPOSED FLOW ARROW
- PROPOSED SPOT ELEVATION
- PROPOSED SILT FENCE
- PROPOSED INLET PROTECTION
- PROPOSED DITCH CHECK
- PROPOSED STONE CHECK
- PROPOSED TRACKING PAD

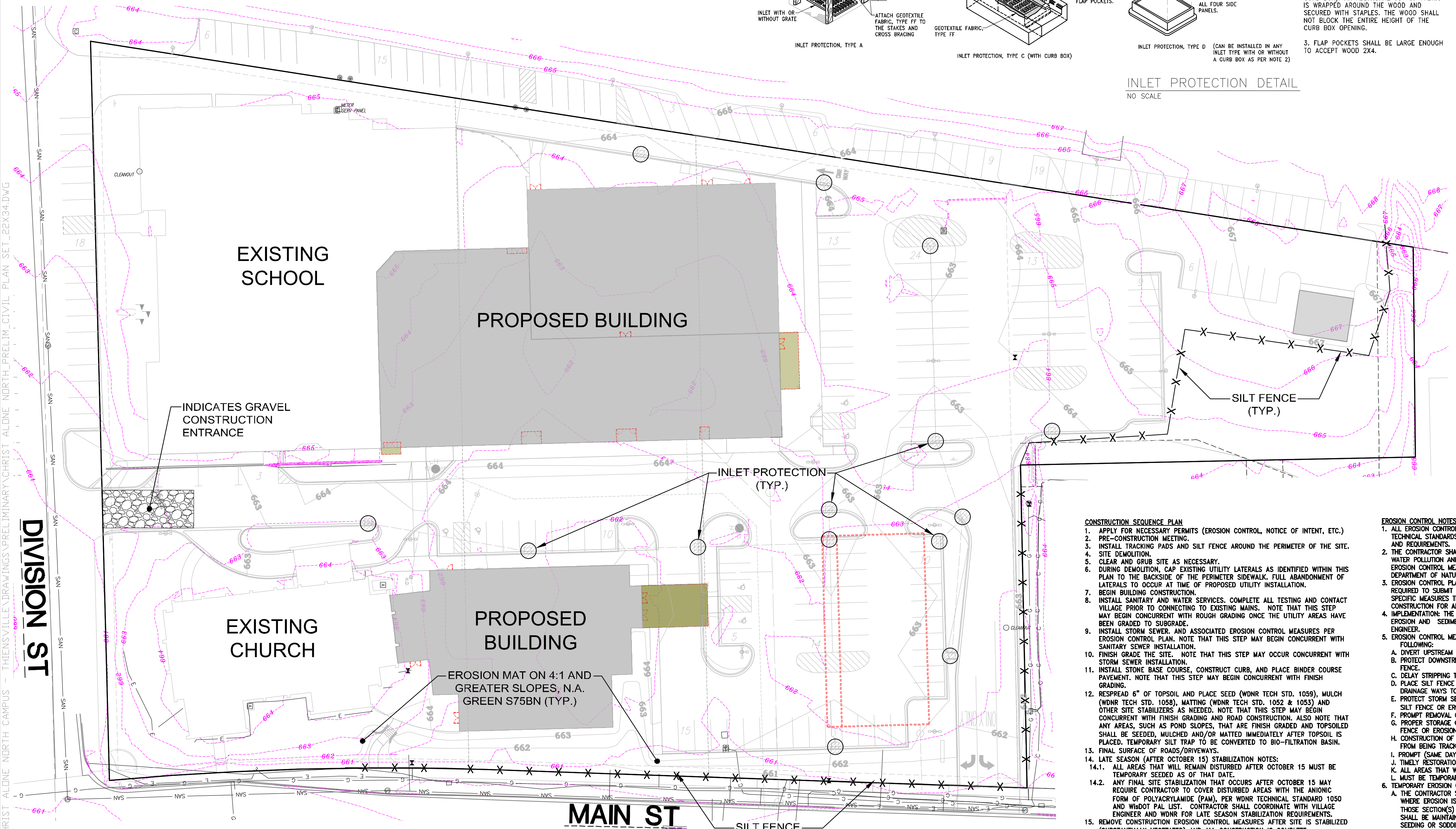


GENERAL NOTES:

- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

INSTALLATION NOTES:

- TYPE B & C TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OF OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- TYPE D DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



CONSTRUCTION SEQUENCE PLAN

1. APPLY FOR NECESSARY PERMITS (EROSION CONTROL, NOTICE OF INTENT, ETC.)
2. PRE-CONSTRUCTION MEETING.
3. INSTALL TRACKING PADS AND SILT FENCE AROUND THE PERIMETER OF THE SITE.
4. SITE DEMOLITION.
5. CLEAR AND GRUB SITE AS NECESSARY.
6. DURING DEMOLITION, CAP EXISTING UTILITY LATERALS AS IDENTIFIED WITHIN THIS PLAN TO THE BACKSIDE OF THE PERIMETER SIDEWALK. FULL ABANDONMENT OF LATERALS TO OCCUR AT TIME OF PROPOSED UTILITY INSTALLATION.
7. BEGIN BUILDING CONSTRUCTION.
8. INSTALL SANITARY AND WATER SERVICES. COMPLETE ALL TESTING AND CONTACT VILLAGE PRIOR TO CONNECTING TO EXISTING MAINS. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH ROUGH GRADING ONCE THE UTILITY AREAS HAVE BEEN GRADED TO SUBGRADE.
9. INSTALL STORM SEWER, AND ASSOCIATED EROSION CONTROL MEASURES PER EROSION CONTROL PLAN. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH SANITARY SEWER INSTALLATION.
10. FINISH GRADE THE SITE. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH STORM SEWER INSTALLATION.
11. INSTALL STONE BASE COURSE, CONSTRUCT CURB, AND PLACE BINDER COURSE PAVEMENT. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH FINISH GRADING.
12. RESPREAD 6" OF TOPSOIL AND PLACE SEED (WDNR TECH STD. 1059), MULCH (WDNR TECH STD. 1058), MATTING (WDNR TECH STD. 1052 & 1053) AND OTHER SITE STABILIZERS AS NEEDED. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH FINISH GRADING AND ROAD CONSTRUCTION. ALSO NOTE THAT ANY AREAS, SUCH AS POND SLOPES, THAT ARE FINISH GRADED AND TOPSOILED SHALL BE SEED, MULCHED AND/OR MATTED IMMEDIATELY AFTER TOPSOIL IS PLACED. TEMPORARY SILT TRAP TO BE CONVERTED TO BIO-FILTRATION BASIN.
13. FINAL SURFACE OF ROADS/DRIVEWAYS.
14. LATE SEASON (AFTER OCTOBER 15) STABILIZATION NOTES:
 - 14.1. ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15 MUST BE TEMPORARILY SEED AS OF THAT DATE.
 - 14.2. ANY FINAL SITE STABILIZATION THAT OCCURS AFTER OCTOBER 15 MAY REQUIRE CONTRACTOR TO COVER DISTURBED AREAS WITH THE ANIONIC FORM OF POLYACRYLAMIDE (PAM), PER WDNR TECHNICAL STANDARD 1050 AND WISDOT PAL LIST. CONTRACTOR SHALL COORDINATE WITH VILLAGE ENGINEER AND WDNR FOR LATE SEASON STABILIZATION REQUIREMENTS.
15. REMOVE CONSTRUCTION EROSION CONTROL MEASURES AFTER SITE IS STABILIZED (SUBSTANTIALLY VEGETATED) AND ALL CONSTRUCTION IS COMPLETE.
16. PREPARATION OF ASBUILT SURVEY AND RECORD DRAWINGS, AND SUBMITTAL TO VILLAGE.
17. REMOVE REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
18. FILE N.O.T. WITH DNR ONCE 70% STABILIZATION IS COMPLETE.

EROSION CONTROL NOTES:

1. ALL EROSION CONTROL METHODS SHALL BE INSTALLED IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS AND VILLAGE OF THIENSVILLE MUNICIPAL CODE, STANDARDS, AND REQUIREMENTS.
2. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
3. EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE USED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER.
4. IMPLEMENTATION: THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
5. EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.
 - B. PROTECT DOWNSTREAM OR ADJACENT WATERWAYS AND WETLANDS WITH SILT FENCE.
 - C. DELAY STRIPPING TOPSOIL UNTIL REQUIRED FOR CONSTRUCTION.
 - D. PLACE SILT FENCE OR EROSION CONTROL BALES IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.
 - E. PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF CULVERTS WITH SILT FENCE OR EROSION CONTROL BALES (SEE DETAIL SHEET CS.1).
 - F. PROMPT REMOVAL OF EXCAVATED MATERIAL.
 - G. PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWNSLOPE SIDES OF SPOIL PILES.
 - H. CONSTRUCTION OF TRACKING PAD TO CONSTRUCTION SITE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
 - I. PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
 - J. TIMELY RESTORATION OF DAMAGE SURFACE AREAS.
 - K. ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15 MUST BE TEMPORARILY SEED AS OF THAT DATE.
6. TEMPORARY EROSION CONTROL MEASURES:
 - A. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES, WHERE EROSION IS LIKELY TO BE A PROBLEM, PRIOR TO BEGINNING WORK ON THOSE SECTION(S) OF THE PROJECT. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEEDING OR SOODING, HAS BEEN ESTABLISHED.
 - B. IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE FOLLOWING YEAR.
7. ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN DAYS MUST BE IMMEDIATELY RESTORED WITH SEED AND MULCH.
8. INSTALL SILT FENCE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DETAILS.
9. EROSION CONTROL INSPECTION AND MAINTENANCE:
 - A. INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER SITE RECEIVES 0.5" OF RAIN IN A 24-HOUR PERIOD DURING CONSTRUCTION.
 - B. REPAIR OR REPLACE EROSION CONTROLS THAT ARE DAMAGED OR FAILING.
10. ALL AREAS TO BE SEED AND MULCHED SHALL USE WDOT SEED MIXTURE NO. 20. MULCH SHALL APPLIED PER WDOT SPECIFICATIONS USING METHOD B FOR PLACEMENT.

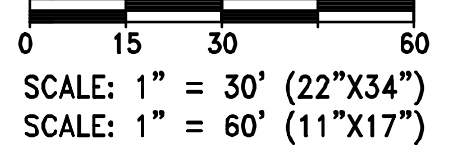
WINTER STABILIZATION PROVISIONS:
IF FINAL SITE STABILIZATION OCCURS AFTER OCTOBER 15, CONTRACTOR SHALL UTILIZE ANIONIC POLYACRYLAMIDE AND TEMPORARY SEEDING, AS WELL AS, COORDINATE WITH VILLAGE ENGINEER FOR LATE SEASON STABILIZATION REQUIREMENTS.

- WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARD:
- 1052 - NON-CHANNEL EROSION MAT
 - 1056 - SILT FENCE
 - 1060 - STORM INLET PROTECTION FOR CONSTRUCTION SITES
 - 1062 - DITCH CHECK
 - 1057 - STONE TRACKING PAD AND TIRE WASHING
 - 1058 - MULCHING FOR CONSTRUCTION SITES
 - 1059 - TEMPORARY SEEDING

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



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BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpadelfino@trioeng.com

PROJECT:
CHRIST ALONE - NORTH CAMPUS
247 S. MAIN STREET
VILLAGE OF THIENSVILLE, WISCONSIN
BY: RAMLOW/STIGAN ARCHITECTURE + INTERIORS
322 E. MICHIGAN ST. SUITE 400
MILWAUKEE, WI 53202

REVISION HISTORY

DATE	DESCRIPTION
03/19/25	INITIAL SUBMITTAL

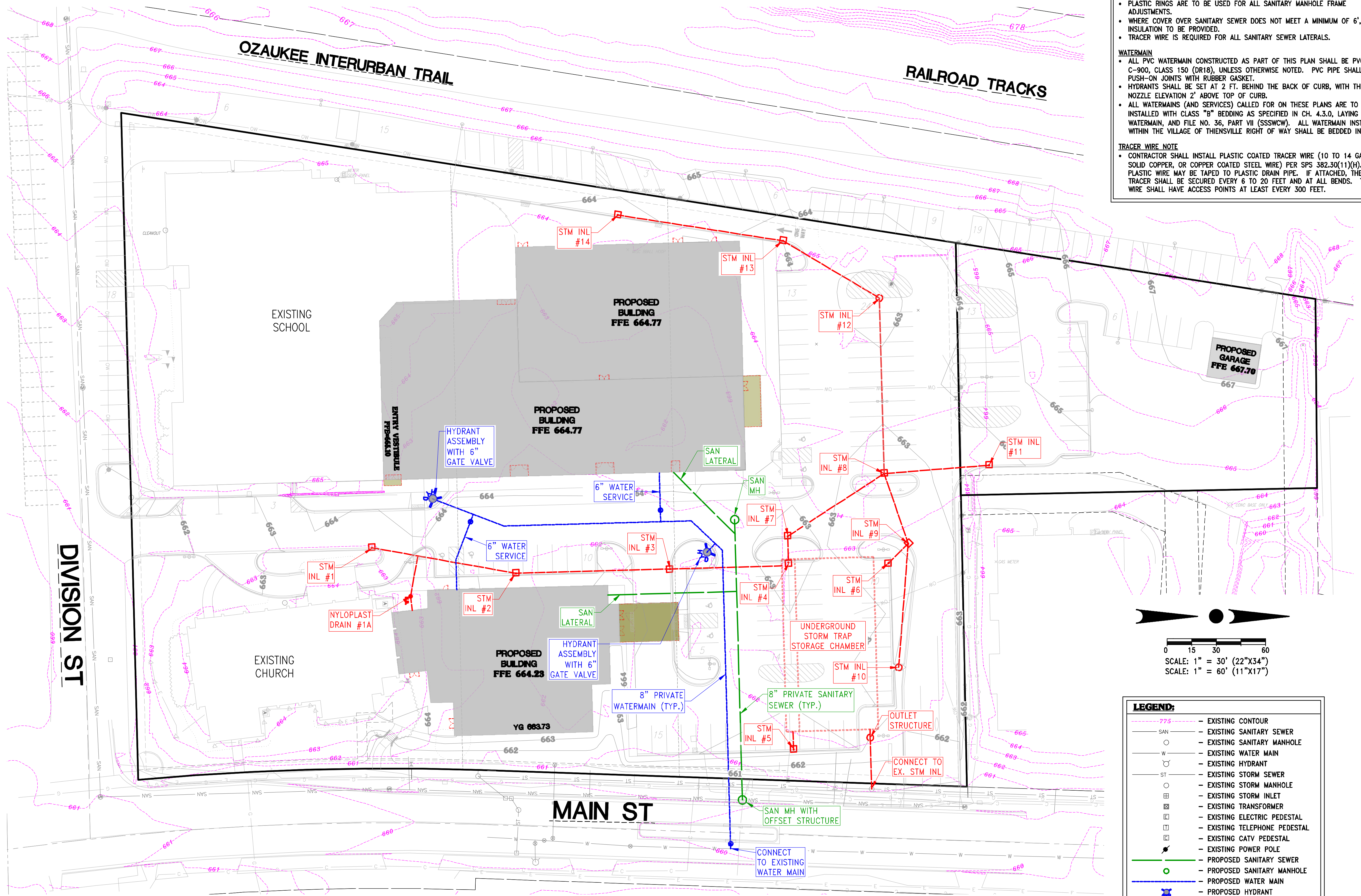
DATE:
MARCH 19, 2025

JOB NUMBER:
23-003-1092

DESCRIPTION:
EROSION CONTROL PLAN

SHEET
C3.0

X:\2023\23-002-1092 CHRIST ALONE NORTH CAMPUS - THIENSVILLE\DRAWINGS\PRELIMINARY\CHRIST ALONE NORTH_CIVIL_PLAN_SET_22X34.DWG



SANITARY SEWER

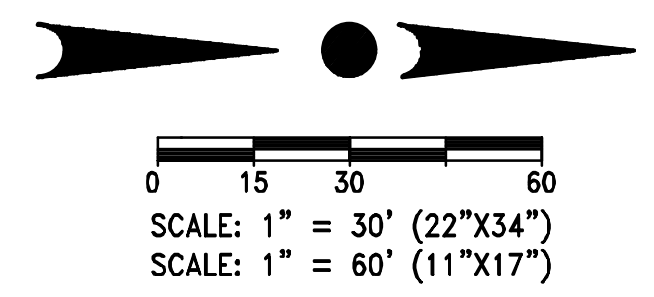
- ALL PVC SEWER PIPE SHALL MEET THE REQUIREMENTS SET FORTH IN SECTION 8.10.0 (SSSWCW).
- ALL SANITARY SEWER LATERALS (OUTSIDE OF BUILDINGS) SHALL BE MADE OF GASKETED PVC FITTINGS MEETING ASTM D-3034, SDR 35.
- PLASTIC RINGS ARE TO BE USED FOR ALL SANITARY MANHOLE FRAME ADJUSTMENTS.
- WHERE COVER OVER SANITARY SEWER DOES NOT MEET A MINIMUM OF 6', INSULATION TO BE PROVIDED.
- TRACER WIRE IS REQUIRED FOR ALL SANITARY SEWER LATERALS.

WATERMAIN

- ALL PVC WATERMAIN CONSTRUCTED AS PART OF THIS PLAN SHALL BE PVC, C-900, CLASS 150 (DR18), UNLESS OTHERWISE NOTED. PVC PIPE SHALL HAVE PUSH-ON JOINTS WITH RUBBER GASKET.
- HYDRANTS SHALL BE SET AT 2 FT. BEHIND THE BACK OF CURB, WITH THE NOZZLE ELEVATION 2' ABOVE TOP OF CURB.
- ALL WATERMANS (AND SERVICES) CALLED FOR ON THESE PLANS ARE TO BE INSTALLED WITH CLASS "B" BEDDING AS SPECIFIED IN CH. 4.3.0, LAYING OF WATERMAIN, AND FILE NO. 36, PART VII (SSSWCW). ALL WATERMAIN INSTALLED WITHIN THE VILLAGE OF THIENSVILLE RIGHT OF WAY SHALL BE BEDDED IN SAND.

TRACER WIRE NOTE

- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE) PER SPS 382.30(11)(H). PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.



LEGEND:

--- 775 ---	- EXISTING CONTOUR
SAN	- EXISTING SANITARY SEWER
○	- EXISTING SANITARY MANHOLE
W	- EXISTING WATER MAIN
○	- EXISTING HYDRANT
ST	- EXISTING STORM SEWER
○	- EXISTING STORM MANHOLE
⊞	- EXISTING STORM INLET
⊞	- EXISTING TRANSFORMER
⊞	- EXISTING ELECTRIC PEDESTAL
⊞	- EXISTING TELEPHONE PEDESTAL
⊞	- EXISTING CATV PEDESTAL
⊞	- EXISTING POWER POLE
—	- PROPOSED SANITARY SEWER
○	- PROPOSED SANITARY MANHOLE
—	- PROPOSED WATER MAIN
⊞	- PROPOSED HYDRANT
⊞	- PROPOSED WATER VALVE
—	- PROPOSED STORM SEWER
○	- PROPOSED STORM MANHOLE
⊞	- PROPOSED STORM INLET
—	- PROPOSED STORM END SECTION



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PROJECT:
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247 S. MAIN STREET
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REVISION HISTORY

DATE	DESCRIPTION
03/19/25	INITIAL SUBMITTAL

DATE:
MARCH 19, 2025

JOB NUMBER:
23-003-1092

DESCRIPTION:
UTILITY PLAN

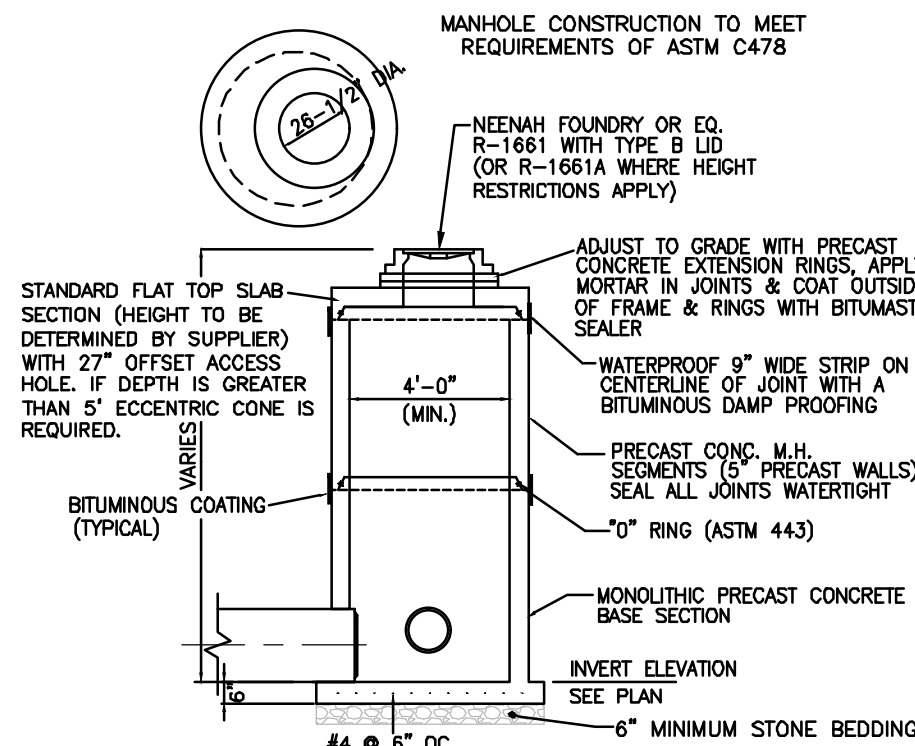
SHEET

C4.0



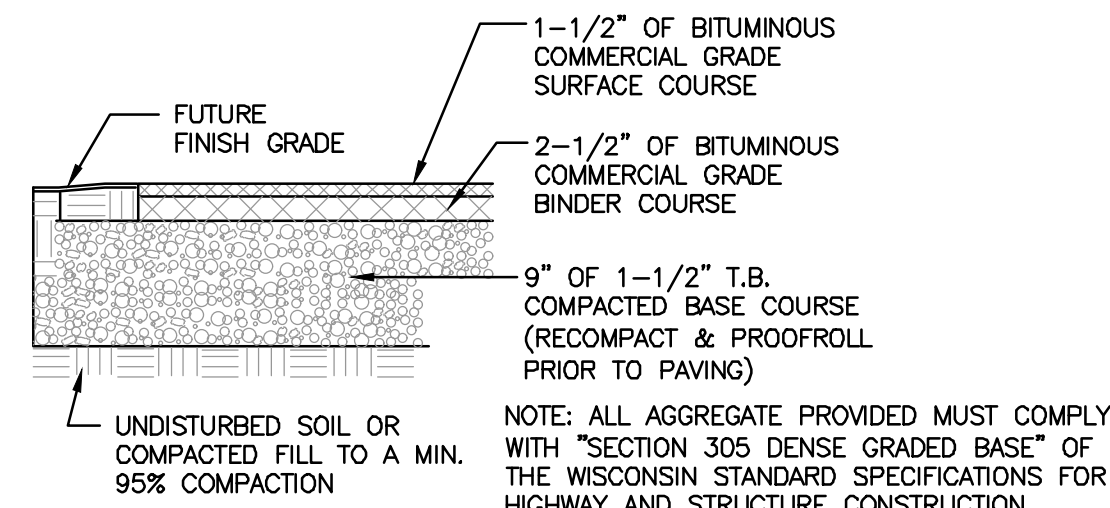
CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. **CALL DIGGERS HOTLINE 1-800-242-8511**

NOTE:
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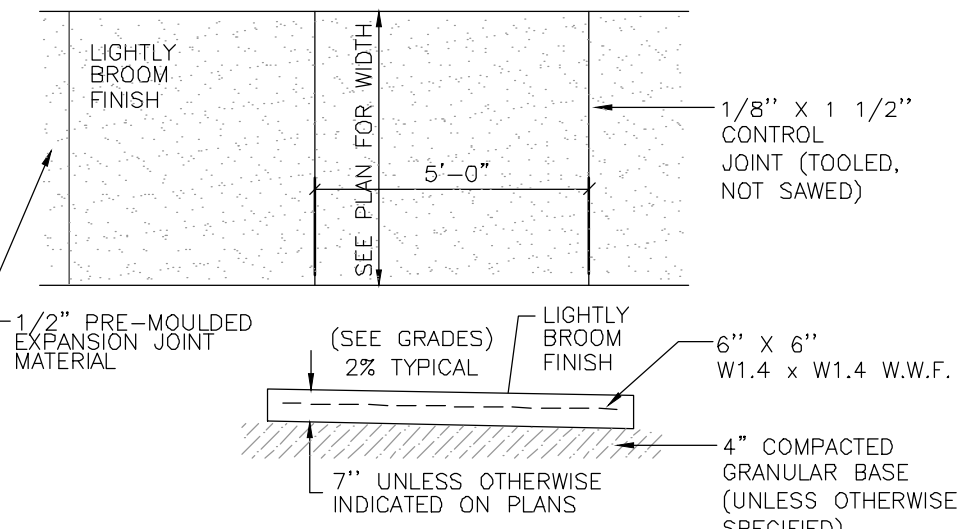


- NOTES:
1. EZ-STICK RUBBER GASKET OR APPROVED EQUAL SHALL BE PLACED AT ALL JOINTS BETWEEN ADJUSTING RINGS.
 2. MINIMUM OF 2", MAXIMUM OF 1 1/4" OF ADJUSTING RINGS.
 3. CLEAN UNDERSIDE OF ADJUSTING RINGS OR CAST IRON FRAME AND SET IN PLACE.
 4. TUCK POINT MORTAR INTO ANNULAR CRACK AND BACK PLASTER INSIDE AND OUTSIDE OF JOINTS.
 5. MEET REQUIREMENTS OF ASTM C478.

