



**Village of Thiensville
Plan Commission
AGENDA**

Date:
Tuesday, January 14, 2025

LOCATION: 250 Elm Street, Thiensville, WI

Time: 6:00 PM

I. CALL TO ORDER

II. ROLL CALL

Chairman

John Rosing

**Director of Community
Services/Public Works**

Andy LaFond

Village Planner

Meredith Perks

Commissioners

Jeff Hershberger Joe Nelson

Rebecca Holyoke- M. Randy Pasternak
Odeja

Ken Kucharski Jerry Schmitz

III. CITIZENS TO BE HEARD

A. Open to any resident or taxpayer on items not subject to a public hearing: Please be advised per §19.84(2), information will be received from the public. Village policy limits a three (3) minute time period per person, with time extension by the presiding official's discretion or a vote of 2/3 of the Board or Committee; be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments. Written comments on agenda items are encouraged to be sent and addressed to the intended body by noon on the day of the meeting. Comments received timely will be forwarded to all members of the body. If you wish to speak, you must pre-register by emailing the Village Clerk at clandisch@village.thiensville.wi.us by 4:00 PM on the day of the meeting or by signing in immediately prior to the meeting.

IV. APPROVAL OF MINUTES

A. October 8, 2024 (att)

V. BUSINESS

A. Discussion and Action Regarding a Change to the Approved North Façade Plans Village Paint and Body 207 S Main Street (att)

B. Discussion and Action Regarding a Sign Application for Village Paint and Body 207 S Main Street (att)

C. Discussion and Action Regarding Site Plan and Archtectural Approval (former body shop) Boucher Village Ford 121 North Main Street (att)

VI. STAFF REPORT

VII. ADJOURNMENT

Colleen Landisch-Hansen, Village Clerk

January 10, 2025

Please advise the Thiensville Municipal Hall, 250 Elm Street (262-242-3720) at least 24 hours prior to the start of this meeting if you have disabilities and desire special accommodations.



VILLAGE OF THIENSVILLE
Plan Commission
MINUTES

DATE: Tuesday, October 8, 2024

LOCATION: 250 Elm Street, Thiensville, WI

TIME: 6:00 PM

I. CALL TO ORDER

Chairman Rosing called the meeting to order at 6:00 PM

II. ROLL CALL

Chairman

John Rosing

Village Administrator

Colleen Landisch-Hansen

Village Planner

Meredith Perks

Commissioners

Jeff Hershberger Joe Nelson

Rebecca Holyoke- M. Randy Pasternak
Odeja (Excused)

Ken Kucharski Jerry Schmitz (Excused)

III. CITIZENS TO BE HEARD

A. Open to any resident or taxpayer on items not subject to a public hearing: Please be advised per §19.84(2), information will be received from the public. Village policy limits a three (3) minute time period per person, with time extension by the presiding official's discretion or a vote of 2/3 of the Board or Committee; be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments. Written comments on agenda items are encouraged to be sent and addressed to the intended body by noon on the day of the meeting. Comments received timely will be forwarded to all members of the body. If you wish to speak, you must pre-register by emailing the Village Clerk at clandisch@village.thiensville.wi.us by 4:00 PM on the day of the meeting or by signing in immediately prior to the meeting.

None

IV. BUSINESS

A. Approval of Minutes

1. September 10, 2024 (att)

MOTION to approve by Commissioner Kucharski **SECONDED** by Commissioner Hershberger. **MOTION CARRIED UNANIMOUSLY.**

Aye: 5

No: 0

Abstain: 0

B. Review and Action regarding Home Addition 307 E Freistadt Road.

Christine and Brett Martin of 307 East Freistadt Road, presented their home addition proposal.

The plan would connect the first-floor laundry area and sewing room to the second-floor master bedroom addition.

The exterior would be re-done with cedar shake on top and vinyl siding below, differentiating from the existing barn-red paint.

The primary work would be on the rear side of the house, visible from the road, and will include a slanted roof to tie in with the new addition.

MOTION to approve Home Addition for 307 E Freistadt Road by Commissioner Nelson **SECONDED** by Commissioner Pasternak. **MOTION CARRIED UNANIMOUSLY.**

Aye: 5

No: 0

Abstain: 0

C. Review and Action Regarding Razing the Existing Dwelling and Construction of a New Single Family Home 215 S Orchard Street.