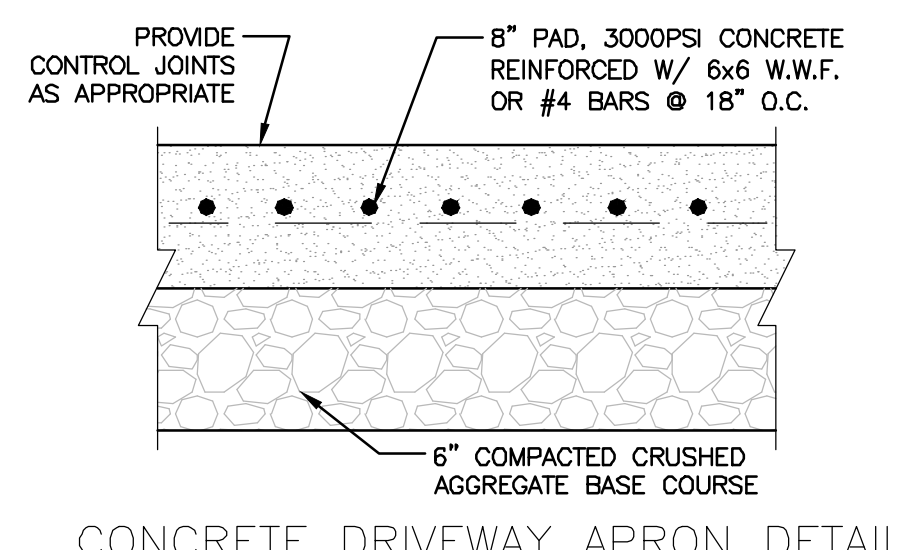
STORM MANHOLE DETAIL
NO SCALE



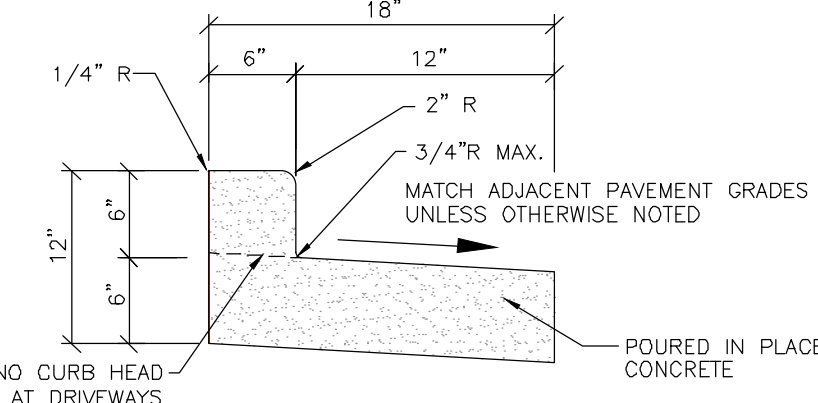
PARKING LOT ASPHALT PAVING DETAIL
NO SCALE



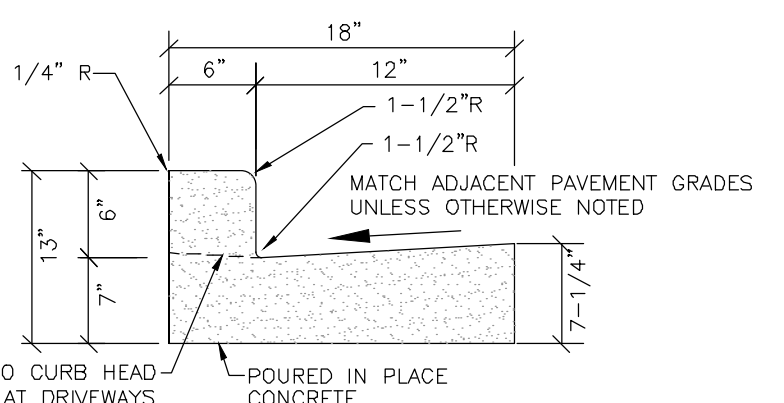
CONCRETE SIDEWALK AT DRIVEWAY APRON
NO SCALE



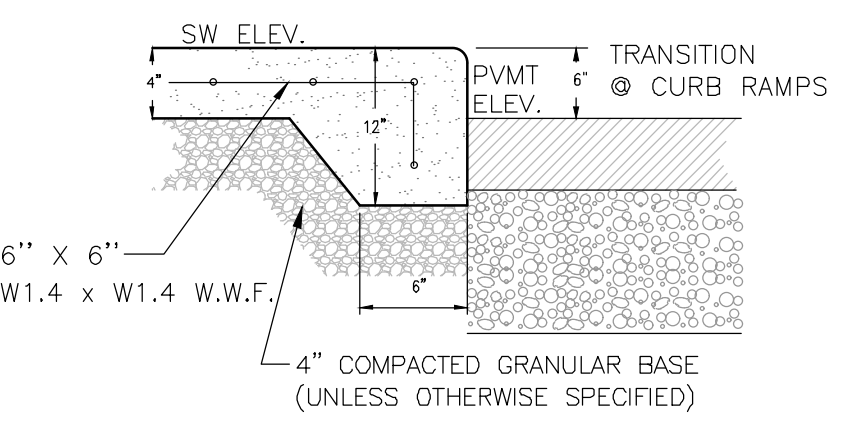
CONCRETE DRIVEWAY APRON DETAIL
NO SCALE



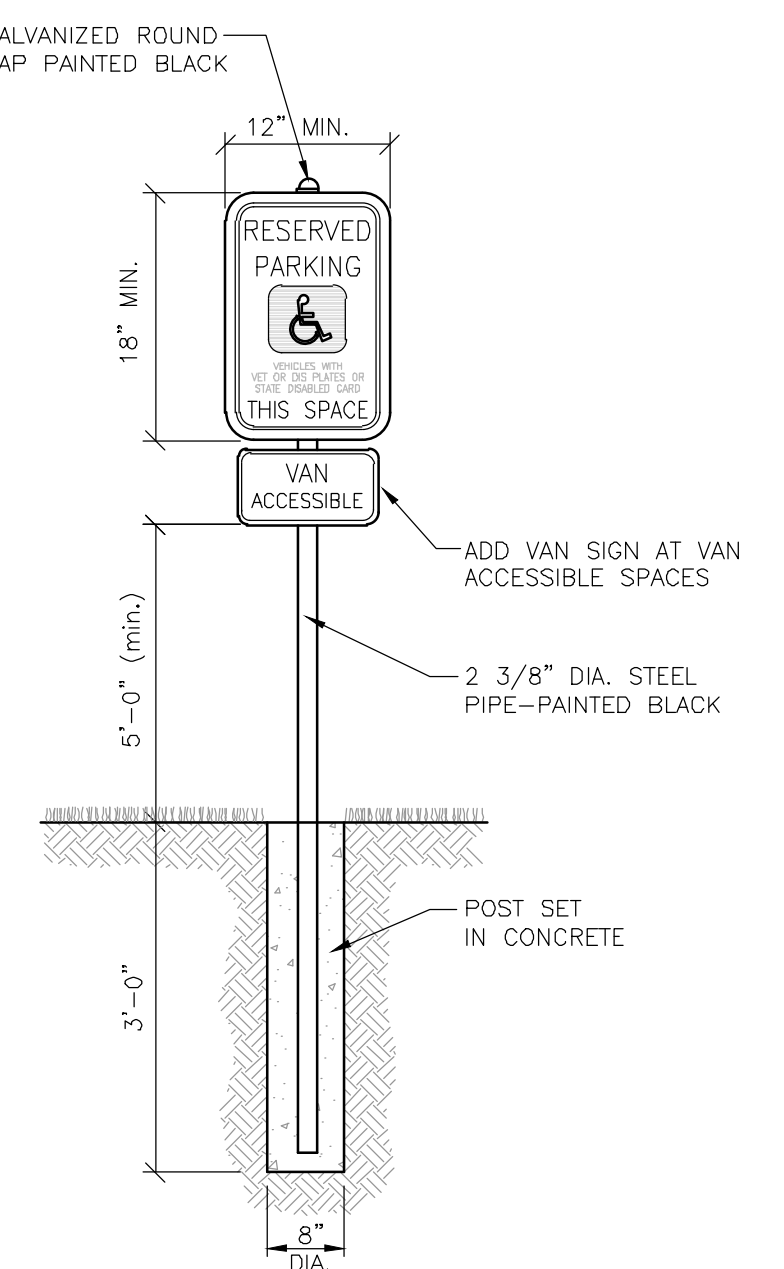
18" REJECT CURB & GUTTER DETAIL
NO SCALE



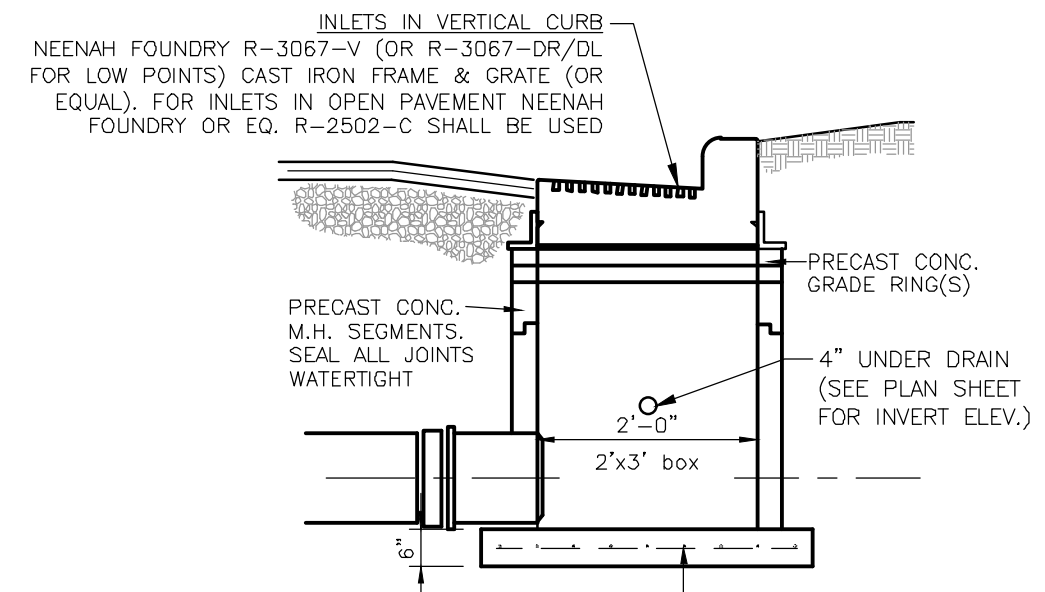
18" CONCRETE CATCH CURB & GUTTER
NO SCALE



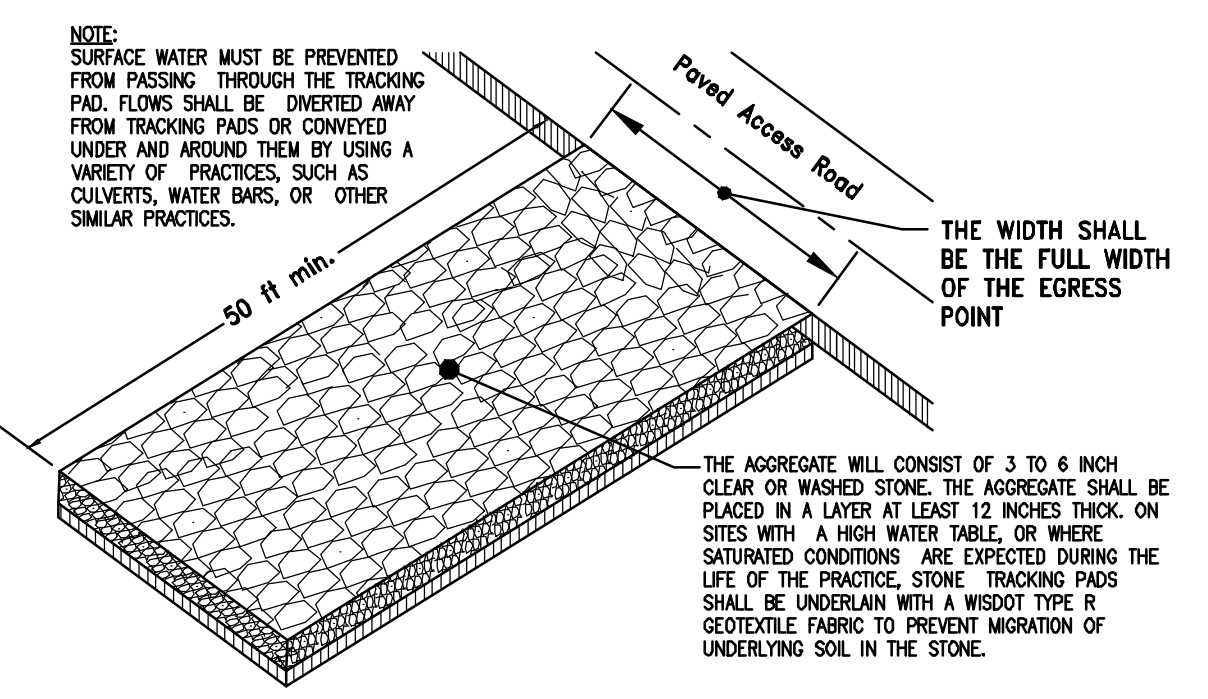
INTEGRAL SIDEWALK & BARRIER CURB
(WHERE SIDEWALK ADJOINS DRIVEWAYS/PARKING AREAS)
NO SCALE



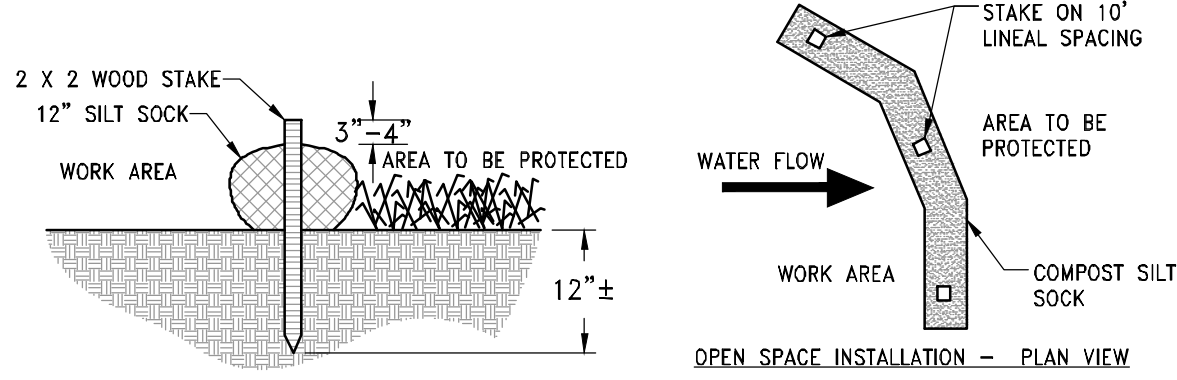
HANDICAP SIGNAGE DETAIL
NO SCALE



STORM SEWER INLET
NO SCALE

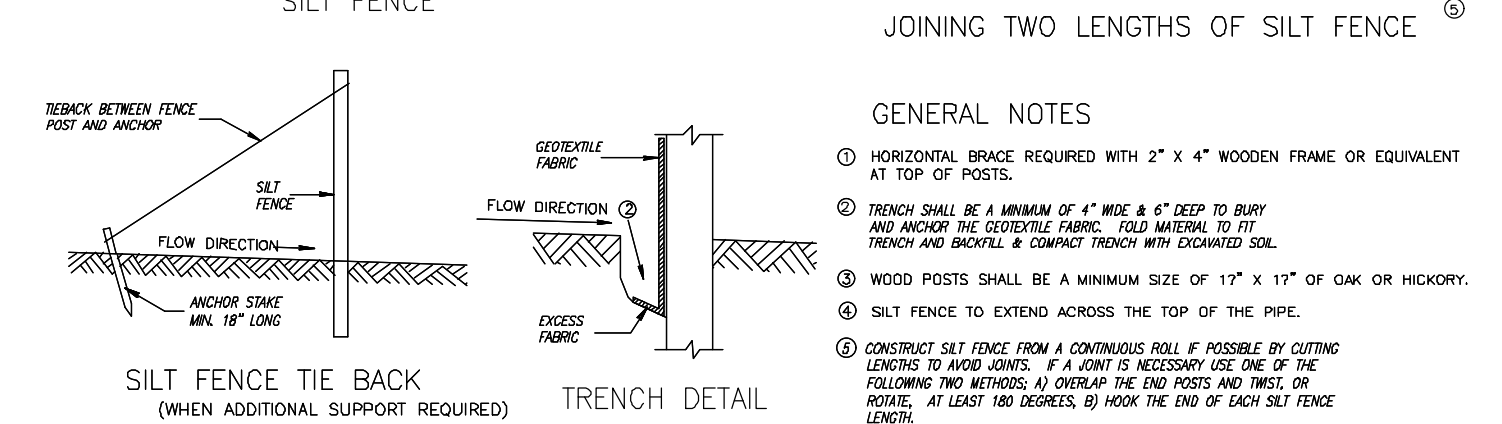
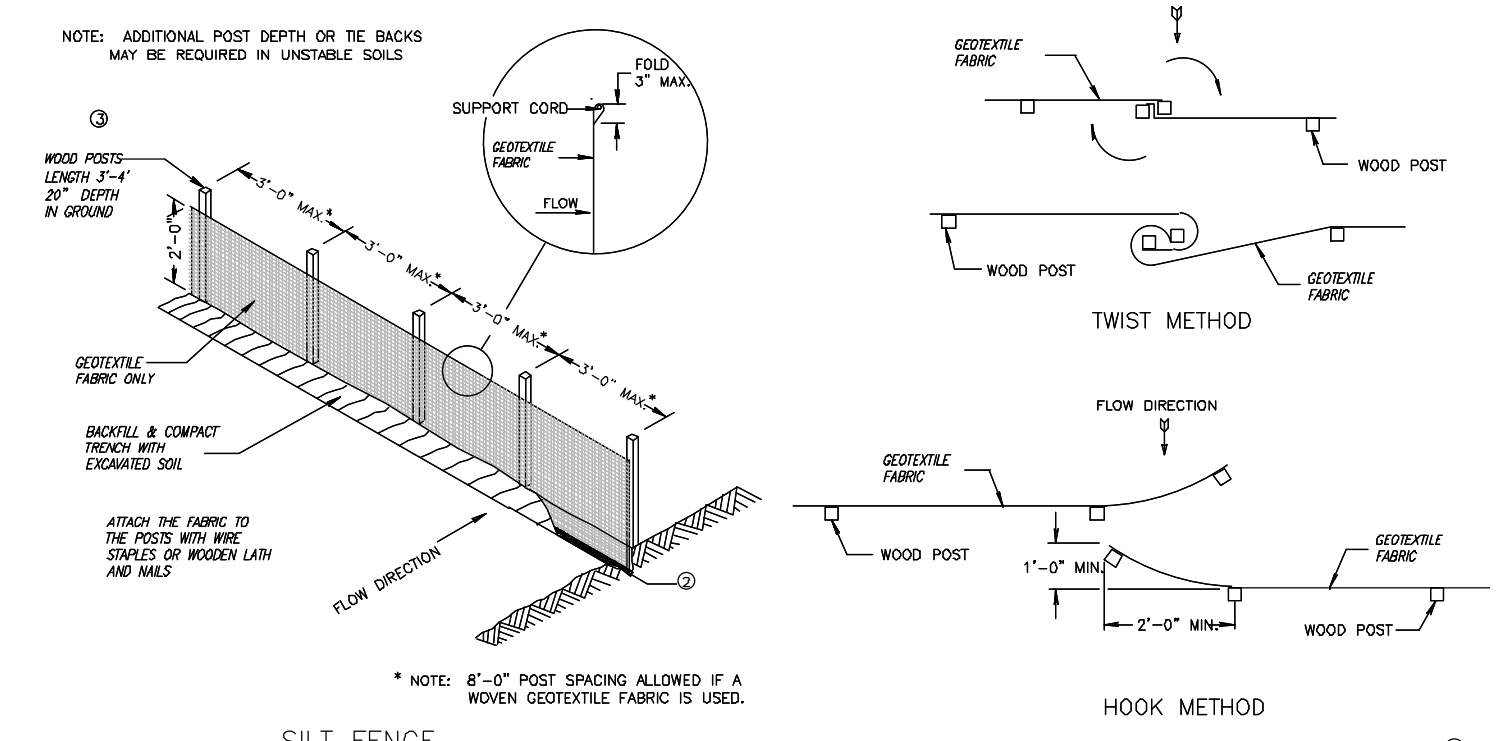


CONSTRUCTION ENTRANCE DETAIL
NO SCALE

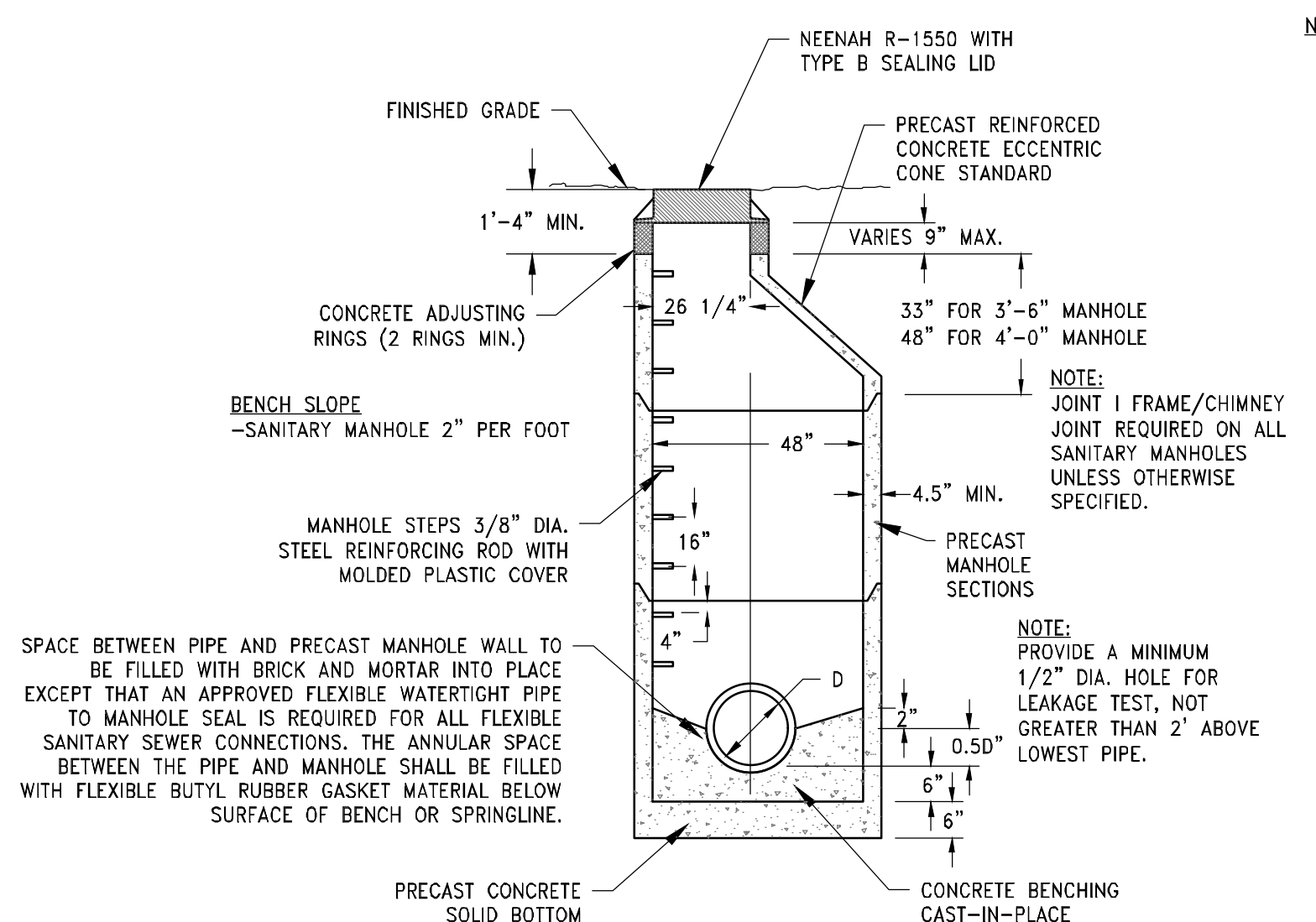


- NOTES:
1. ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS
 2. REFER TO MANUFACTURERS AND/OR SUPPLIERS, SPECIFICATIONS FOR INSTALLATION RECOMMENDATIONS.
 3. ACTUAL LOCATION MAY BE FIELD ADJUSTED TO MINIMIZE DISTURBANCE TO EXISTING VEGETATION.
 4. INSTALL EVERY 200' OR 2' GRADE DROP IN SWALES.

STRAW WATTLE DITCH CHECK INSTALLATION DETAIL
NO SCALE



SILT FENCE INSTALLATION DETAIL
NO SCALE



PRECAST SANITARY SEWER MANHOLE DETAIL
NO SCALE

- NOTES:
1. CONSTRUCT MANHOLE IN ACCORDANCE WITH FILE NO. 12 OF THE STATE STANDARD SPECIFICATIONS FOR SEWER AND WATER.
 2. ADJUST FRAME TO GRADE WITH CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT=8", MINIMUM RING HEIGHT=2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING, WHERE NECESSARY RINGS SHALL BE GROOVED TO RECEIVE STEP.
 3. CONCRETE AND REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION C-478.
 4. JOINTS SHALL BE WATER TIGHT AND SHALL BE MADE USING MORTAR, FLEXIBLE PLASTIC GASKETS OR RUBBER TYPE GASKETS FOR STORM MANHOLES.
 5. AREA OF CIRCUMFERENTIAL STEEL = 0.12 SQ. INCH PER LINEAL FOOT MIN.
 6. 3" OF BEDDING STONE UNDER BASE REQUIRED ON WET SUB-GRADE.
 7. ALL SANITARY MANHOLES SHALL BE PROVIDED WITH EXTERNAL CHIMNEY SEALS AND SELF-SEALING LIDS WITH CONCEALED PICK HOLES.

MANHOLE SIZES (UNLESS OTHERWISE NOTED)

PIPE DIA. [D]	MANHOLE DIA.	WALL THICKNESS
8" THRU 27"	3'-6"	4 1/2"
30"	4'-0"	5"
36"	5'-0"	6"
42"	6'-0"	7"

*ALL PUBLIC MANHOLES SHALL BE A MIN. OF 48" DIA.



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EMAIL: jpauleko@trioeng.com

PROJECT: CHRIST ALONE - NORTH CAMPUS
247 S. MAIN STREET
VILLAGE OF THIENSVILLE, WISCONSIN
BY: RAMLOW/STEN ARCHITECTURE + INTERIORS
322 E. MICHIGAN ST. SUITE 400
MILWAUKEE, WI 53202

REVISION HISTORY

DATE	DESCRIPTION
03/19/25	INITIAL SUBMITTAL

DATE:
MARCH 19, 2025

JOB NUMBER:
23-003-1092

DESCRIPTION:
CONSTRUCTION DETAILS

SHEET

C5.0

X:\2023\23-003-1092 CHRIST ALONE NORTH CAMPUS - THIENSVILLE\DRAWINGS\PRELIMINARY\CHRIST ALONE NORTH PRELIM CIVIL PLAN SET_22X34.DWG

HISTORIC PRESERVATION CERTIFICATE OF APPROPRIATENESS APPLICATION

Submission Information:

A complete application shall be submitted by the deadline stated on the meeting schedule to the Village Clerk In order for an application to be considered complete, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. Owner, architect, builder or owner's representative must attend the Historic Preservation Commission meeting for action to be taken. See staff approval policy for projects that may not require commission approval. Some projects will require Plan Commission approval and paid and approved building permit. Projects not completed within 1 year of approval date must apply for renewal.

Property Address: _____

12-050-07-13-004

Tax Key #

Current Zoning

Property Owner:

Applicant: Same as Owner

Name

Name

Address

Address

Phone

Phone

Email Address

Email Address

Project Description:

Please describe your project in detail. Include details about height and dimensions, color, materials used, and setbacks from the street and property lines. Describe exterior architectural feature affected, such as windows, roofs, porches, cornices or masonry. Briefly describe the feature or materials and give the approximate date it was constructed, if known. Describe in detail the proposed work and how it will impact the existing feature. If more space is needed, continue on a separate page. _____

The project seeks to combine 2 parcels 12-050-07-11-00, 12-050-07-13-002 with this parcel into a single property for Christ Alone Lutheran Church with a proposed CSM. The intent is to construct a single story garage building approximately 750 SF on the 211 S. Main St. site. The intent is for the garage to be used as a grounds building. The garage will be wood frame, with a sloped roof. The project for Christ Alone includes an addition to the school and church. The materials for the siding will be fiber cement board siding to match the proposed addition to the church. The roof will be dimensional asphalt shingles to match the proposed addition to the church. See attached supporting documents for more information.

Applicant Signature



Date

Application Checklist: *10 Paper copies and an electronic copy with files in PDF format (plan size 11X17) must be submitted for all applicable items below for review and the Historic Preservation Commission Packet.*

Submit Applicable Items Below

- Submit scaled site plan with proposed location and setbacks with accurate dimensions indicating the property size, its relationship to surrounding properties, existing topography, key natural features and show the location of all existing and proposed:
- Exterior Painting** – Color selection with samples of colors. List items to be painted. Provide color samples. See HPC Guidelines for color palate recommendations
- Repairs and Maintenance** – Detail of items to be repaired and materials to be used. If possible, include samples of materials to be used.
- Replacement of Windows, Doors, Siding, etc.** – Detail of items to be replaced and type of materials to be used.
- Roofs** – Type of roofing material and color pattern. Provide roofing sample.
- Lighting plan;** photometric plan, type of fixtures, wattage and location and height of lighting structures.
- Signs** – Type of sign, dimensions, text and color. If sign is to be illuminated, provide lighting details. Completed Village of Thiensville sign review application
- Documents** – Plans, drawings, specifications and colored elevations of proposed alterations, new construction, accessory structures, fencing, or alterations to site plan showing finished exterior treatment and a listing of building materials. Completed Plan Commission application if needed.

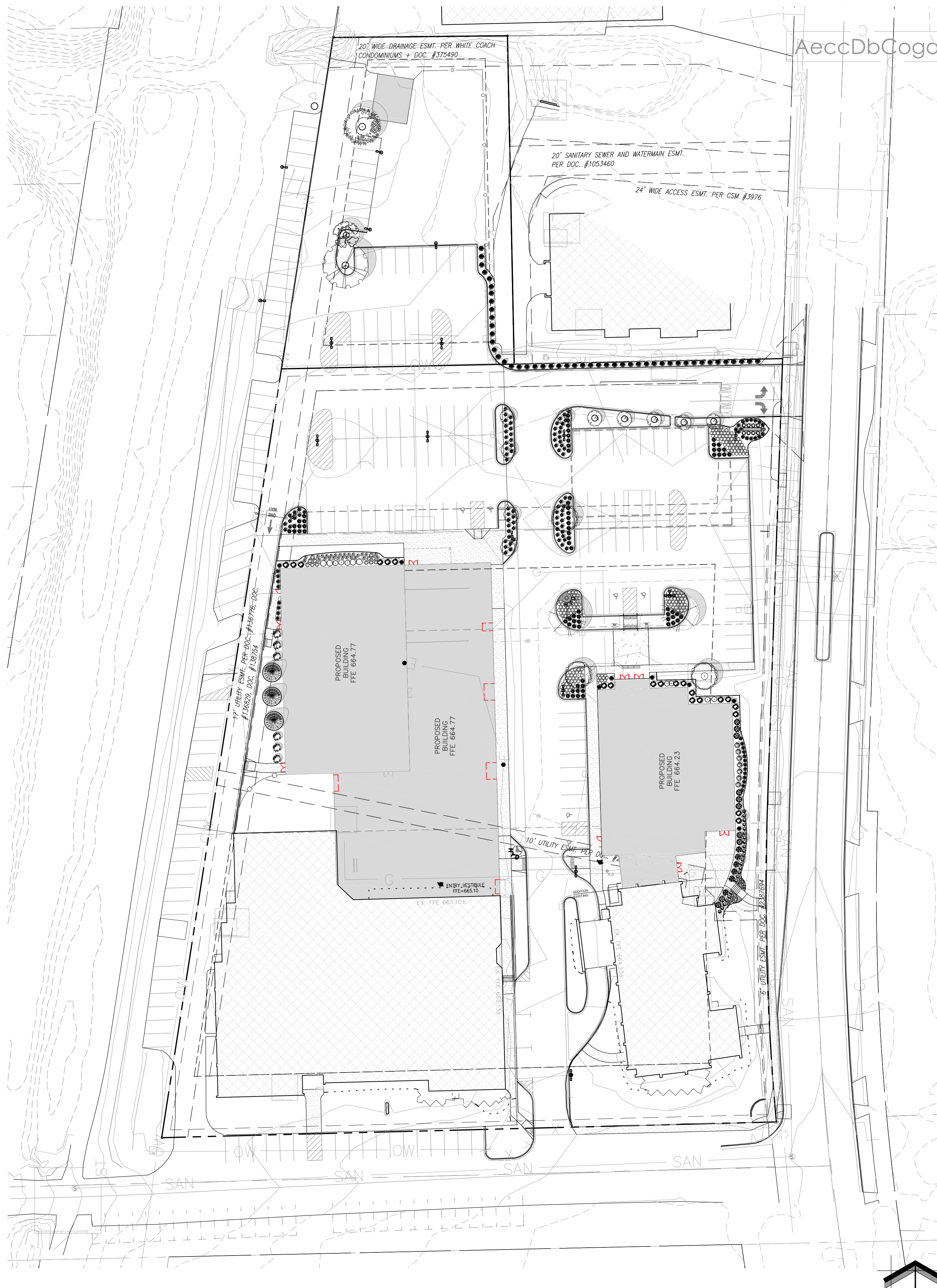
Village Staff Review

- Application Complete. Items needed: _____
- Submitted to Village Clerk on _____ Approved by Staff on _____
- Historic Preservation Meeting Date _____

Additional Remarks/Conditions:

Village Staff Signature

Date



SITE INFORMATION

USDA PLANT HARDINESS ZONE	5a (-20 to -15 Degrees F)
LOT ZONING	
LOT AREA	
SITE BUILDING AREA	
TOTAL IMPERVIOUS	xxxxx SQ. FT. (xxx Acres)
TOTAL GREENSPACE	xxxxx SQ. FT. (xxx Acres)
SITE LANDSCAPE PERCENTAGE	xxx%
TOTAL PARKING STALLS	xxx STALLS

EXISTING CONDITIONS GENERAL NOTES

- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE LANDSCAPE DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA OF DISTURBANCE THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.
- VERIFY LOCATION OF ACCESS PANELS W/ MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS. VERIFY LOCATIONS OF ALL BURIED UTILITIES AND STRUCTURES AND LOCATIONS OF ALL OVERHEAD WIRES.
- VERIFY LOCATION OF ALL EXISTING EASEMENTS.
- INSITE LANDSCAPE DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF INSITE LANDSCAPE DESIGN, INC.

DESIGN COMPLIANCE: THIS LANDSCAPE PLAN IS ACCURATE AND IN COMPLIANCE WITH THE VILLAGE OF THEINSVILLE LANDSCAPE REQUIREMENTS SET FORTH IN SECTIONS 17.1209 CRITERIA FOR REVIEW AND APPROVAL; 17.1210 ARCHITECTURAL REVIEW

CONTRACTOR NOTE: THE LANDSCAPE CONTRACTOR/GENERAL CONTRACTOR ARE RESPONSIBLE TO INSTALL THE LANDSCAPE AS PER THE APPROVED PLAN. IF ANY CHANGES OR DEVIATIONS ARE MADE FROM THE THIS APPROVED PLAN, THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE RESPONSIBLE FOR UPDATING THE PLANS ACCORDINGLY AND SUBMITTING THOSE REVISED PLANS FOR APPROVAL AND "SIGN OFF" WITH THE VILLAGE OF THEINSVILLE. THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE ALSO RESPONSIBLE FOR VERIFYING THAT ANY PLANT MATERIAL SUBSTITUTIONS OR MODIFICATIONS THAT ARE MADE TO THE APPROVED LANDSCAPE DESIGN DOCUMENTS WILL NOT CHANGE OR ALTER ANY OF THE REQUIRED SUPPORTING LANDSCAPE REQUIREMENT CALCULATIONS. UPON COMPLETION OF THE CONSTRUCTION PROJECT AND FILE THAT AFFIDAVIT WITH THE VILLAGE OF THEINSVILLE.

17.0205 SITE REGULATIONS
 D. A Buffer Yard shall be created and maintained around all business districts created after the effective date of this Ordinance. Buffer yards created prior to the effective date of this Ordinance shall be maintained, at a minimum, in their existing condition. Buffer yards shall occupy a minimum of 10 percent of the area of the lot on which they are located and shall be not less than 10 feet in width. Buffer yards shall screen a business from adjoining lands in such a manner that:

- If the buffer yard is composed entirely of plant materials, it shall be of sufficient initial depth and height and of such varieties as to provide adequate visual screening within no more than 2 years and during all seasons of the year.
- Where architectural walls or fences are used, sufficient landscaping shall be used in conjunction with such fence or wall to create an attractive view from the residential side. Any wall or fence shall be not less than 4 feet or more than 6 feet in height.
- Where the land adjacent to the buffer yard is a parking lot, the buffer screen shall be sufficiently opaque to prevent the penetration of headlights glare. All landscaping shall be maintained by the owner or operator to the satisfaction of the Plan Commission.
- No signs shall be permitted on or in any part of the buffer yard.

17.1209 CRITERIA FOR REVIEW AND APPROVAL
 10. Outdoor Lighting Installations:
 B. General Regulations. The following regulations shall apply to all luminaires installed, erected or maintained in any zoning district:

- No light structure shall exceed 20 feet in height unless otherwise approved in accordance with this section. Unless otherwise approved in accordance with this section, all luminaires shall be of a cutoff design and shall be shielded or directed so as to confine the area of light dispersion to the property and/or building area which it is intended to illuminate. More specifically, all lighting installations shall conform to the following standards:
- Lighting wattage shall generally not exceed 250 watts.
- Ground mounted lighting. All grounds mounted luminaires designed or intended for purposes of illuminating building, signs, flagpoles or other onsite amenities shall be completely screened with vegetative cover or other materials as approved by the Plan Commission in order to fully shield the light source from public view.
- Building lighting. All luminaires designed or intended for purposes of lighting any building on the premises shall limit, to the greatest extent possible, spill-over of light into the sky. Building mounted lighting shall be appropriately shielded to prevent glare.
- No site shall have lighting at the perimeter of the parcel that exceeds 2 luminaires measured in any direction 2' from grade.
- Lighting all site fixtures are to be Metal Halide, or Mercury vapor High Intensity discharge. Sodium vapor lamps are not allowed.

LANDSCAPE PLAN GENERAL NOTES

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.

- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
- ALL PLANTINGS SPECIFIED FOR THE CHRIST ALONE EVANGELICAL LUTHERAN CHURCH & SCHOOL PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
- ALL DEVIATIONS FROM THE APPROVED THE CHRIST ALONE EVANGELICAL LUTHERAN CHURCH & SCHOOL. PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
- ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
- PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
- ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN) AND SHALL BE SOODED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
- QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLAN AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
- CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
- WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.
- ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
- GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
- ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
- FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION.
PER EVERY 100 SQUARE FEET ADD: ONE - 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5-10-5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
- ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL CLAY OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.2 FOR FURTHER INFORMATION.
- PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
- ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
- WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER). APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.
- 23. DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301**
 20% KENTUCKY BLUE GRASS
 15% NEWPORT KENTUCKY BLUE GRASS
 15% SR 2100 Kentucky Bluegrass
 25% Creeping Red Fescue
 15% Replicator Perennial Ryegrass
 10% Fiesta 4 Perennial Ryegrass
 APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION CUT SHEETS FOR FURTHER FORMATION
- DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.
MAINTENANCE NOTE: THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:
 • NECESSARY IRRIGATION (IF REQUIRED)
 • INTEGRATED PEST MANAGEMENT,
 • PROPER FERTILIZATION
 • TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED
 • REPLACEMENT OF LOST VEGETATION, AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY.
 • WEED MANAGEMENT AND BED CARE.
- ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROOKLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBOVITAE) RECEIVE AN APPLICATION OF AN ANTI-DESICANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION.
- MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.
- LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

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Project:
CHRIST ALONE EVANGELICAL LUTHERAN CHURCH & SCHOOL
 247 S. Main Street
 Theinsville, WI 53092

Issuance and Revisions:

Date	Number	Description
03/14/25		Preliminary Client Review Submittal
03/18/25		Revisions Based Client Comments
03/20/25		Plan Commission Submittal

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Sheet Title:
PROPOSED OVERALL LANDSCAPE PLAN GENERAL NOTES AND PLANT MATERIAL TABLE

Date of Drawing: 03/20/25
 Scale: 1" = 20'-0"
 Drawn By: MCD
 Job Number: L25-007
 Sheet Number:

LSP1.1

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOT LINE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK
 www.diggershotline.com
 (800) 242-8511
 OR

811
 Know what's below.
 Call before you dig.

1 PROPOSED OVERALL LANDSCAPE PLAN

SCALE: 1" = 40'-0"
 North

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Project:
**CHRIST ALONE
EVANGELICAL
LUTHERAN
CHURCH & SCHOOL**
247 S. Main Street
Theinsville, WI 53092

Issuance and Revisions:

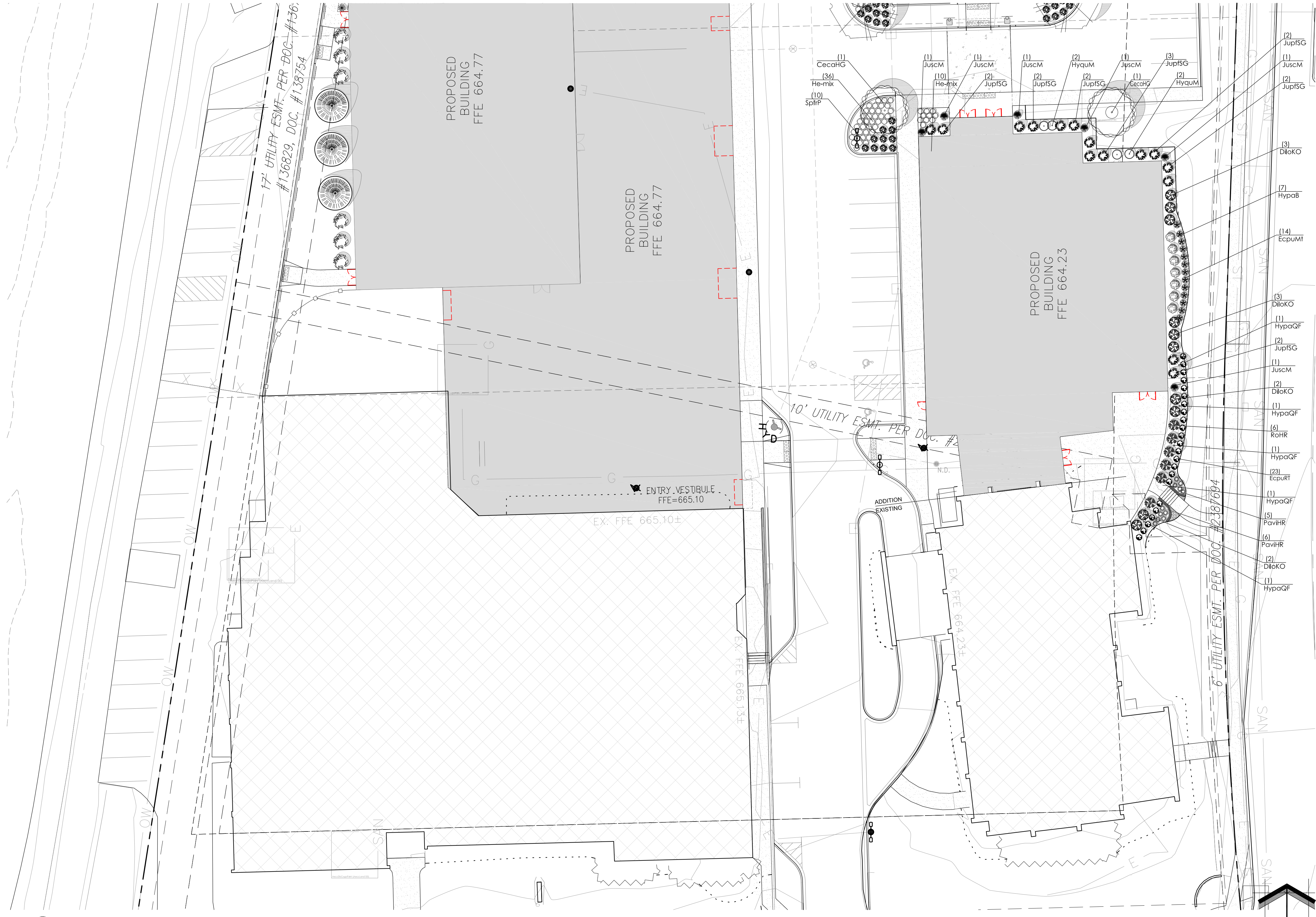
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Sheet Title:
**PROPOSED PARTIAL
LANDSCAPE PLAN - SOUTH
AND PLANT MATERIAL TABLE**

Date of Drawing: 03/20/25
Scale: 1" = 20'-0"
Drawn By: MCD
Job Number: L25-007
Sheet Number:

LSP1.2



1 PROPOSED PARTIAL LANDSCAPE PLAN - SOUTH

Proposed Foundation Plant Material Table - LSP1.2

Broadleaf Deciduous Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
2	CecaHG	○	<i>Cercis canadensis</i> 'Heart of Gold'	Heart of Gold Redbud	2'- Cal - B&B	1
Conifer Evergreen Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
6	JuscM	●	<i>Juniperus scopulorum</i> 'Medora'	Medora Juniper	3' - 4' - B&B	4
Broadleaf Deciduous Shrub						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
10	DiloKO	⊗	<i>Diervilla lonicera</i> Kodiak Orange	Kodiak Orange Bush Honeysuckle Diervilla	18" - Cont	5
7	HypaB	⊗	<i>Hydrangea paniculata</i> 'Bobo'	Bobo Hardy Hydrangea	18" - 24" - B&B	5
5	HypaQF	⊗	<i>Hydrangea paniculata</i> 'Quick Fire'	Quick Fire Hardy Hydrangea	60" - Cont	5, 8
4	HyqUM	⊗	<i>Hydrangea quercifolia</i> 'Munchkin'	Munchkin Oakleaf Hydrangea	18" - Cont	5
13	RoBaCW	⊗	<i>Rosa 'Baicham'</i>	Champagne Wishes Elegance Rose	18" - Cont	5
6	RoHR	⊗	<i>Rosa 'Home Run'</i>	Home Run Rose	18" - 24" - Cont	5
10	SpfrP	⊗	<i>Spiraea fritschiana</i> 'J.N. Select A'	Pink-a-licious Spirea	18" - Cont	5
Conifer Evergreen Shrub						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
15	JupISG	⊗	<i>Juniperus x pfitzeriana</i> 'MonSan'	Sea of Gold Juniper	18" - 24" - B&B	5

Perennial Grass						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
11	PaviHR	☀	<i>Panicum virgatum</i> 'Hot Rod'	Hot Rod Switch Grass	1-Gal - Cont	6
Perennial						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
23	EcpuRT	⊗	<i>Echinacea purpurea</i> 'Raspberry Tart'	Raspberry Tart Coneflower	4 1/2" pot	6
46	He-mix	⊗	Emerocallis mix	Equal Random Mix of Daylily	4 1/2" pot	6
			Emerocallis x 'Swirling Water'	Swirling Water Daylily		
			Emerocallis x 'VER00204'	Yellow Punch Daylily		
			Emerocallis x 'Chicago Apache'	Chicago Apache Daylily		
			Emerocallis x 'Pink Playmate'	Pink Playmate Daylily		

- Comments
- Straight central leader, full & even crown. Prune only after planting.
 - Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and viability for both pedestrians and motorists.
 - Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil. Sow with specified turf grass seed as required.
 - Evenly shaped upright tree with full branching to the ground.
 - Full, well rooted plant, evenly shaped.
 - Full, well rooted plant.
 - Male only
 - Tree-form, Single Stem Specimen

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Project:

**CHRIST ALONE
EVANGELICAL
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Sheet Title:

PROPOSED PARTIAL
LANDSCAPE PLAN - MID
AND PLANT MATERIAL TABLE

Date of Drawing: 03/20/25

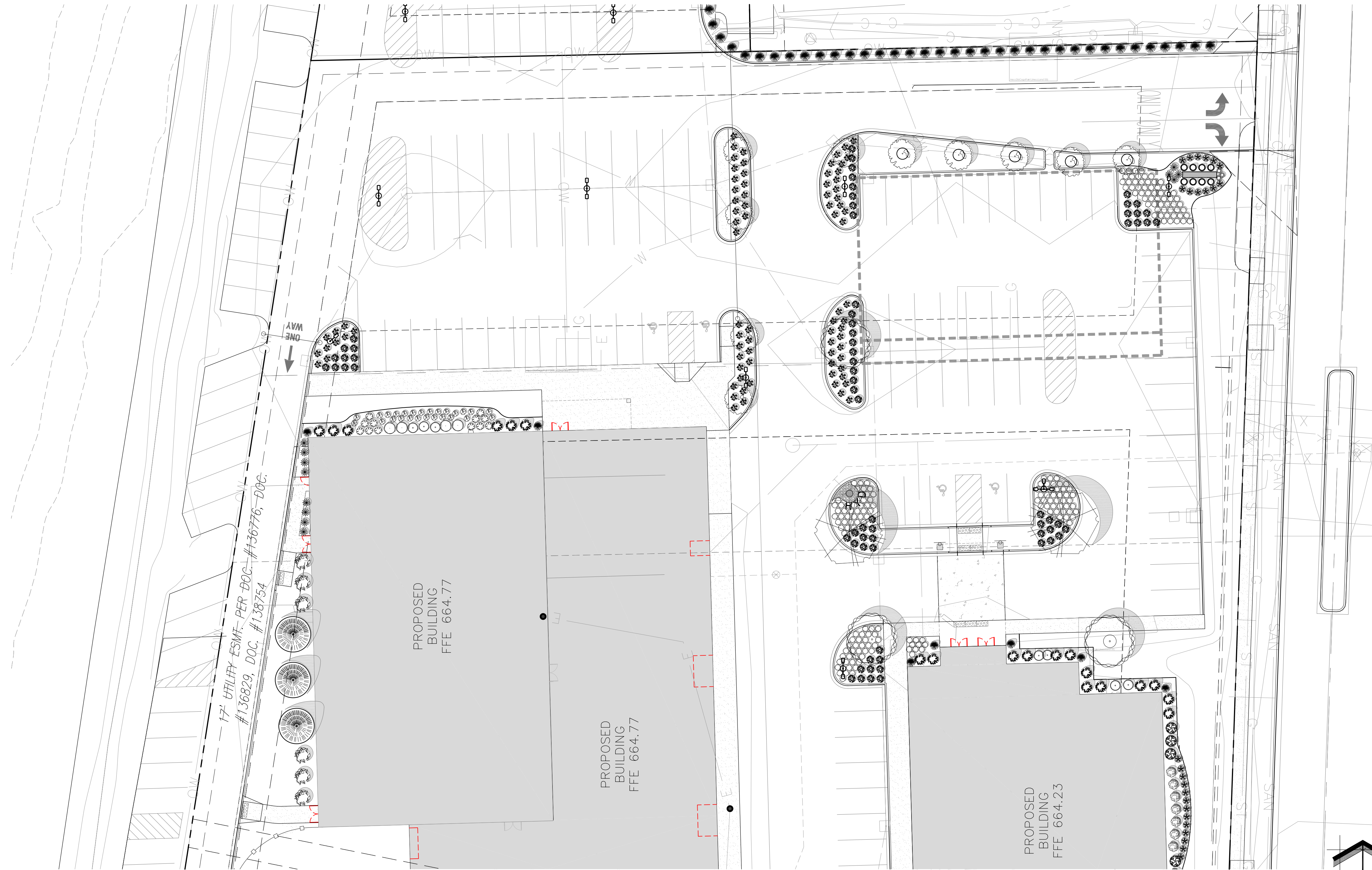
Scale: 1" = 20'-0"

Drawn By: MCD

Job Number: L25-007

Sheet Number:

LSP1.3



1 PROPOSED PARTIAL LANDSCAPE PLAN - MID

SCALE: 1" = 20'-0"

Proposed Plant Material Table - LSP1.3

Broadleaf Deciduous Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
1	CecaHG	☉	<i>Cercis canadensis</i> 'Heart of Gold'	Heart of Gold Redbud	2'- Cal - B&B	1
2	GibiPS	☉	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	2 1/2'- Cal - B&B	1, 7
10	MaM	☉	<i>Malus</i> 'Marilee'	Marilee Flowering Crab	2'- Cal - B&B	1

Conifer Evergreen Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
2	JuscM	☉	<i>Juniperus scopulorum</i> 'Medara'	Medara Juniper	3'- 4' - B&B	4
3	ThpIGG	☉	<i>Thuja plicata</i> 'Green Giant'	Green Giant Arborvitae	5'- 6' - B&B	4

Broadleaf Deciduous Shrub						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	HyquM	☉	<i>Hydrangea quercifolia</i> 'Munchkin'	Munchkin Oakleaf Hydrangea	18" - Cont	5
12	IvifM	☉	<i>Itea virginica</i> 'Fizzy Mizzy'	Fizzy Mizzy Sweetspire	18" - Cont	5
12	RoBaCW	☉	<i>Rosa</i> 'Baicham'	Champagne Wishes Elegance Rose	18" - Cont	5
59	SpfrP	☉	<i>Spiraea fritchiana</i> 'J.N. Select A'	Pink-alciaous Spirea	18" - Cont	5
6	VicaSI	☉	<i>Viburnum carlesii</i> 'J.N. Select A'	Spice Island Koreanspice viburnum	18" - 24" - B&B	5

Broadleaf Evergreen Shrub						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
4	IlvePB	☉	<i>Ilex verticillata</i> 'Berry Poppins'	Berry Poppins Winterberry	18" - Cont	5

Conifer Evergreen Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
6	JupISG	☉	<i>Juniperus x pfitzeriana</i> 'MonSan'	Sea of Gold Juniper	18" - 24" - B&B	5
8	ThocB	☉	<i>Thuja occidentalis</i> 'Bobazam'	Mr. Bowling Ball Arborvitae	18" - Cont	5

Perennial Grass						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	PavHR	☉	<i>Panicum virgatum</i> 'Hot Rod'	Hot Rod Switch Grass	1-Gal - Cont	6
12	PavIN	☉	<i>Panicum virgatum</i> 'Northwind'	Northwind Switch Grass	1-Gal - Cont	6
80	SphET	☉	<i>Sporobolus heterolepis</i> 'Tara'	Tara Prairie Dropseed	1-Gal - Cont	6

Perennial						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
26	Hog	☉	<i>Hosta x Guacamole</i>	Guacamole Plantain Lily	1-Gal - Cont	6
140	He-mix	☉	<i>Hemerocallis mix</i>	Equal Random Mix of Daylily	4 1/2" pot	6
			<i>Hemerocallis x 'Swirling Water'</i>	Swirling Water Daylily		
			<i>Hemerocallis x 'VER0204'</i>	Yellow Punch Daylily		
			<i>Hemerocallis x 'Chicago Apache'</i>	Chicago Apache Daylily		
			<i>Hemerocallis x 'Pink Playmate'</i>	Pink Playmate Daylily		

- Comments
1. Straight central leader, full & even crown. Prune only after planting.
 2. Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and viability for both pedestrians and motorists.
 3. Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil. Sow with specified turf grass seed as required.
 4. Evenly shaped upright tree with full branching to the ground.
 5. Full, well rooted plant, evenly shaped.
 6. Full, well rooted plant.
 7. Male only
 8. Tree-form, Single Stem Specimen

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Project:

**CHRIST ALONE
EVANGELICAL
LUTHERAN
CHURCH & SCHOOL**

247 S. Main Street
Theinsville, WI 53092

Issuance and Revisions:

Date	Number	Description
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03/18/25		Revisions Based Client Comments
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Sheet Title:

PROPOSED PARTIAL
LANDSCAPE PLAN - NORTH
AND PLANT MATERIAL TABLE

Date of Drawing: 03/20/25

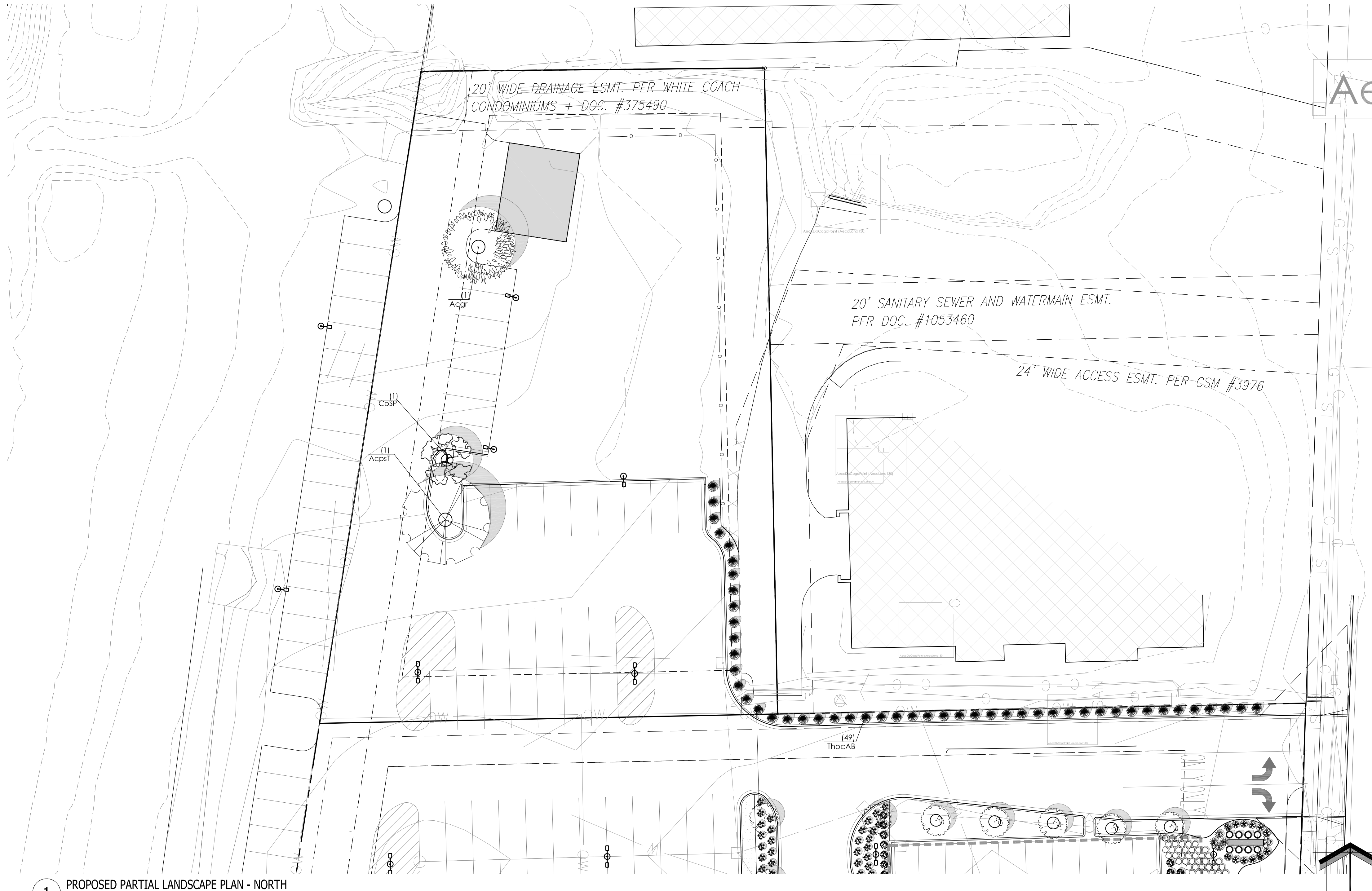
Scale: 1" = 20'-0"

Drawn By: MCD

Job Number: L25-007

Sheet Number:

LSP1.4



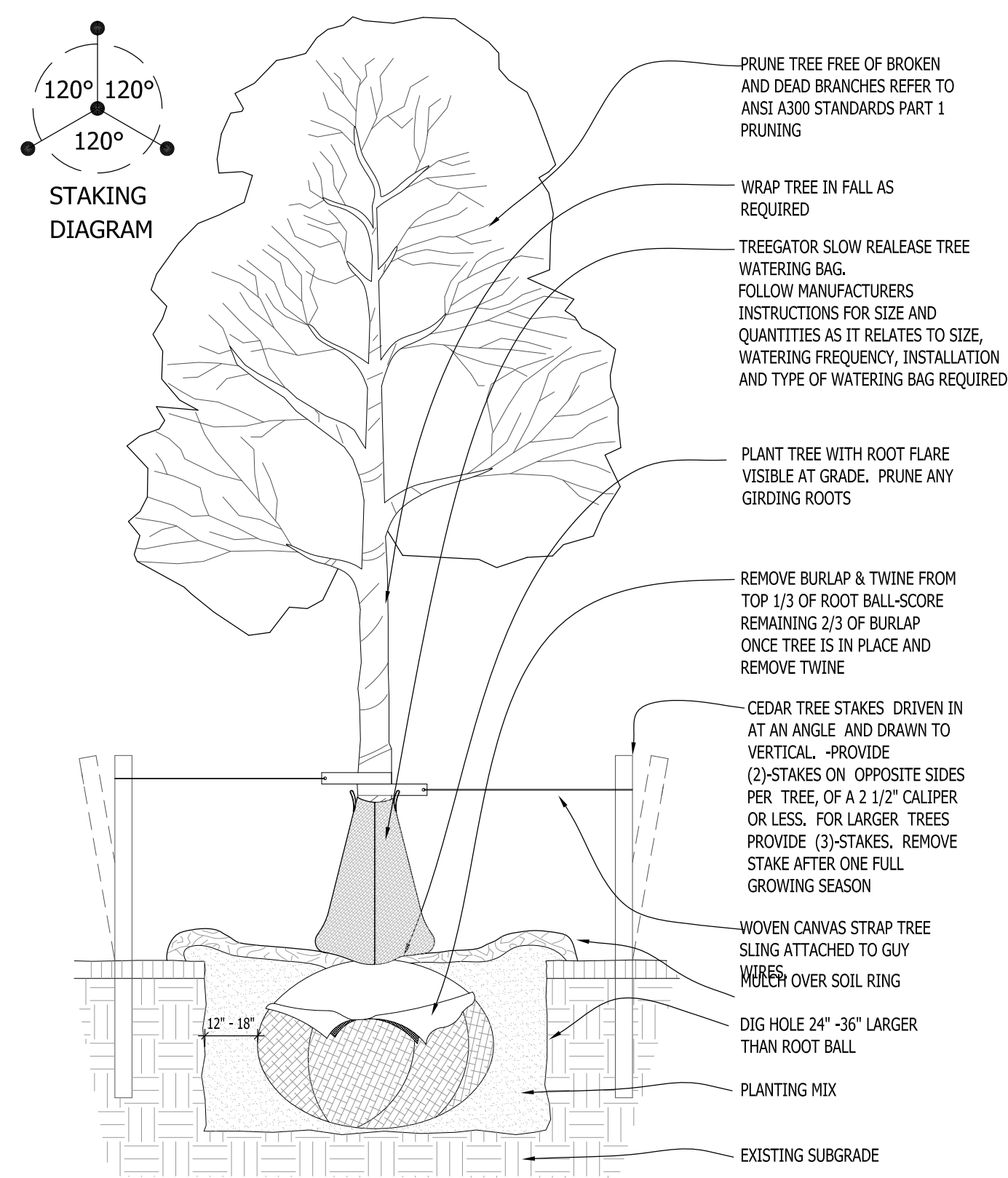
1 PROPOSED PARTIAL LANDSCAPE PLAN - NORTH