Planner Perks shared that there were new plans received over the weekend, making the staff report attached to the agenda outdated.

The new plan added two feet seven inches to the entire length of the house to meet the minimum requirements for first-floor construction.

The staff report initially recommended denial due to the home being below the minimum 1000 square feet required by the zoning district.

The new plan addresses this concern, and the staff now recommend approval.

Chairman Rosing specified the need for a new building permit for the demolition and the new construction given the now increased size.

Andrew Risch, from David & Goliath Builders, acknowledged the need for a new permit, and also noted that the new basement would be deeper than the original building.

MOTION to approved Razing the Existing Dwelling and Construction of a New Single Family Home 215 S Orchard Street by Commissioner Nelson **SECONDED** by Commissioner Pasternak. **MOTION CARRIED UNANIMOUSLY.**

Aye: 5

No: 0

Abstain: 0

V. STAFF REPORT

A. Not Available

VI. ADJOURNMENT

MOTION to adjourn by Commissioner Kucharski at 6:19 PM **SECONDED** by Commissioner Nelson. **MOTION CARRIED UNANIMOUSLY.**

Aye: 5

No: 0

Abstain: 0



**VILLAGE PAINT AND BODY
207 SOUTH MAIN
APPROVED PLAN CHANGE REQUEST**

| | |
|--|---|
| To: Thiensville Plan Commission | Prepared by: Andy LaFond, Director of Community Services |
| Date: January 14, 2025 | |
| Applicant: | Professional Consultants |
| Status of Applicant: | Contractor |
| Location: | 207 S Main Street |
| Existing Zoning: | B-4 Highway Commercial District |
| Requested Action: | Approval of change to plans |

Background:

During the November 2023 meeting, the Plan Commission approved the site plan and façade improvements at 207 South Main Street, which included the installation of canopies and a corrugated steel façade. Subsequent developments have revealed structural issues that have impeded the completion of these elements as originally approved.

Summary of Requested Changes:

According to correspondence from Chad Kemnitz, President of Professional Consultants, Inc., the original construction of the building did not include a masonry bond beam—a standard feature expected for such installations. Multiple engineers reviewed the existing wall construction and were unable to design a structurally sound system to support the canopies on the North elevation over the garage doors.

As a result, Mr. Kemnitz has indicated the following:

1. The North canopies cannot be installed as originally planned.
2. The North corrugated steel façade remains incomplete.
3. Updated plans reflecting these changes were submitted for review.

Staff Observations:

A site visit confirmed that the North elevation remains incomplete, with the façade and canopy installations not implemented over the garage doors. The proposed changes significantly differ from the approved plans, requiring approval by the Plan Commission.

Recommendation:

Staff notes the building façade as completed is attractive and a significant improvement. Staff recommends Approval



Village of Thiensville

Plan Commission Application

Property Address: _____, Thiensville WI 53092

Tax Key #

Current Zoning

Property Owner

Applicant Same as owner

Name

Name

Address

Address

Phone

Phone

Email address

Email address

Project description

Please describe your project in detail. Include details about height and dimensions, color, materials used and setbacks from the street and property lines. Provide any information that you believe will assist staff in reviewing and approving your request.

Applicant's Signature

Date

A complete application along with the appropriate fees shall be submitted by the deadline stated on the meeting schedule to the Village Clerk In order for an application to be considered complete, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. The applicant is responsible to pay planner charges after a first half hour of planner time. Owner, architect, builder or owner's representative must attend the Plan Commission meeting for action to be taken. Work cannot begin until Plan Commission approval and paid and approved building permit.