Proposed Plant Material Table - LSP1.4

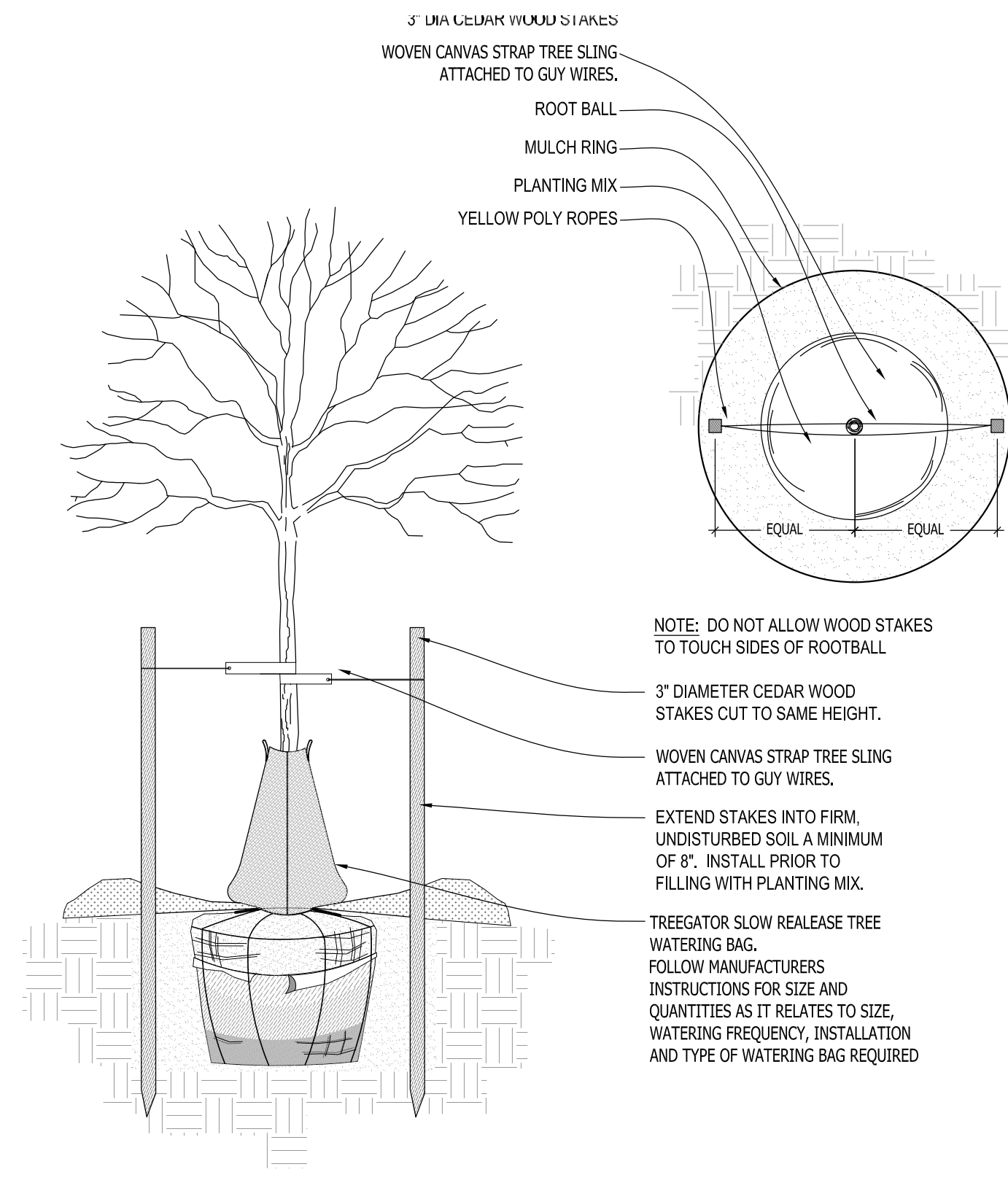
Broadleaf Deciduous Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
1	Acgr		Acer griseum	Paperbark maple	2'-Cal - B&B	1
1	AcpsT		Acer pseudoplatanus 'Turpett'	Regal Petiole Sycamore Maple	2 1/2'-Cal - B&B	1
1	CoSP		Cornus x Rutgan	Stellar Pink Dogwood	1'-Cal - B&B	1
Conifer Evergreen Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
48	ThocAB		Thuja occidentalis 'Art Boe'	North Pole Arborvitae	6' - B&B	4

- Comments
1. Straight central leader, full & even crown. Prune only after planting.
 2. Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and viability for both pedestrians and motorists.
 3. Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil. Sow with specified turf grass seed as required.
 4. Evenly shaped upright tree with full branching to the ground.
 5. Full, well rooted plant, evenly shaped.
 6. Full, well rooted plant.
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 8. Tree-form, Single Stem Specimen

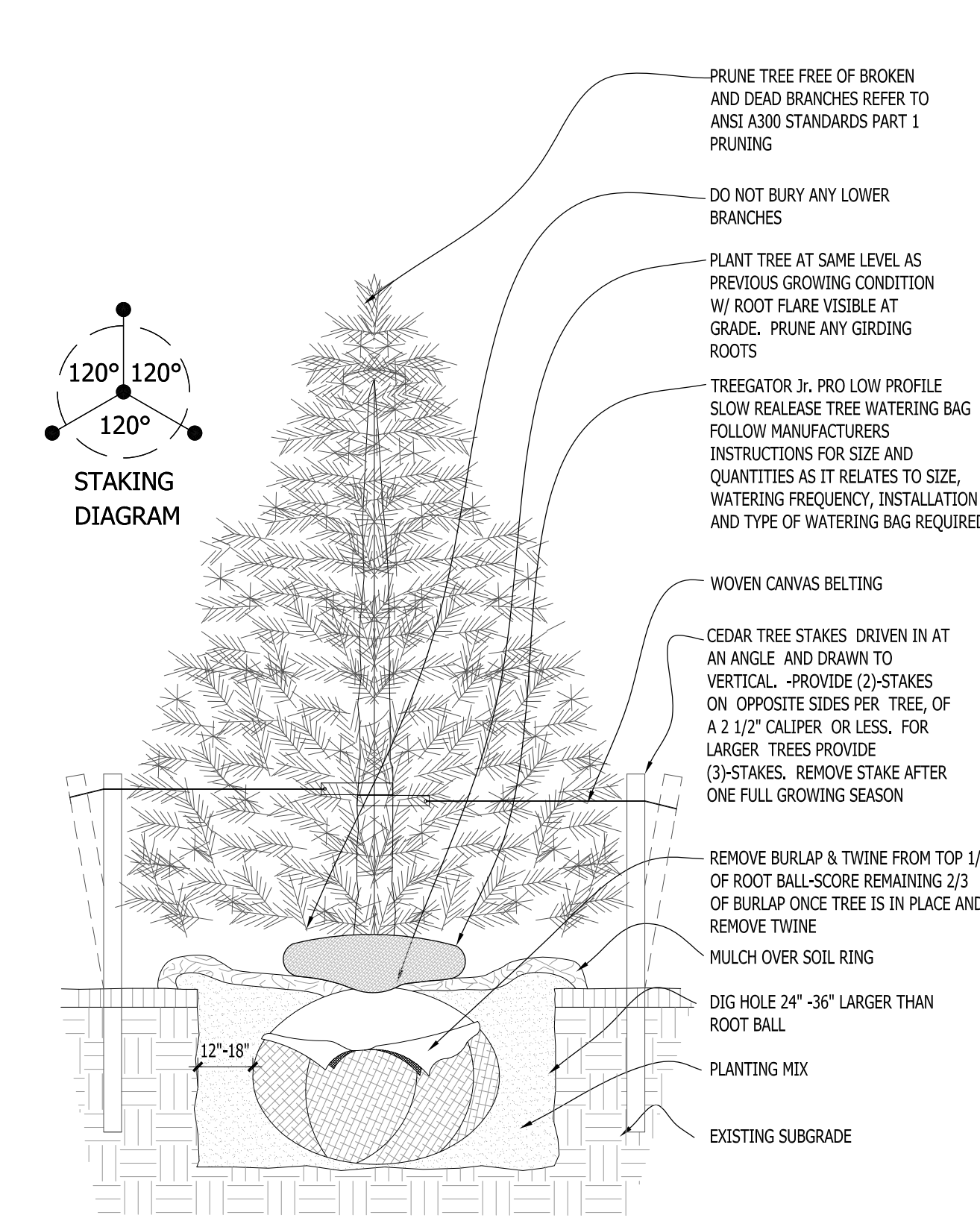
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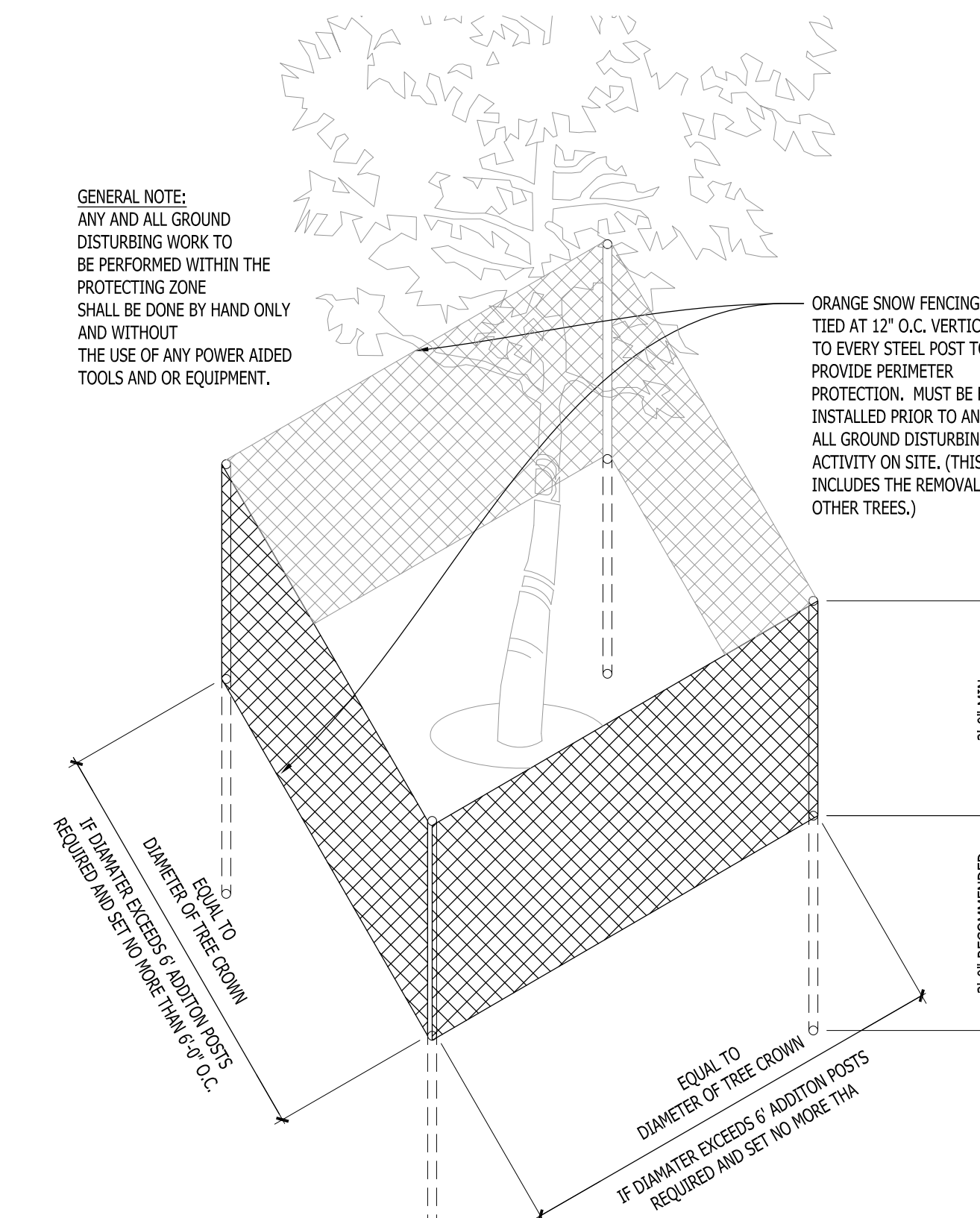
1 DECIDUOUS TREE PLANTING DETAIL SCALE: NONE



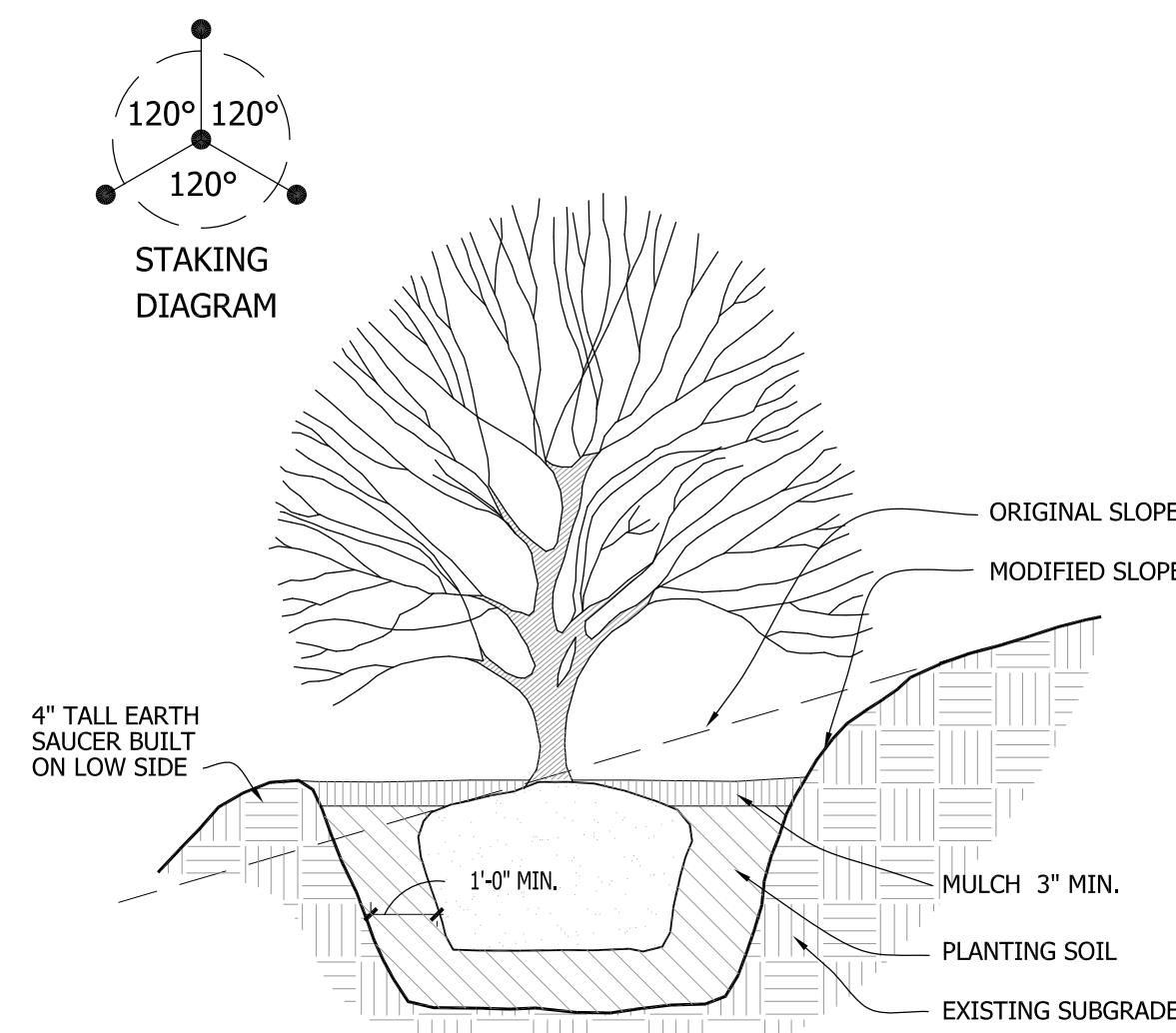
2 DECIDUOUS TREE STAKING PARKING ISLAND/RESTRICTED AREAS SCALE: NONE



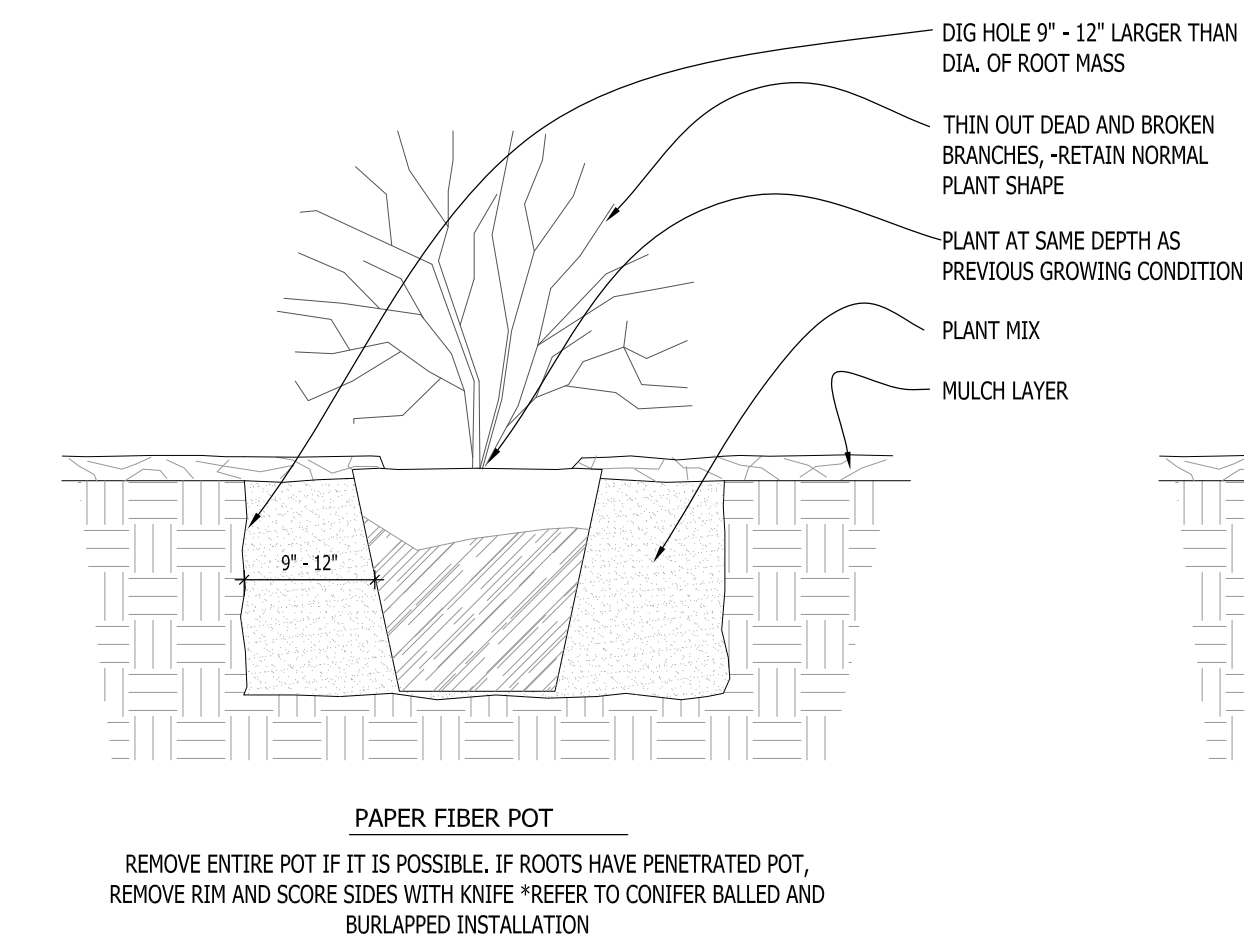
3 CONIFEROUS TREE PLANTING DETAIL SCALE: NONE



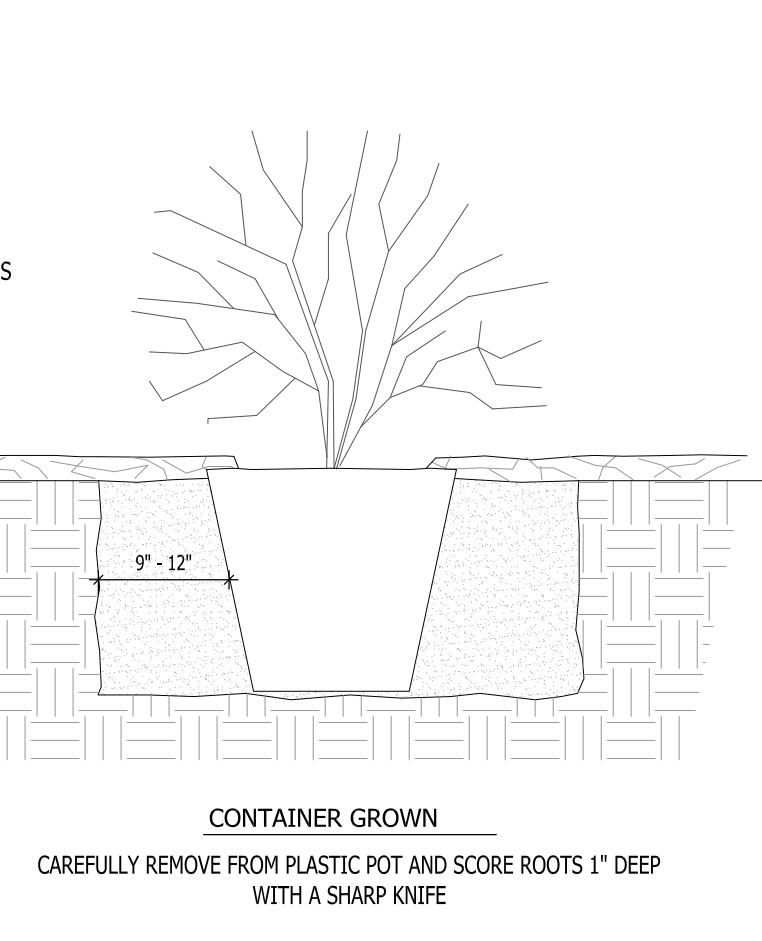
4 EXISTING TREE PROTECTION DETAIL SCALE: NONE



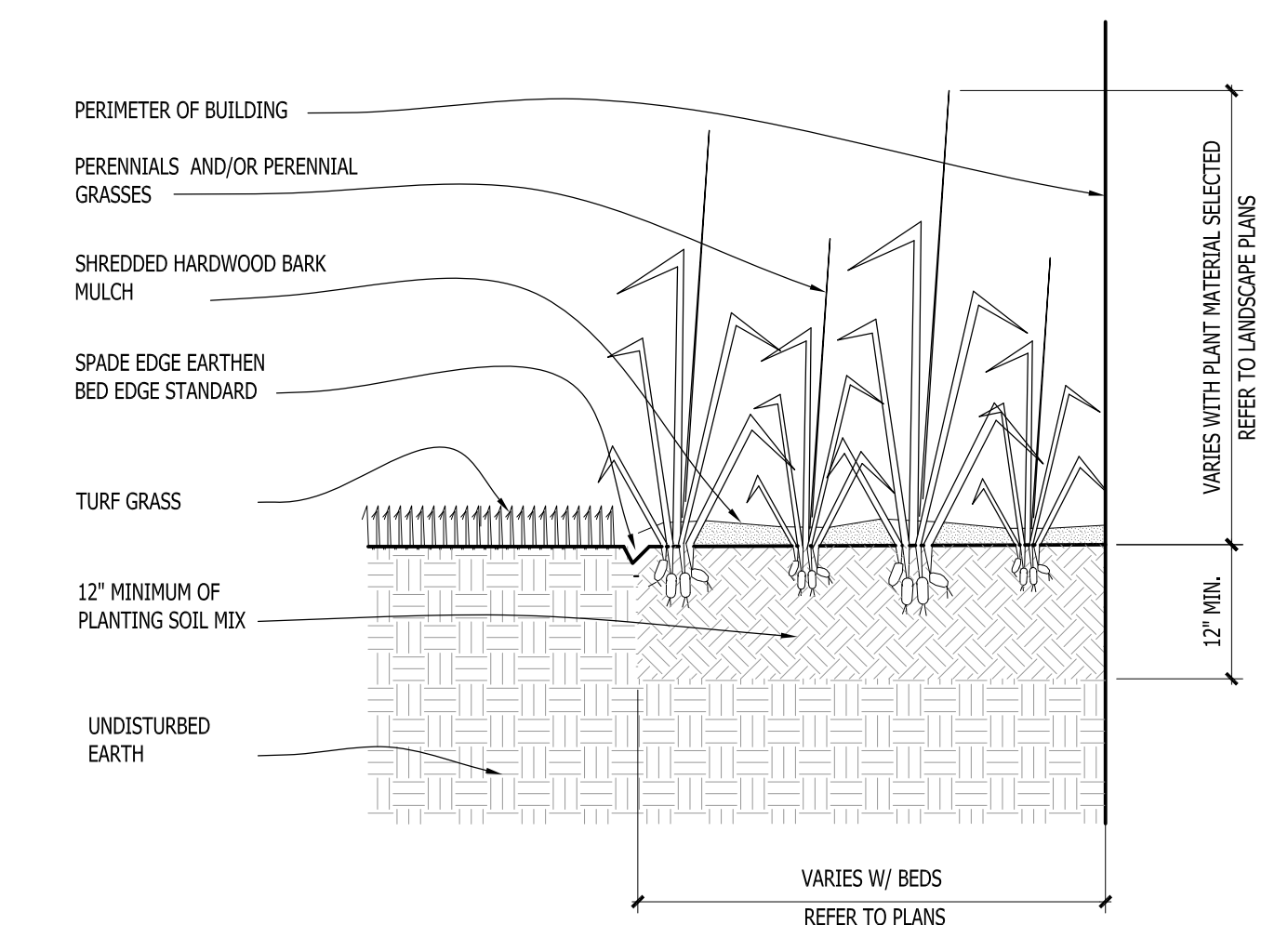
5 SLOPE PLANTING DETAIL SCALE: NONE



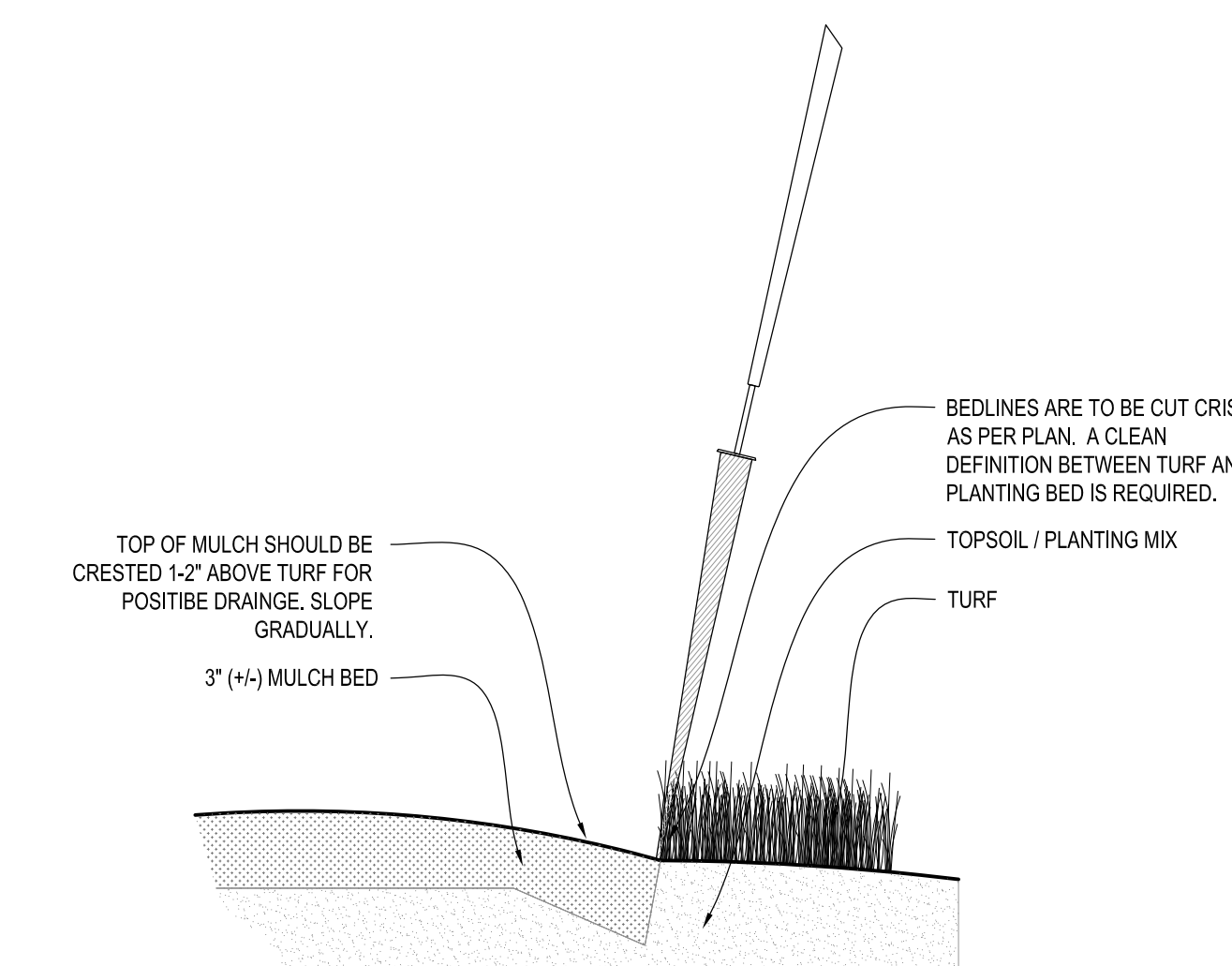
6 DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE



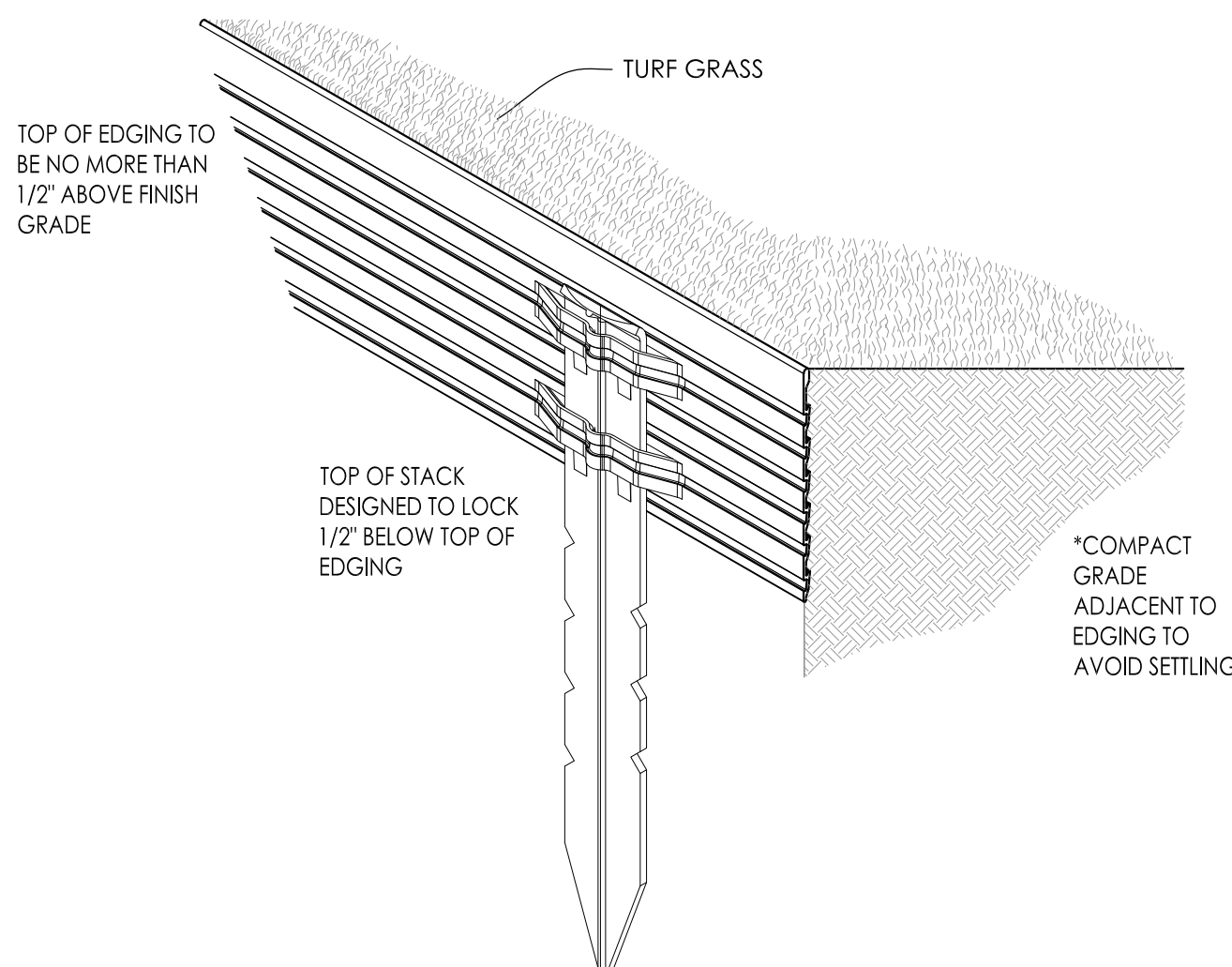
7 CONIFEROUS SHRUB PLANTING DETAIL SCALE: NONE



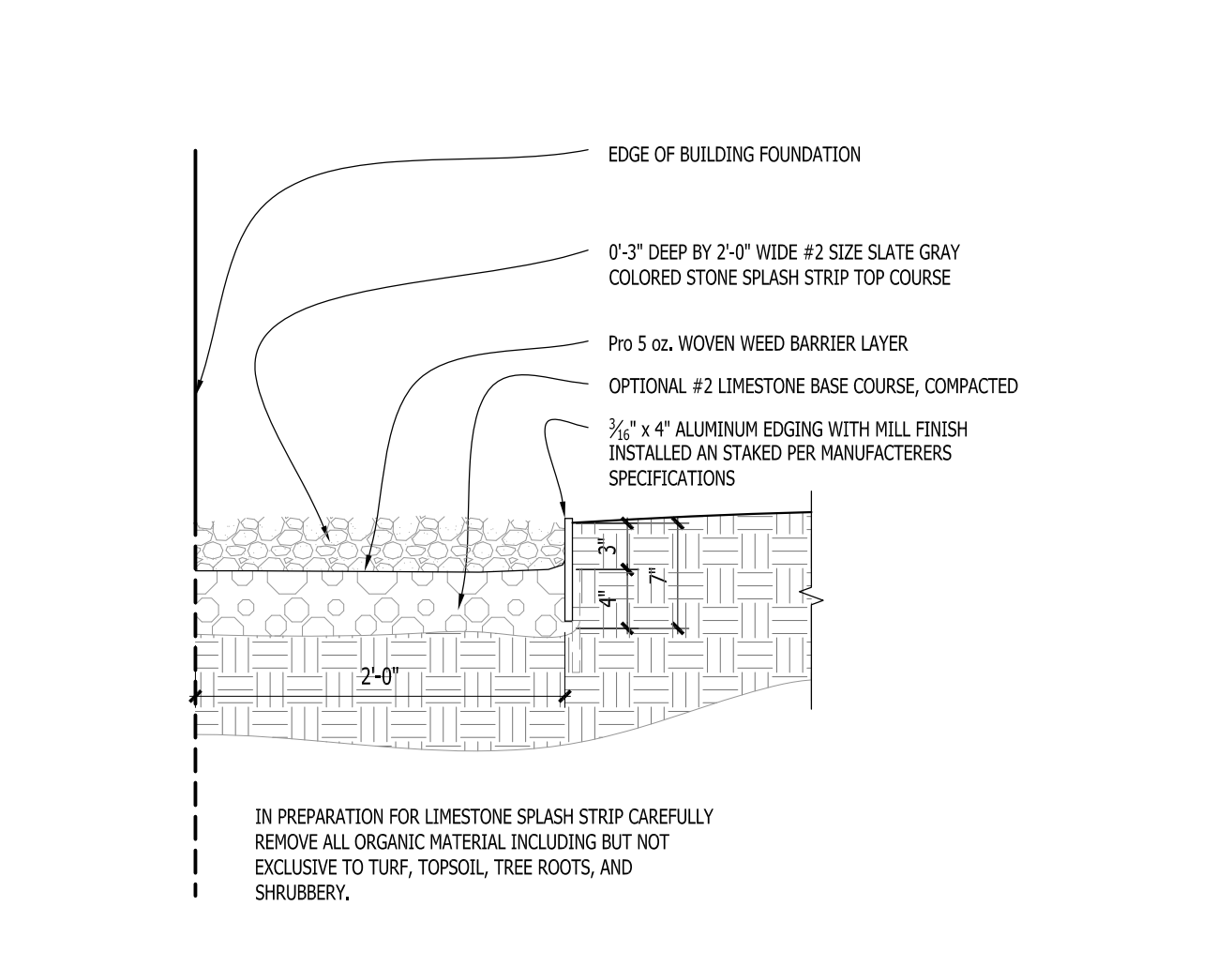
8 PERENNIAL BED PLANTING DETAIL SCALE: NONE



9 SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE



10 METAL LANDSCAPE EDGING DETAIL SCALE: 1/2" = 1'-0"



11 COMPACTED GRAVEL SPLASH STRIP SCALE: 1" = 1'-0"

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Sheet Title:
**PROPOSED LANDSCAPE PLAN,
PLANTING DETAILS**

Date of Drawing: 03/20/25
Scale: As Noted
Drawn By: MCD
Job Number: L25-007
Sheet Number:



Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	A	15	LDN4 - 25LM 35K L04WR TRW LD WD MVOLT UGZ ELR	LITHONIA LIGHTING LDN4 SWITCHABLE 4" DIA. OPEN IC LED SOFFIT DOWNLIGHT	LED	1	2500	1	39
	B	17	EWLS02_40AF740_-120-277V	EWLS02 WALL PACK	LEDs	1	4000	1	27
	E	1	EACL01_F4AF750 WITH ELS-EAC-ABL-BLCK	EACL AREA LIGHT	LEDs	1	13590	1	122
	H	10	EACL01_D3AW740	EACL AREA LIGHT	LEDs	1	10200	1	146
FIXTURE H-1 - EXISTING LOCATION & FOOTING NEW POLE & FIXTURE									
	J	1	EACL01_H4AF750	EACL AREA LIGHT	LEDs	1	20000	1	459
	K	4	EACL01_D3AW740 WITH ELS-EAC-ABL-BLCK	EACL AREA LIGHT	LEDs	1	9050	1	73
	L	8	EWLS02_40AF740_-120-277V	EWLS02 WALL PACK	LEDs	1	4000	1	27
EXISTING WALL PACK LIGHT SHOWN FOR REFERENCE ONLY									
	M	8	ECLS01_ASM730_-120-277V	EVOLVE CANOPY LED SOFFIT - ECLS01	LED	1	5200	1	30
EXISTING CANOPYLIGHT SHOWN FOR REFERENCE ONLY									

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.9 fc	40.1 fc	0.0 fc	N/A	N/A

- LUMINAIRE NOTES**
- FIXTURE "E" (1) IS A NEW POLE LOCATION w/ NEW POST TOP FIXTURE (TRIPLE HEAD AND TENONS). FIXTURES ARE TO BE INSTALLED ON A NEW 2'-6" TALL REINFORCED POURED CONCRETE FOUNDATION AND NEW 16'-0" SQUARE BLACK POLE.
 - FIXTURE "J" (1) IS A NEW POLE LOCATION w/ NEW POST TOP FIXTURE (TWIN HEAD AND TENONS). FIXTURES ARE TO BE INSTALLED ON A NEW 2'-6" TALL REINFORCED POURED CONCRETE FOUNDATION AND NEW 16'-0" SQUARE BLACK POLE.
 - FIXTURE "K" (4) IS A NEW POLE LOCATION w/ NEW POST TOP FIXTURE (TRIPLE HEAD AND TENONS). FIXTURES ARE TO BE INSTALLED ON A NEW 2'-6" TALL REINFORCED POURED CONCRETE FOUNDATION AND NEW 16'-0" SQUARE BLACK POLE.
 - FIXTURE "L" (8) IS AN EXISTING POLE LOCATION w/ NEW POST TOP FIXTURE (SINGLE HEAD AND TENONS). FIXTURES ARE TO BE INSTALLED ON AN EXISTING REINFORCED POURED CONCRETE FOUNDATION AND NEW 16'-0" SQUARE BLACK POLE.
 - ALL PROPOSED FIXTURE HEADS ARE TO BE DARK-SKY COMPLIANT AND HAVE HARDWARE WITH BESNA FULL CUTOFF HOUSE SIDE SHIELDING WHERE REQUIRED. NEW PROPOSED POLE MOUNTED FIXTURES (HEADS AND TENONS) FINISH IS TO MATCH EXISTING w/ OPTIONAL PHOTOCELL CONTROL.
 - ALL NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL EXPOSED FORM MARKS REMOVED. GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.
 - ALL NEW PROPOSED AREA LIGHT POLES SHALL BE LOCATED 3'-0" FROM BACK OF CURB TO THE EDGE OR FACE OF THE REINFORCED LIGHT POLE BASE, UNLESS NOTED OTHERWISE.
 - INSTALLATION CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR CONDUIT ROUTING OF LIGHT POLES AND SIGNAGE LIGHTING CONTROL AND WIRING.
 - CONTRACTOR TO REFER TO REINFORCED LIGHT POLE BASE SECTION AND DETAIL FOR FURTHER INFORMATION.
 - PROPOSED POLE MOUNTED FIXTURES (HEADS AND TENONS) ARE TO HAVE A SILVER FINISH w/ OPTIONAL PHOTOCELL CONTROL.
 - ALL EXTERIOR FIXTURES, BOTH BUILDING MOUNTED AND POLE FIXTURES SHALL BE DESIGNED AND INSTALLED SUCH THAT THE LIGHT EMITTED FROM THE LUMINAIRE AT AN ANGLE OF 90 DEGREES FROM VERTICAL (OR MORE) AND NO LIGHT SHALL TRESPASS ACROSS PARCEL BOUNDARIES INTO ADJACENT LOTS, BUILDINGS OR STREETS IN EXCESS OF 1.0 FOOT CANDLE OR GREATER.
 - ALL BUILDING MOUNTED LIGHT FIXTURES ARE TO BE COORDINATED WITH THE ARCHITECTURAL ELEVATIONS FOR EXACT MOUNTING HEIGHTS AND LOCATIONS.
 - FOR PURPOSES OF CALCULATING THE SITE POLE LIGHTING AND PHOTOMETRIC OUTPUT LUMINAIRE WERE PLACED AT 22'-0" ABOVE FINISHED FLOOR ELEVATION AND ALL BUILDING MOUNTED FLOOD LIGHTS COORDINATED WITH THE ARCHITECTURAL ELEVATIONS AND PLACED AT HEIGHTS SPECIFIED ON THE BUILDING ELEVATIONS.
- THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS ARE CALCULATED VALUES INCLUDE DIRECT AND INTER-REFLECTED COMPONENT AND ILLUMINATION LEVELS. CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDINGS CURBS, LANDSCAPING, OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED.

- PHOTOMETRIC PLAN GENERAL NOTES**
- BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POLE PLACEMENTS AND LUMINAIRE ORIENTATION. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO RELEVANT FIELD CONDITIONS.
 - THE DEPICTED ILLUMINATION RESULTS ARE BASED UPON ILLUMINATION MEASUREMENTS AS CALCULATED BY AN INDEPENDENT LABORATORY. LUMINAIRE CHARACTERISTICAL DATA WAS MEASURED UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH APPROVED ILLUMINATION ENGINEERING SOCIETY METHODS. ACTUAL ON-SITE PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY FROM LABORATORY TEST RESULTS DUE TO VARIATIONS IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
 - IF EXISTING LUMINAIRES ARE INCLUDED IN THIS REPORT, THEIR ILLUMINATION CHARACTERISTICS ARE BASED UPON A COMBINATION OF CUSTOMER'S PROVIDED SPECIFICATIONS & OUR BEST ESTIMATION.
 - ALL EXISTING AND NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.