Planner Fee Schedule: The Village provides the first half hour of the Village Planner’s services. Any additional plan review time is billed at \$50.00/hr

Application Checklist: *Two Paper Copies and an electronic copy with files in PDF format (plan size 11X17) must be submitted for all applicable items below for planner review and the Plan Commission packet.*

Submit scaled site plan with proposed location and setbacks with accurate dimensions indicating the property size, its relationship to surrounding properties, existing topography, key natural features and show the location of all existing and proposed:

| | |
|---|--|
| <ul style="list-style-type: none"> A. Structures, showing all entrances B. Driveways & street access C. Parking areas D. Walkways E. Existing landscaping F. Abutting public and private streets G. Public easements H. Surrounding land uses and zoning I. Retaining walls J. Decorative accessories | <ul style="list-style-type: none"> K. Dumpster location and screening L. Location, color, message, dimensions and materials of all signs M. Location, size and character of dedicated or private open space N. Location of sanitary sewer, storm sewer, water mains and services and storm water detention facilities O. Floor plan of building or addition |
|---|--|

- Storm water management plan.
- Completed building permit application (including two full size plan sets with state stamp for commercial and multi-family).
- Grading plan showing existing and finished grades.
- Professionally prepared landscape plan.
- Lighting plan; photometric plan, type of fixtures, wattage and location and height of lighting structures.
- Topographic data or pertinent grade elevations, if necessary, for proper remodeling of existing buildings showing finished exterior treatment.
- Colored elevations of proposed buildings, structures and fencing, or of proposed remodeling of existing buildings, showing finished exterior treatment and a listing of building materials.

Is property in Thiensville’s Historic District? Yes No

If yes, you must apply for a Certificate of Appropriateness with the Historic Preservation Commission. Complete the COA application. Attendance at HPC meeting is required

***All Commercial and Multi-Family projects including any change of occupancy, change of use, or construction/alteration must be submitted to the Thiensville Fire Department for review, approval, and inspections.**

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VILLAGE STAFF REVIEW

Application Complete. Items needed: _____

Submitted to Village Planner on _____ Planner Staff Report Completed on _____

Plan Commission Meeting Date _____

Historic Preservation Approval (if needed) on _____

ADDITIONAL REMARKS/CONDITIONS:

Village Staff

Title

Date

Approved North Façade



Existing Conditions

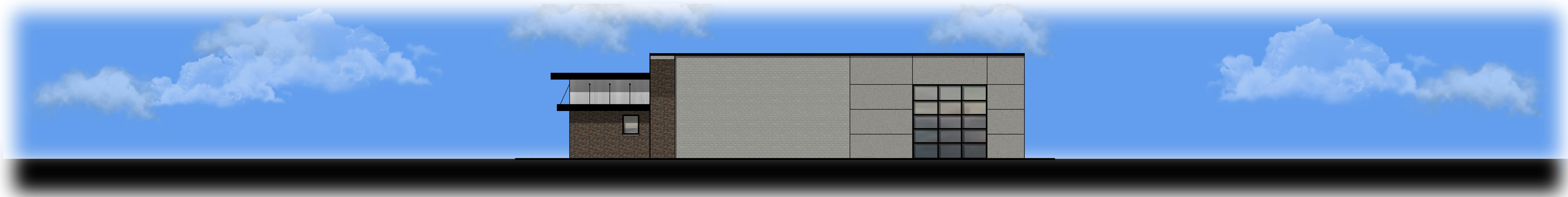




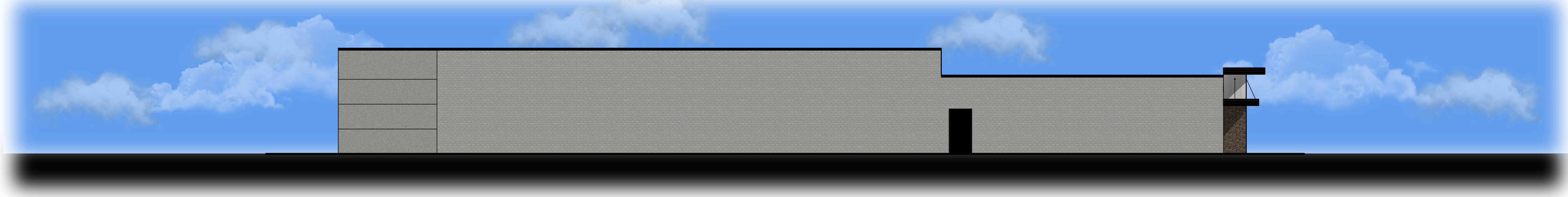
1 EAST ELEVATION
1/8"=1'-0"