- EXISTING CONDITIONS GENERAL NOTES**
- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE ARCHITECTURAL DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.
 - VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES I.E. WATER, SEWER, ELECTRICAL, TELECOMMUNICATION AND ACCESS PANELS FOR ALL UTILITIES AND ALL ASSOCIATED EQUIPMENT FOR ACCESSIBILITY OF THOSE ITEMS.
 - VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

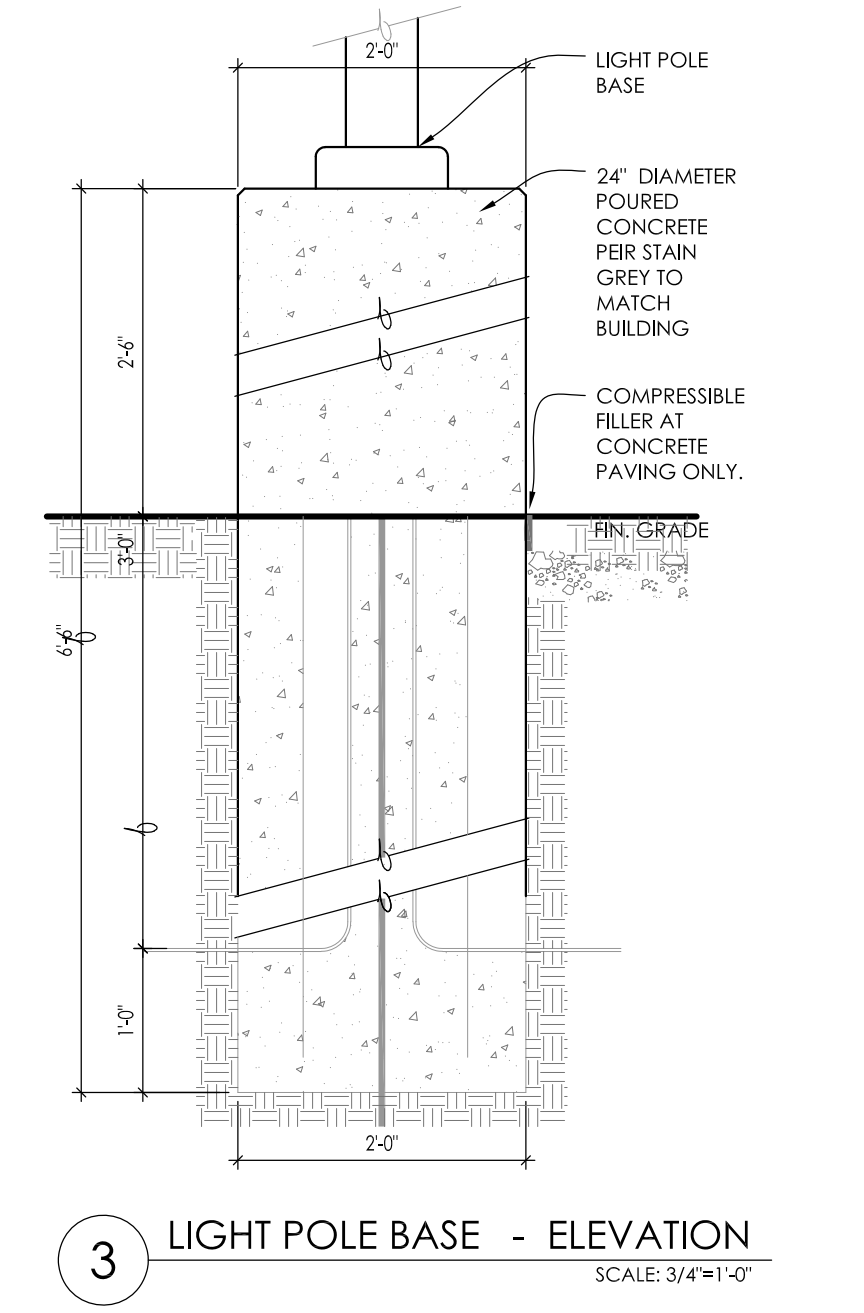
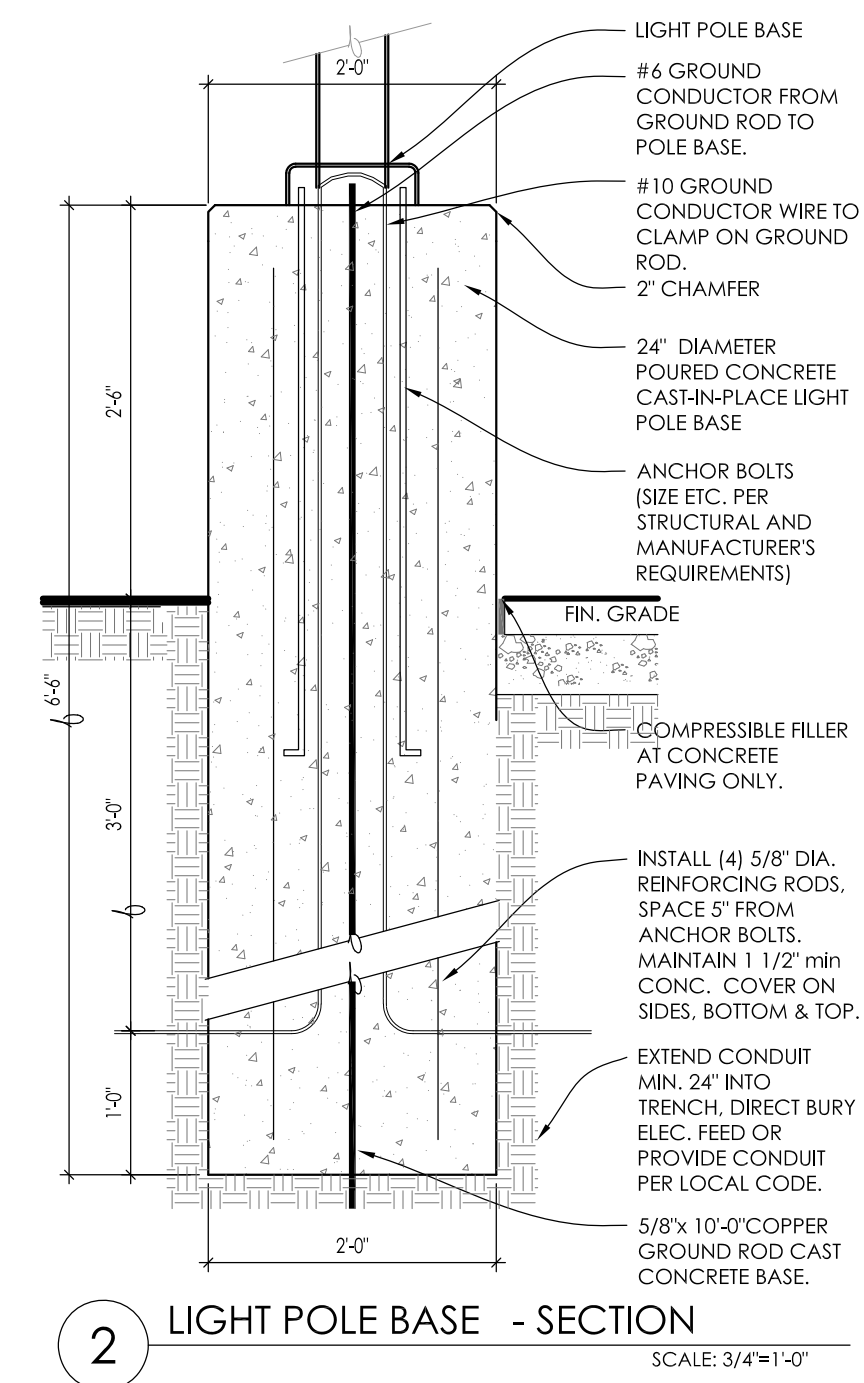
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Call before you dig.



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Landscape Consulting
& Master Planning Design Services
11525 W. North Avenue, Suite 1B
Wauwatosa, WI 53226
Tel (414) 476-1204
www.insitedesigninc.com
mdavis@insitedesigninc.com

Project:
**CHRIST ALONE
EVANGELICAL
LUTHERAN
CHURCH & SCHOOL**
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Theinsville, WI 53092

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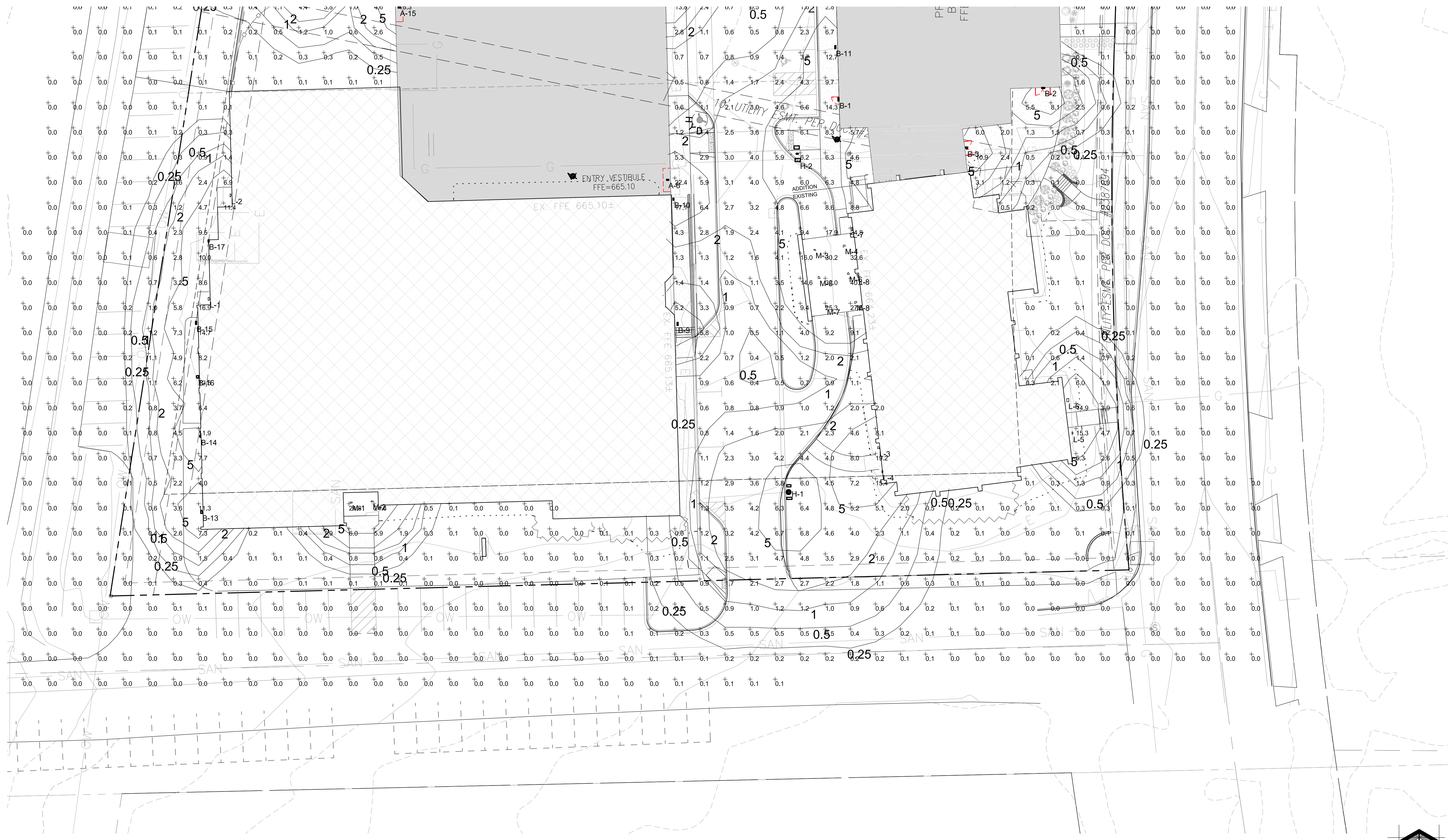
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Sheet Title:
PROPOSED OVERALL SITE LIGHTING PLAN, GENERAL NOTES, AND LIGHT FIXTURE TABLE

Date of Drawing: 03/20/25
Scale: 1" = 40'-0"
Drawn By: MCD
Job Number: L25-007
Sheet Number:

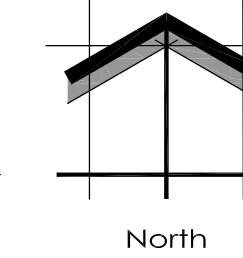
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1 PROPOSED PARTIAL PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN - SOUTH

SCALE: 1" = 40'-0"



Project:
**CHRIST ALONE
 EVANGELICAL
 LUTHERAN
 CHURCH & SCHOOL**
 247 S. Main Street
 Theinsville, WI 53092

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Sheet Title:
 PROPOSED PARTIAL PHOTOMETRIC LIGHTLEVELS CALCULATIONS PLAN - SOUTH

Date of Drawing: 03/20/25
 Scale: 1" = 20'-0"
 Drawn By: MCD
 Job Number: L25-007
 Sheet Number:

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DIGGERS HOT LINE

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Sheet Title:

PROPOSED PARTIAL PHOTOMETRIC LIGHTLEVELS CALCULATIONS PLAN - MID, GENERAL NOTES, AND LIGHT FIXTURE TABLE

Date of Drawing: 03/20/25

Scale: 1" = 20'-0"

Drawn By: MCD

Job Number: L25-007

Sheet Number:

PHO1.3



1 PROPOSED PARTIAL PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN - MID

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOT LINE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK
www.diggershotline.com
(800)-242-8511
OR
811
Know what's below.
Call before you dig.

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Project:

**CHRIST ALONE
EVANGELICAL
LUTHERAN
CHURCH & SCHOOL**

247 S. Main Street
Theinsville, WI 53092

Issuance and Revisions:

Date	Number	Description
03/14/25		Preliminary Client Review Submittal
03/18/25		Revisions Based Client Comments
03/20/25		Plan Commission Submittal

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Sheet Title:

PROPOSED PARTIAL PHOTOMETRIC LIGHTLEVELS CALCULATIONS PLAN - NORTH

Date of Drawing: 03/20/25

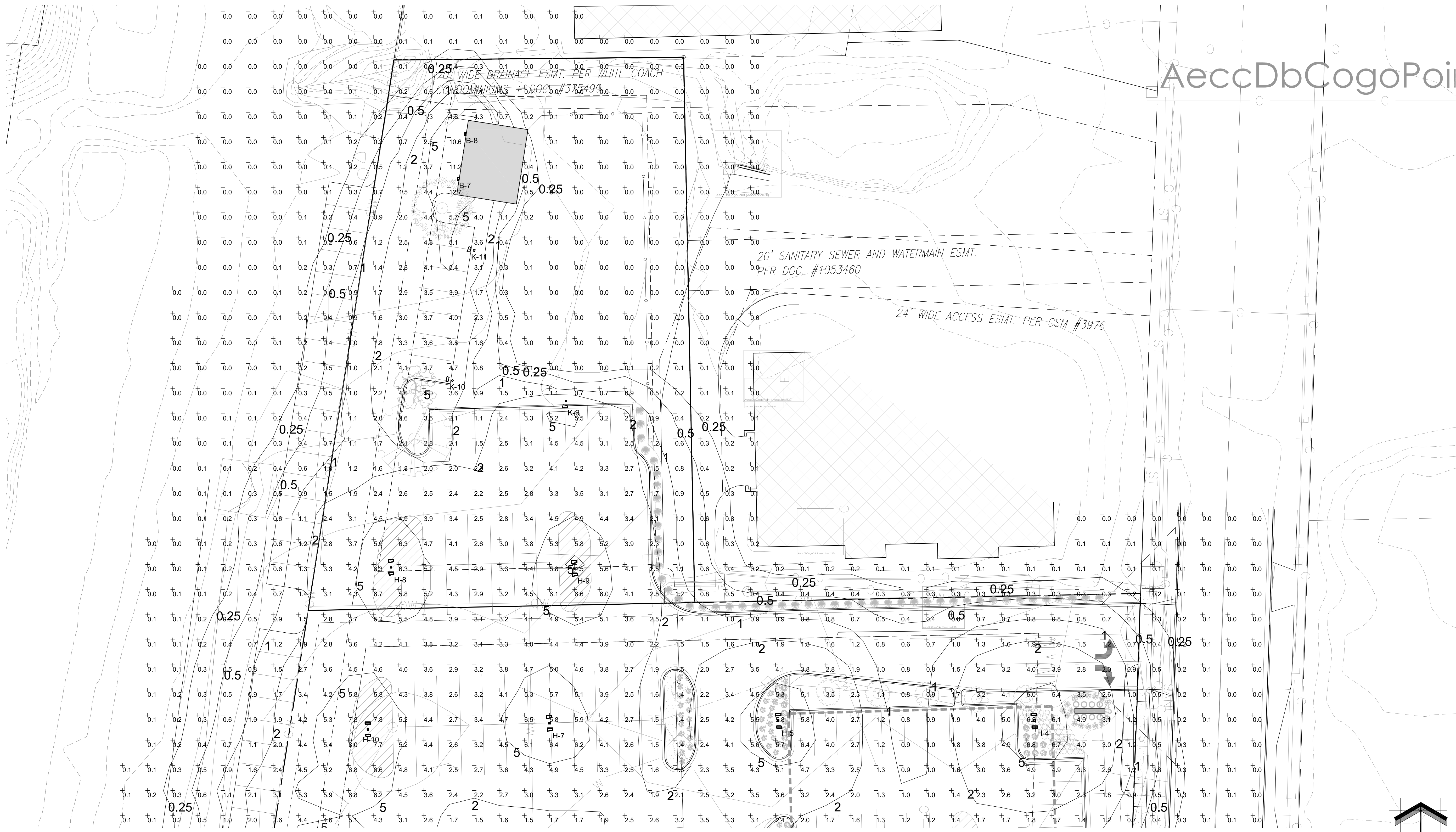
Scale: 1" = 20'-0"

Drawn By: MCD

Job Number: L25-007

Sheet Number:

PHO1.4



1 PROPOSED PARTIAL PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN - NORTH

SCALE: 1" = 40'-0"
North

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOT LINE

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EVOLVE

EPTC Twin Support Contemporary LED Post Top Light

Project Name: _____ Type: _____
Date: _____
Notes: _____

The **Evolve**® LED Post Top Twin Support Contemporary (EPTC) offers energy efficiency and quality of light in your choice of two distinct, modern styles.

Construction

Housing: Contemporary housing design. Die cast aluminum base with a spun aluminum top.
Lens: UV resistant acrylic
Paint: Corrosion resistant polyester powder paint, minimum 2.0 mil thickness. Standard = Black, Dark Bronze RAL, & custom colors available.
Weight: 29.8 lbs. (13.5 kgs.) - 30.8 lbs. (14.0 kgs.)

Lumen Maintenance

Projected Lx per IES TM-21 at 25°C

Lumen Codes	Distribution	LX(XXX) @ Hours
05 - 09	A, B	197 50,000 HR 195 60,000 HR

Note: Projected Lx based on IES TM-21 at 25°C. All industry accepted industry standards apply to initial luminous flux and lumen maintenance measurements.

Luminaire Ambient Temperature Factor

Ambient Temp (°C)	Initial Flux Factor	Ambient Temp (°C)	Initial Flux Factor
10	1.02	30	0.99
20	1.01	40	0.98
25	1.00	50	0.97

Optical System

Lumens: 2,500 - 9,500
Distribution: Symmetric Type V, Asymmetric Type III
Efficacy: 103 - 118 LPW
CCT: 3000K, 4000K
CRI (Min): ≥70

Electrical

Input Voltage: 120-277V and 347-480V
Input Frequency: 50/60Hz
Power Factor: ≥ 90% at rated watts
Total Harmonic Distortion: ≤ 20% at rated watts

Surge Protection*

STANDARD: 6kV/3kA
OPTIONAL: 10kV/5kA

*Per ANSI C136.2-2015

Page 1 of 4
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Current LED.com (Rev. 12/16/23) DUSP01_807

EVOLVE

EPTC Twin Support Contemporary LED Post Top Light

Project Name: _____ Type: _____
Date: _____
Notes: _____

Ordering Information

EPTC 02

PROB. ID	GEN.	VOLTAGE	LUMENS	DISTRIBUTION	CCT	CONTROLS PER ANSI C136.2-1	TOP TYPE	COLOR	OPTIONS
B = Revolve	02	0 = 120-277V 1 = 347-480V	03 = 3000 lm 04 = 4000 lm 05 = 5000 lm 06 = 6000 lm 07 = 7000 lm 08 = 8000 lm 09 = 9000 lm	A = Symmetric Type V B = Asymmetric Type III	30 = 3000K 40 = 4000K	1 = None 2 = 7-Pin PE Receptacle w/ Shoring Cap 3 = 7-Pin PE Receptacle w/ Non-Dimming PE	A = Street Circular B = Tapered Cone DKBZ = Dark Bronze	BLCK = Black DKBZ = Dark Bronze	B = Secondary 19kV/3kA SPD L1 = DALI Programmable XXX = Special Options

Optical Code

OPTICAL CODE	DIST CODE	TYPICAL INITIAL LUMEN OUTPUT	TYPICAL SYSTEM WATTAGE	BUG RATINGS
03		3100	2900	27
04		4100	3800	35
05		5100	4800	43
06		6100	6000	54
07		7100	6900	65
08		8100	7900	74
09		9100	8800	85

For additional information on EPTC IES files, please refer to LED.com

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Current LED.com (Rev. 12/16/23) DUSP01_807

EVOLVE

EPTC Twin Support Contemporary LED Post Top Light

Project Name: _____ Type: _____
Date: _____
Notes: _____

Photometric Plots

EPTC02
Symmetric (Type V)
9,500 Lumens
4000K
EPTC02_09A00_IES

EPST02
Asymmetric (Type III)
9,500 Lumens
4000K
EPTC02_09B00_IES

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EVOLVE

EPTC Twin Support Contemporary LED Post Top Light

Project Name: _____ Type: _____
Date: _____
Notes: _____

Mounting & Accessories

Mounting
Mounts to 2-3/8" to 3-inch (60-76mm) OD vertical tenon
Suggested Mounting Height = 8-16 ft. (2.5-5 m)

Weight
29.8 lbs (13.5 kgs) - 30.8 lbs (14.0 kgs)

Effective Projected Area
1.12 sq. ft. max (0.10 sq. m)

Page 4 of 4
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Current LED.com (Rev. 12/16/23) DUSP01_807

1 GE EVOLVE POST TOP -- FIXTURES E, H, & J

EVOLVE

SSSE Series Poles Square | Straight | Steel

Project Name: _____ Type: _____
Date: _____
Notes: _____

APPLICATIONS

Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location.

CONSTRUCTION

Shaft: One-piece straight steel with square cross section. Flat sides and minimum 0.25" radius on all corners. Minimum yield of 46,000 psi (ASTM A500, Grade B). Longitudinal weld seam to appear flush with shaft side wall. Steel base plate with axial bolt circle slots welded to pole shaft having minimum yield of 36,000 psi (ASTM A36).

Base Cover: Two-piece square aluminum base cover included standard.