2 NORTH ELEVATION
1/8"=1'-0"

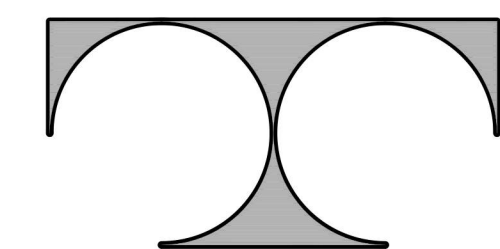


3 WEST ELEVATION
1/8"=1'-0"



4 SOUTH ELEVATION
1/8"=1'-0"

VILLAGE PAINT & BODY



TDI ASSOCIATES, INC.
ARCHITECTURE & PLANNING
2517 SOUTH WIND LAKE ROAD
WIND LAKE, WISCONSIN 53185
PHONE 262-469-2510

JANUARY 6th, 2025



VILLAGE PAINT AND BODY 207 SOUTH MAIN SIGN PLAN

| | |
|--|---|
| To: Thiensville Plan Commission | Prepared by: Andy LaFond, Director of Community Services |
| Date: January 14, 2025 | |
| Applicant: | Midwest Sign and Lighting, Inc. |
| Status of Applicant: | Contractor |
| Location: | 207 S Main Street |
| Existing Zoning: | B-4 Highway Commercial District |
| Requested Action: | Sign Approval |

Background:

The applicant, Village Paint & Body, has submitted a proposal for signage to be installed on the East elevation of the building at 207 South Main Street. The proposal includes mounting signage directly to a canopy, which is allowable under the Village’s sign code, provided it does not protrude beyond the canopy. The applicant has also proposed an alternative location for mounting the sign on the façade.

The property is located in the Historic District, and the Historic Preservation Commission (HPC) has approved the sign as proposed on the canopy

Details of the Proposal:

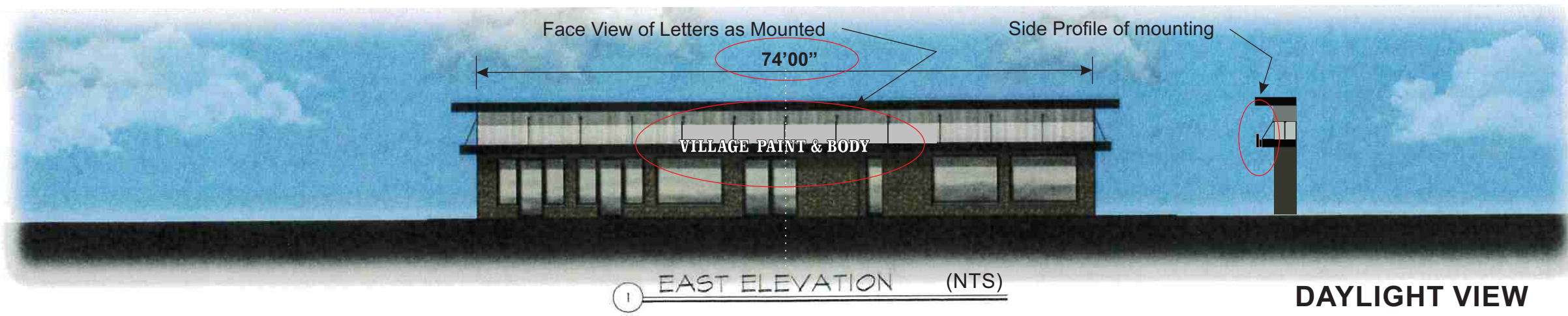
1. **Primary Installation Plan:** The signage is designed as face-lit channel letters mounted to a raceway, which would be attached to the canopy face. The raceway will be mechanically fastened to the awning.
2. **Alternative Installation Plan:** If canopy installation is not feasible or preferred, the applicant has proposed mounting the signage directly to the building façade.
3. **Compliance with Code:** The signage does not exceed the maximum allowed square footage, meeting code requirements. However, the proposed canopy-mounted sign must adhere to the condition that no part of the sign projects beyond the awning or a waiver by the Plan Commission must be granted.

Plan Commission Considerations:

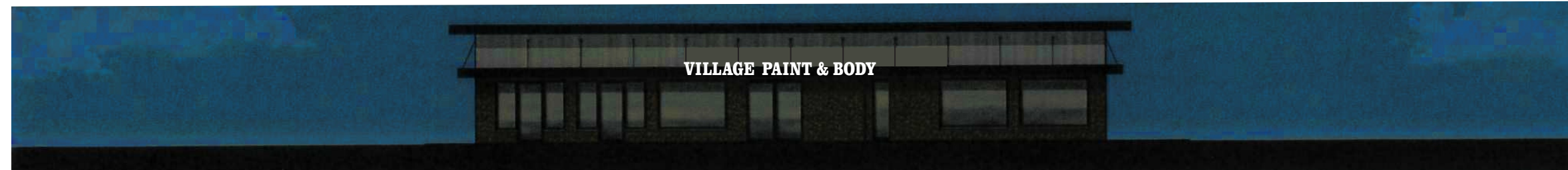
The Sign as proposed in option #1 protrudes past the canopy which is not allowed in the sign code. The Plan Commission does retain authority to grant a waiver for any deviations from the sign code

Recommendation:

Staff recommends approval.

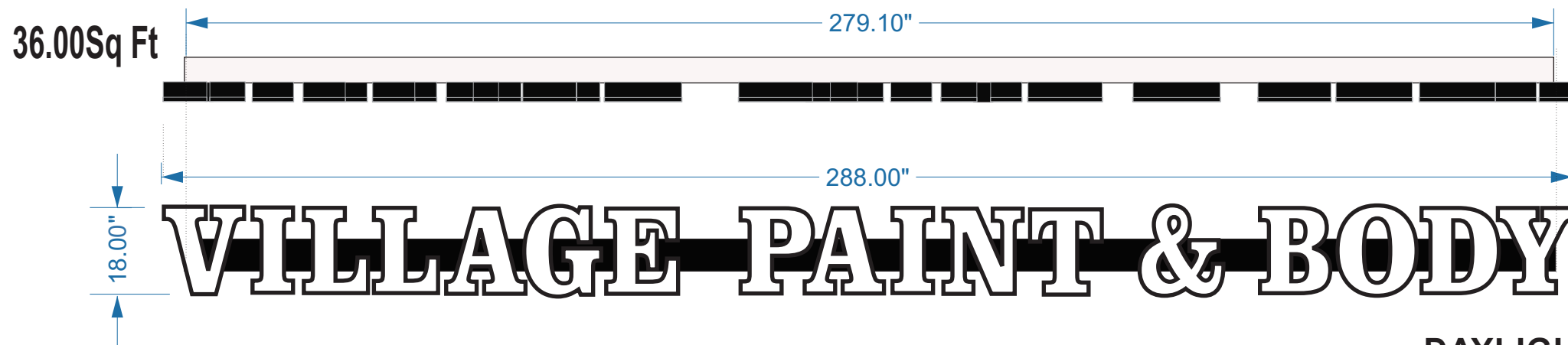


DAYLIGHT VIEW



NIGHT VIEW

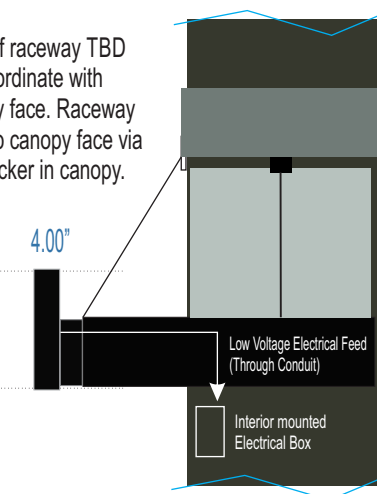
VILLAGE PAINT & BODY



DAYLIGHT VIEW

NIGHT VIEW

Final Height and width of raceway TBD per survey. Height to coordinate with height of existing canopy face. Raceway Mechanically fastened to canopy face via lag screws into wood backer in canopy.



Electrical Final hookup to be done by Electrician. Single low voltage LED line from back of raceway to Inside of building via conduit. All connections sealed. Electrician to hook up electrical to provided electrical box mounted inside of building.

Description:
 18"-Face Lit Channel Letters, with white acrylic faces and standard Black 1" trim cap. Returns of letters painted standard satin black. Letters are mounted to standard raceway (Final Raceway Height to be determined per Survey) so as to allow for letters on raceway to mount direct on face of awning. All wiring to be inside raceway with low voltage (only) leads extending out to each letter(s). Single line electrical to be furnished by others (Electrician) to back of raceway.