Pole Cap: Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available.

Hand Hole: Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening). Mounting provisions for grounding lug located behind gasketed cover.

Anchor Bolts: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling.

Anchor Bolt Part Numbers:
• 3/4" x 3" x 3 - TAB-30-M38
• 1" x 36" x 4 - TAB-36-M38

FINISH

- Durable thermoseal polyester powder coat paint finish with nominal 3.0 mil thickness.
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method.
- Decorative finish coat available in multiple standard colors. Custom colors available; RAL number preferable.

10 DAY - EVOLVE EXPRESS SHIP PROGRAM

- Ships in 10 days
- Limit of 15 poles

Page 1 of 5
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Current LED.com (Rev. 12/16/23) SSSE Pole

EVOLVE

SSSE Series Poles Square | Straight | Steel

Project Name: _____ Type: _____
Date: _____
Notes: _____

Ordering Information

Example: SSSE25-40A-2-E2-DKBZ-UL

FINISH	HEIGHT	SHAFT THICKNESS	POLE DRILLING	FINISH	OPTIONS
SSSE - Carbon Square Straight Steel Pole	10-10 ft.	40"-4" Square A-0.125"	1 - Single arm mount 2 - Two fixtures at 90° 2L - Two fixtures at 90° 3T - Three fixtures at 90° 4 - Four fixtures at 90°	DKBZ - Dark Bronze BLCK - Black GRAY - Gray	GFP - 20 Amp GFCI Receptacle and Cover EHH - Extra Handhole COP - GFCI Coupling COP2 - GFCI Coupling MPP - Mid Pole Luminaire Bracket VM1 - 1st mode vibration damper VM2 - 2nd mode vibration damper LAB - Less Anchor Bolts UL - UL Certified

NOTES

- Removable tenon used in conjunction with side arm mounting. First specify desired arm.
- Specify custom location using MOUNTING ORIENTATION logic on this page.
- Not available with VM1 - Mode Vibration Damper.
- VM1 recommended on poles 20' and taller with EM of less than 1 if field installed.
- EM = Maximum Allowable Equivalent Mass. See page 2 of this manual for more information on this metric.
- Factory installed.

MOUNTING ORIENTATION

Denotes handhole location

DRILL PATTERNS

UNIVERSAL DRILL PATTERN (UDP)

ACCESSORIES - ORDER SEPARATELY

CATALOG NUMBER	DESCRIPTION
VM1*	1st mode vibration damper
VM2**	2nd mode vibration damper

* XX - 08 for E, 12 for L, 16 for 2L, 20 for 3T, and 24 for 4.
Note: Field install through handhole.

Page 2 of 5
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Current LED.com (Rev. 12/16/23) SSSE Pole

EVOLVE

SSSE Series Poles Square | Straight | Steel

Project Name: _____ Type: _____
Date: _____
Notes: _____

CATALOG NUMBER	HEIGHT FEET	HEIGHT METERS	NOMINAL SHAFT DIMENSIONS	WALL THICKNESS	BOLT CIRCLE (SUGGESTED)	BOLT CIRCLE (RANGE)	BASE PLATE SQUARE	ANCHOR BOLT SIZE	BOLT PROJECTION	POLE WEIGHT
SSSE25-40A	10	3.0	4" square	0.125"	9"	9"-9"	540-720	9"	3/4"x30"x0"	3.5 77
SSSE25-40B	12	3.7	4" square	0.125"	9"	9"-9"	540-720	9"	3/4"x30"x0"	3.5 86
SSSE25-40C	14	4.3	4" square	0.125"	9"	9"-9"	540-720	9"	3/4"x30"x0"	3.5 93
SSSE25-40D	16	4.9	4" square	0.125"	9"	9"-9"	540-720	9"	3/4"x30"x0"	3.5 100
SSSE25-40E	18	5.5	4" square	0.125"	9"	9"-9"	540-720	9"	3/4"x30"x0"	3.5 105
SSSE25-40F	20	6.1	4" square	0.125"	9"	9"-9"	540-720	9"	3/4"x30"x0"	3.5 109
SSSE25-40G	25	7.6	4" square	0.125"	9"	9"-9"	540-720	9"	3/4"x30"x0"	3.5 125
SSSE25-40H	30	9.1	4" square	0.125"	9"	9"-9"	540-720	9"	3/4"x30"x0"	3.5 139
SSSE25-50A	10	3.0	5" square	0.1875"	11"	10"-10"	700-840	10.5"	3/4"x30"x0"	3.5 152
SSSE25-50B	12	3.7	5" square	0.1875"	11"	10"-10"	700-840	10.5"	3/4"x30"x0"	3.5 161
SSSE25-50C	14	4.3	5" square	0.1875"	11"	10"-10"	700-840	10.5"	3/4"x30"x0"	3.5 166
SSSE25-50D	16	4.9	5" square	0.1875"	11"	10"-10"	700-840	10.5"	3/4"x30"x0"	3.5 171
SSSE25-50E	18	5.5	5" square	0.1875"	11"	10"-10"	700-840	10.5"	3/4"x30"x0"	3.5 176
SSSE25-50F	20	6.1	5" square	0.1875"	11"	10"-10"	700-840	10.5"	3/4"x30"x0"	3.5 179
SSSE25-50G	25	7.6	5" square	0.1875"	11"	10"-10"	700-840	10.5"	3/4"x30"x0"	3.5 192
SSSE25-50H	30	9.1	5" square	0.1875"	11"	10"-10"	700-840	10.5"	3/4"x30"x0"	3.5 204
SSSE25-50K	25	7.6	5" square	0.25"	11"	10.25"-10.25"	725-917	11.5"	1/2"x36"x4"	4.5 417
SSSE25-50L	30	9.1	5" square	0.25"	11"	10.25"-10.25"	725-917	11.5"	1/2"x36"x4"	4.5 507
SSSE25-60A	20	6.1	6" square	0.1875"	12"	11.00"-11.25"	781-937	12.25"	1/2"x36"x4"	5.0 399
SSSE25-60B	25	7.6	6" square	0.1875"	12"	11.00"-11.25"	781-937	12.25"	1/2"x36"x4"	5.0 494
SSSE25-60C	30	9.1	6" square	0.1875"	12"	11.00"-11.25"	781-937	12.25"	1/2"x36"x4"	5.0 479
SSSE25-60D	35	10.7	6" square	0.1875"	12"	11.00"-11.25"	781-937	12.25"	1/2"x36"x4"	5.0 554
SSSE25-60E	40	12.2	6" square	0.1875"	12"	11.00"-11.25"	781-937	12.25"	1/2"x36"x4"	5.0 626

NOTES

- Factory supplied tenon must be used when using 3rd bolt. Current will carry data for correct and proper placement including how to follow to use factory supplied tenon and anchor bolts.

ACCESSORIES

- EHH - EXTRA HANDHOLE**: 3" x 5" x 1/2" (76x127x13mm) steel plate with 1/2" (13mm) thick flange.
- COP - GFCI COUPLING**: 1/2" (13mm) thick flange.
- VM1 - VIBRATION DAMPER 1ST MODE**: Field installed 1st mode damper designed to reduce 1st mode vibration of pole.
- VM2 - VIBRATION DAMPER 2ND MODE**: Field installed 2nd mode damper designed to reduce 2nd mode vibration of pole.
- VM2SX - VIBRATION DAMPER 2ND MODE**: Field installed 2nd mode damper designed to reduce 2nd mode vibration of pole.
- VM2SX4 - VIBRATION DAMPER 2ND MODE**: Field installed 2nd mode damper designed to reduce 2nd mode vibration of pole.
- GFP - 20 AMP GFCI RECEPTACLE & COVER**: 20 amp GFCI receptacle and cover.
- MPP - MID POLE BRACKET**: Mid pole bracket designed to hold luminaire in place.
- OPTION ORIENTATION**: Pole orientation options.

Page 3 of 5
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Current LED.com (Rev. 12/16/23) SSSE Pole

2 GE EVOLVE SSSE SERIES 16'-0" POLES

Project:

CHRIST ALONE EVANGELICAL LUTHERAN CHURCH & SCHOOL

247 S. Main Street
Theinsville, WI 53092

Issuance and Revisions:

Date	Number	Description
03/14/25		Preliminary Client Review Submittal
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Sheet Title:

PROPOSED SITE LIGHT FIXTURES

Date of Drawing: 03/20/25

Scale: NONE

Drawn By: MCD

Job Number: L25-007

Sheet Number:

PHO1.6

L25-007 - CHRIST ALONE EVANGELICAL LUTHERAN CHURCH & SCHOOL - 03/20/2025

EVOLVE

CUSTOMER NAME _____
PROJECT NAME _____ TYPE _____
DATE _____ CATALOG NUMBER _____

EACL® Series
LED Area Light/Compact Low Wattage

Current's EACL Series of Area Light Luminaire offers a wide range of optical patterns, color temperatures, lumen packages, and mounting configurations to optimize area light applications, as well as provide versatility in lighting design within the same form factor.



Construction

Housing: Die-cast aluminum housing with integral heat sink for maximum heat transfer
Corrosion resistant polyester powder paint, minimum 2.0 mil thickness
Paint: Standard - Black, Dark Bronze Gray, White (RAL & custom colors available)
Optional coastal finish available.
Weight: 18 lbs (8.16 kg) Max depending on configuration

Optical System

Lumens: 2,000 - 20,400
Distribution: Asymmetric Forward Type IV
Asymmetric Wide Type III
Asymmetric Narrow/Auto Type II
Efficacy: 123 - 143 LPW
CCT: 3000K, 4000K, 5000K
CRI: >70

Electrical

Input Voltage: 120-277V & 347-480V
Input Frequency: 50/60Hz
Power Factor: > 90% at rated watts
Total Harmonic Distortion: < 20% at rated watts

Surge Protection*

Typical (E2) Shielded
Enhanced (H2) Shielded
6kV/3kA* 10kV/3kA*

Warranty 5 Year (Standard)

LED.com
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EVOLVE

CUSTOMER NAME _____
PROJECT NAME _____ TYPE _____
DATE _____ CATALOG NUMBER _____

EACL® Series
LED Area Light/Compact Low Wattage

Ordering Information

EACL 01 0 F4 AF 7 50 N D D1 GRAY

PROJ ID	GEN	VOLTAGE	OPTIC CODE	DISTRIBUTION	CRI (MIN)	CCT	DRIVEN*	CONTROLS	Mounting ASB	COLOR	OPTIONS
E-Evolve	01	0 = 120-277V 1 = 347-480V	Asn-3000K Asn-4000K Asn-5000K	AF = Asymmetric Forward AN = Asymmetric Narrow/Auto AW = Asymmetric Wide	7 = 70 50 = 50	30 = 3000K 40 = 4000K 50 = 5000K	D = 1-Phase 3 = 3-Phase	1 = None 2 = Fading 3 = Fading + Dimming 4 = Fading + Dimming + Light Sensor	D1 = 1-Phase D2 = 2-Phase D3 = 3-Phase	BLK = Black GRY = Gray	F = Fading L = Light Sensor S = Sensor V = Vibration W = Weather X = X-Radiation Y = Y-Radiation Z = Z-Radiation

Lumen Maintenance

Projected Lx per IES TM-21-11 at 25°C
LUMEN CODES 26,000 HR 60,000 HR 60,000 HR

LUMEN CODES	26,000 HR	60,000 HR	60,000 HR
A2, A3, A4, B2, B3, B4, C2, C3, C4, D2, D3, D4, E2, E3, E4, F2, F3, F4	L94	L90	L88
H2, H3, H4	L97	L96	L96

Luminaire Ambient Temperature Factor

AMBIENT TEMP (°C)	INITIAL FLUX FACTOR	AMBIENT TEMP (°C)	INITIAL FLUX FACTOR
10	1.02	30	0.99
20	1.01	40	0.98
25	1.00	50	0.97

Operating Temperature: -40°C to 50°C
Vibration: 3G Vibration per ANSI C136.3-2018
LM-79: Testing in accordance with IESNA Standards

Controls

Standard - 0-10V
Optional - DALI (Option U)
Photo Electric Sensors (PE) available
LightSight and Danbee Compatible

LED.com
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EVOLVE

CUSTOMER NAME _____
PROJECT NAME _____ TYPE _____
DATE _____ CATALOG NUMBER _____

EACL® Series
LED Area Light/Compact Low Wattage

OPTICAL CODE	DIST CODE	CLASSIFICATION	TYPICAL LUMENS		TYPICAL SYSTEM WATTAGE		BID PATTERNS	
			3000K	4000K/5000K	120-277V	347-480V	3000K	4000K/5000K
AA			2100	2100	31	33	E140-G	E140-G
BA			4800	4900	38	38	E140-G	E140-G
CA			7200	7300	55	55	E140-G	E140-G
DA			9600	9600	72	72	E140-G	E140-G
EA			12000	12000	96	96	E140-G	E140-G
FA			14100	14100	113	113	E140-G	E140-G
HA			18000	18000	144	144	E140-G	E140-G
IA			21600	21600	173	173	E140-G	E140-G
JA			25200	25200	202	202	E140-G	E140-G
KA			28800	28800	231	231	E140-G	E140-G
LA			32400	32400	260	260	E140-G	E140-G
MA			36000	36000	289	289	E140-G	E140-G
NA			39600	39600	318	318	E140-G	E140-G
OA			43200	43200	347	347	E140-G	E140-G
PA			46800	46800	376	376	E140-G	E140-G
QA			50400	50400	405	405	E140-G	E140-G
RA			54000	54000	434	434	E140-G	E140-G
SA			57600	57600	463	463	E140-G	E140-G
TA			61200	61200	492	492	E140-G	E140-G
UA			64800	64800	521	521	E140-G	E140-G
VA			68400	68400	550	550	E140-G	E140-G
WA			72000	72000	579	579	E140-G	E140-G
XA			75600	75600	608	608	E140-G	E140-G
YA			79200	79200	637	637	E140-G	E140-G
ZA			82800	82800	666	666	E140-G	E140-G
AA			86400	86400	695	695	E140-G	E140-G
BA			90000	90000	724	724	E140-G	E140-G
CA			93600	93600	753	753	E140-G	E140-G
DA			97200	97200	782	782	E140-G	E140-G
EA			100800	100800	811	811	E140-G	E140-G
FA			104400	104400	840	840	E140-G	E140-G
GA			108000	108000	869	869	E140-G	E140-G
HA			111600	111600	898	898	E140-G	E140-G
IA			115200	115200	927	927	E140-G	E140-G
JA			118800	118800	956	956	E140-G	E140-G
KA			122400	122400	985	985	E140-G	E140-G
LA			126000	126000	1014	1014	E140-G	E140-G
MA			129600	129600	1043	1043	E140-G	E140-G
NA			133200	133200	1072	1072	E140-G	E140-G
OA			136800	136800	1101	1101	E140-G	E140-G
PA			140400	140400	1130	1130	E140-G	E140-G
QA			144000	144000	1159	1159	E140-G	E140-G
RA			147600	147600	1188	1188	E140-G	E140-G
SA			151200	151200	1217	1217	E140-G	E140-G
TA			154800	154800	1246	1246	E140-G	E140-G
UA			158400	158400	1275	1275	E140-G	E140-G
VA			162000	162000	1304	1304	E140-G	E140-G
WA			165600	165600	1333	1333	E140-G	E140-G
XA			169200	169200	1362	1362	E140-G	E140-G
YA			172800	172800	1391	1391	E140-G	E140-G
ZA			176400	176400	1420	1420	E140-G	E140-G

For additional information on Non-Shielded and Shielded EACLIES files, please refer to LED.com

LED.com
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EVOLVE

CUSTOMER NAME _____
PROJECT NAME _____ TYPE _____
DATE _____ CATALOG NUMBER _____

EACL® Series
LED Area Light/Compact Low Wattage



PE Accessories (To Be Order Separately)

SAP NUMBER	PART NUMBER	DESCRIPTION
9003962	WANS-277	ANSI 18-44 Dimming PE Drive Enable 120-277V
9003963	WANS-480	ANSI 18-44 Dimming PE Drive Enable 120-277V
9003964	PE-M-LED-7	ANSI C84-48 Dimming PE, 347-480V
9003965	PE-S-LED-7	ANSI C84-48 Dimming PE, 347-480V
9003966	PE-S-LED-7	ANSI C84-48 Dimming PE, 480V

Shield Orientation


SHIELD ORIENTATION	CUTOFF DISTANCE	SHIELD ORDER LOGIC
Back	Long	EIS EACL-RL-BLCK

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1 GE EVOLVE EACL SERIES AREA LUMINARIES - FIXTURE K

EVOLVE

EACL Series Luminaires
Shielding Specification & Ordering Guide



The next evolution of the Evolve® LED Area Light delivers even better trespass control. Current's exclusive reflective optical ring design produces superior vertical illuminance and efficiently directs the light without wasteful and unneeded light spill into neighboring properties. Due to the extensive variety of parking lot configurations coupled with tightening ordinances, Current now offers a full array of shielding to accommodate challenging sites.

The shielding options available for the Evolve® Area Light focus on the following applications:

- Left & Right Cutoff
- Front Cutoff
- Backlight Control & B-U-G Improvement

Within each of the shielding families, there are multiple shielding cutoff levels that are categorized in mounting height (MH) increments. Current accommodates cutoff distance from the pole from 1MH to 2.5 MH in 0.5 MH increments. The shields that are listed are for the most common applications. Please contact the manufacturer if your need is not listed.

All shields can be installed easily in the field. The next evolution of the Evolve® LED Area Light and shielding options will help you meet any parking lot challenge.

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2 GE EVOLVE EACL SERIES LUMINARIES SHIELDING - FIXTURE K

EVOLVE

SSSE Series Poles
Square | Straight | Steel

Project Name _____
Date _____ Type _____
Notes _____

APPLICATIONS

Lighting installations for side and top mounting of luminaires with installed geographic location.

CONSTRUCTION

Shaft: One-piece straight steel with square cross section, flat sides and minimum 0.23" radius on all corners. Minimum yield of 46,000 psi (ASTM A500, Grade B). Longitudinal weld seam to appear flush with shaft side wall. Steel base plate with axial bolt circle slots welded to pole shaft having minimum yield of 36,000 psi (ASTM A36).

Base Cover: Two-piece square aluminum base cover included standard.

Pole Cap: Pole cap supplied with removable cover when applicable; Temon and post-top configurations also available.

Hand Hole: Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening). Mounting provisions for grounding lug located behind gasketed cover.

Anchor Bolts: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling.

Anchor Bolt Part Numbers: 3/4 x 30 x 3 - TAB-30-M38
1 x 36 x 4 - TAB-36-M38

FINISH

- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method
- Decorative finish coat available in multiple standard colors; Custom colors available; RAL number preferable

10 DAY - EVOLVE EXPRESS SHIP PROGRAM

- Ships in 10 days
- Limit of 5 poles

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3 GE EVOLVE EACL SERIES LUMINARIES SHIELDING

EVOLVE

SSSE Series Poles
Square | Straight | Steel

Project Name _____
Date _____ Type _____
Notes _____

Ordering Information

Example: SSSE25-40A-2-E2-DKBZ-UL

SSSE	20	40	B	E2	GRAY
SSSE	10-10 ft	12-12 ft	14-14 ft	16-16 ft	18-18 ft
SSSE	20-20 ft	25-25 ft	30-30 ft	35-35 ft	40-40 ft
SSSE	40-40 ft	50-50 ft	60-60 ft	70-70 ft	80-80 ft
SSSE	100-100 ft	120-120 ft	140-140 ft	160-160 ft	180-180 ft

NOTES:

- Removable Temon used in conjunction with side-arm mounting.
- Use of option location using MOUNTING ORIENTATION logic shown on this page.
- Not available with VM1-16 Mode Vibration Damper.
- Not recommended on poles 20' and taller with E2 or less than 1" flat finished.
- Use of option location using MOUNTING ORIENTATION logic shown on this page.
- Factory finished.

ACCESSORIES - ORDER SEPARATELY

CATALOG NUMBER	DESCRIPTION
VM1*	1st mode vibration damper
VM2**	2nd mode vibration damper

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4 GE EVOLVE EACL SERIES LUMINARIES SHIELDING

EVOLVE

SSSE Series Poles
Square | Straight | Steel

Project Name _____
Date _____ Type _____
Notes _____

Ordering Information

CATALOG NUMBER	HEIGHT (FEET)	NOMINAL SHAFI DIMENSIONS (INCHES)	WALL THICKNESS (INCHES)	BOLT CIRCLE (RANGEST)	BOLT CIRCLE (RANGE)	BOLT SQUARE (RANGEST)	ANCHOR BOLT SIZE	BOLT PROJECTION	POLE WEIGHT
SSSE10-40A	10	2.6	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE12-40A	12	2.7	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE14-40A	14	2.8	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE16-40A	16	2.9	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE18-40A	18	3.0	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE20-40A	20	3.1	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE25-40A	25	3.6	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE30-40A	30	4.1	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE35-40A	35	4.6	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE40-40A	40	5.1	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE45-40A	45	5.6	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE50-40A	50	6.1	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE55-40A	55	6.6	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE60-40A	60	7.1	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE65-40A	65	7.6	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE70-40A	70	8.1	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE75-40A	75	8.6	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE80-40A	80	9.1	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE85-40A	85	9.6	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE90-40A	90	10.1	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE95-40A	95	10.6	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE100-40A	100	11.1	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE105-40A	105	11.6	0.125	6.125	6"	5.66"-7.27"	3/8"	3/4"	2.5
SSSE110-40A	110	12.1	0.125	6.125	6"	5.66			

Thiensville Plan Commission Staff Report - March 2025

Staff Approved Projects March 2025

Date	Address	Applicant	Project	Staff Approval	ZBOA	Approved	Denied
2/24/2025	225 Riverview Dr.	John's Custom Carpentry	Porch repair/replacement	X		x	
2/26/2025	112-114 Ellenbecker Road	James R Desmond	Land Split				
3/3/2025	217 Bel Aire Ct.	Blue Raven Solar	16.65KW PV Solar Panel Install on Roof	X			
3/6/2025	613 Park Crest	A-1 Fence	Fence	X			
3/10/2025	610 Laurel Dr.	Steve & Susan Gattoni	Utility Shed				
3/21/2025	212 Woodside Ln	Megan Luther & Joe Nelson	Exterior Entryway Attached Pergola	X			

Code Compliance March 2025

Community Services			
Address	Owner	Complaint	Action

Police Department March 2025

Date	Location	Complaint	Action
3/12/2025	300blk Green Bay Rd	Vehicle for sale parked on street, not in front of RO House	VM left for owner to move car
3/29/2025	251 Elm St	Vehicle in park after hours	warning given to driver