Colors: Standard White Standard Satin Black

Scale 1:30

Midwest
 Sign & Lighting, Inc.
 design • manufacture • install • service
 www.midwestsignandlighting.com
 3110 W Ford du Lac Ave. Milwaukee, WI 53210
 tel 414.447.8227 • fax 414.447.0220

BUSINESS CUSTOMER

Contacts

Phone

email Qfax Qcell

Village Paint & Body

PROJECT

207 N Cedarburg Rd
 Mequon, Wi

LOCATION

Approved as Final

CUSTOMER APPROVAL

Date

REVISIONS

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Date

Scale

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VILLAGE PAINT & BODY

Scale: NTS



design • manufacture • install • service

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Village Paint & Body

PROJECT

207 N Cedarburg Rd
Mequon, WI

LOCATION

Approved as Final

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Date

REVISIONS

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Date

Scale

Drawing m



Install Option #2-Direct wall mounted

BUSINESS CUSTOMER

Contacts

Phone

email Qfax Qcell

Village Paint & Body

PROJECT

207 N Cedarburg Rd
 Mequon, Wi

LOCATION

Approved as Final

CUSTOMER APPROVAL

Date

REVISIONS

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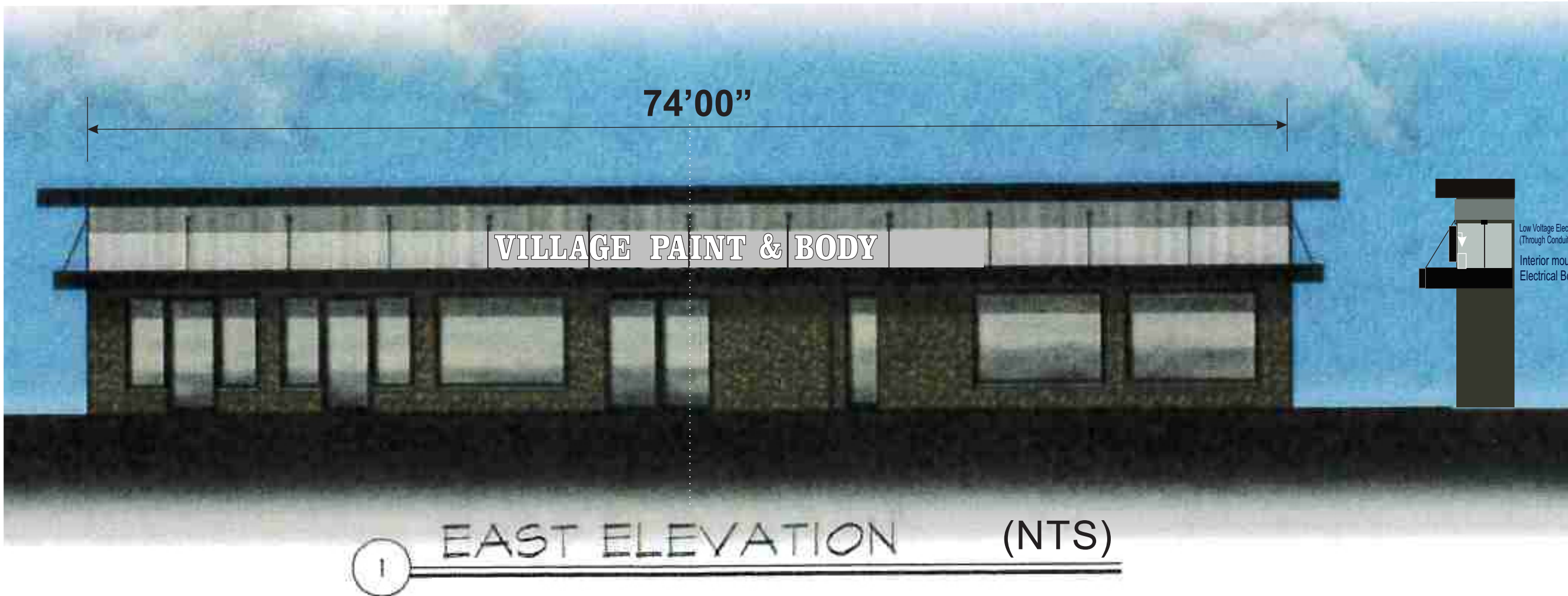
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Date

Scale

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Scale 1:30

Village of Thiensville

SIGN REVIEW APPLICATION- \$150.00 FEE

Please Allow Two (2) Weeks for Sign Review

THIS APPLICATION BEGINS THE REVIEW PROCESS BY OUR PLANNING CONSULTANT JON CENSKY WHO PERFORMS INITIAL REVIEW OF THE SIGN(S). The sign specifications must be submitted at least 2 weeks prior to the Plan Commission or the Historic Preservation Commission to Jon Censky via email, 6954jpc@sbcglobal.net or by regular mail.

Mr. Censky will review the sign(s) to see if they meet the Village Sign Code requirements and make a recommendation to the Plan Commission via a written report. At this time **EVEN (11) FULL SIZE COPIES OF THE COLORED SIGN GRAPHIC SAND ONE SCALE SITE PLAN** are required in addition to submittal of the **SIGN PERMIT APPLICATION** form to the Village Hall, 250 Elm Street, Thiensville, WI one week prior to the meetings. Additional copies may be required upon request from Village staff.

Applicant/Petitioner Name John Kowalski / Midwest Sign and Lighting, Inc.

Premises Address 207 N. Cedarburg Road, Thiensville Wisconsin

Business Name Village Paint & Body Business Phone _____

Property Owner _____ Address _____

Property Owner Phone _____ E-mail _____

Contractor Midwest Sign and Lighting, Inc. Address 3110 W Fond du Lac Ave -mail E john@midwestsignandlighting.com
Milwaukee, WI 53210

Contractor Phone 414-943-2062 Contractor Fax _____

Estimated Project Cost: \$ 6500.00

Sign(s) requested (check all that apply) Wall _____ Monument _____ Projecting _____

_____ Marquee, Awning or Canopy _____ Sandwich Board _____ Site Directional Signs _____

Colored plans must include a scaled sketch of the proposed sign labeling dimensions and area, lettering (including height), colors, types of materials, method of illumination, height and dimensions of the mounting bracket, and date of preparation. A summary of all existing signs that will remain on the site (including dimensions) is also required. Color and material samples must be provided for sign review.

Wall sign, Marquee, Canopy or Awning sign proposals must specify building elevation or a photograph of the façade on which will be located, including a dimensioned shape showing where the sign will be placed and what size it will be.

Ground Mounted Signs and Site Directional sign proposals require submittal of a scaled, dimensioned site plan, plot plan, or survey showing the proposed sign location in relation to driveways, parking areas, sidewalks, property lines, streets, and other signs on and within 20 feet of the property.

Projecting sign proposals must specify the distance from the street curb, distance sign projects from building, the clearance from the measured grade level to the bottom of the sign, that there are no more than two faces for the projecting sign and must show that the sign, including both faces, is perpendicular to the building.

Sandwich Board Signs require submittal of a scaled, dimensioned colored graphic of the proposed and proposed placement of sandwich board sign

If necessary, additional fees will be billed at an hourly rate for consulting, legal and engineering review. After approval from the Village Plan Commission, a sign permit is required from the Village Inspection Department.

Signature of Applicant _____ Date _____

Signature of Owner _____ Date _____



**VILLAGE FORD
121 NORTH MAIN
COMMERCIAL SITE PLAN AND
ARCHITECTURAL REVIEW**

| | |
|--|--|
| To: Thiensville Plan Commission | Prepared by: Meredith Perks, Village Planner |
| Date: January 14, 2025 | |
| Applicant: | Chad Kemnitz, Professional Consultants |
| Status of Applicant: | Consultant |
| Location: | 121 North Main Street |
| Existing Zoning: | B-4 Highway Commercial District (Flood Fringe Overlay) |
| Requested Action: | Site and Architectural Review |

Report:

The applicant is requesting approval of site and architectural plans for renovations to their commercial building. Proposed renovations will be primarily to the interior of the building, however there will be exterior alteration to the building, which requires site and architectural review. The project will remove existing office space on the south side of the building and replace it with increased service area and staff space with restrooms, locker room, and an accessible break area. The project will demolish approximately 95sf, removing the existing awning and windows, and install a new overhead door and repaint the building to match the existing exterior.

The submitted elevations and building plans show the demolition plan, renovation, and updated exterior treatment. The new overhead door will face Main Street but be set back from the frontage. There are no substantial alterations to the building footprint and the site remains in compliance with the B-4 zoning district regulations.

The Thiensville Zoning Code section 17.1207 states that site and architectural reviews are “deemed necessary and appropriate to preserve and promote attractive, well planned, and stable urban conditions.” The proposed alterations align with the principles set out in the Zoning Code and criteria for site plan review and approval. The proposed exterior enhancements will create an attractive façade and be consistent with the finishes of the existing building, including materials and paint color.

Staff Comments:

My review indicates that the plans comply with the Zoning Code and meet the criteria for approval. Therefore, staff recommends approval subject to:

- Plan Commission approval of the structure 2/11/1991 and a Wisconsin DNR ruling dated 2/21/1992 require that any storage areas, electrical, sanitary, potable well, and other utilities must be floodproofed to the flood protection elevation
- The Applicant is reminded that Wisconsin administrative code **NR 116.13(2)** states. “buildings located in a designated floodplain cannot undergo improvements or repairs if the cost exceeds **50% of**

the building's current equalized assessed value over the structure's lifetime, unless the entire structure is brought into compliance with current floodplain regulations” This project will count toward the 50% lifetime maximum

- Director of Public Works review and approval of any grading, drainage, and erosion control plans.
- The applicant secures the appropriate permits prior to construction commencement.



Village of Thiensville

Plan Commission Application

Property Address: 121 N. Main St., Thiensville WI 53092

12-050-06-13-001

Tax Key #

Current Zoning

Property Owner

Boucher Real Estate LLC

Name

4141 S. 108th St

Address Greenfield WI 53228

414-427-4141

Phone

daniel.nienhuis@

Email address boucher.com

Applicant Same as owner

Professional Consultants

Name Chad Kemnitz, President

Address 133 Hill St., Hartland WI 53029

Address

262-367-6080

Phone

k@pci48.com

Email address

Project description

Please describe your project in detail. Include details about height and dimensions, color, materials used and setbacks from the street and property lines. Provide any information that you believe will assist staff in reviewing and approving your request.

Remove added office space. Install
overhead door in original opening.
Repaint building to match exterior
existing colors.

Chad K. Kemnitz

Applicant's Signature

12/6/24

Date

A complete application along with the appropriate fees shall be submitted by the deadline stated on the meeting schedule to the Village Clerk in order for an application to be considered complete, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. The applicant is responsible to pay planner charges after a first half hour of planner time. Owner, architect, builder or owner's representative must attend the Plan Commission meeting for action to be taken. Work cannot begin until Plan Commission approval and paid and approved building permit.

Planner Fee Schedule: The Village provides the first half hour of the Village Planner’s services. Any additional plan review time is billed at \$50.00/hr.

Application Checklist: *Two Paper Copies and an electronic copy with files in PDF format (plan size 11X17) must be submitted for all applicable items below for planner review and the Plan Commission packet.*

- Submit scaled site plan with proposed location and setbacks with accurate dimensions indicating the property size, its relationship to surrounding properties, existing topography, key natural features and show the location of all existing and proposed:

| | |
|---|--|
| <ul style="list-style-type: none"> A. Structures, showing all entrances B. Driveways & street access C. Parking areas D. Walkways E. Existing landscaping F. Abutting public and private streets G. Public easements H. Surrounding land uses and zoning I. Retaining walls J. Decorative accessories | <ul style="list-style-type: none"> K. Dumpster location and screening L. Location, color, message, dimensions and materials of all signs M. Location, size and character of dedicated or private open space N. Location of sanitary sewer, storm sewer, water mains and services and storm water detention facilities O. Floor plan of building or addition |
|---|--|

- Storm water management plan.
- Completed building permit application (including two full size plan sets with state stamp for commercial and multi-family).
- Grading plan showing existing and finished grades.
- Professionally prepared landscape plan.
- Lighting plan; photometric plan, type of fixtures, wattage and location and height of lighting structures.
- Topographic data or pertinent grade elevations, if necessary, for proper remodeling of existing buildings showing finished exterior treatment.
- Colored elevations of proposed buildings, structures and fencing, or of proposed remodeling of existing buildings, showing finished exterior treatment and a listing of building materials.

Is property in Thiensville’s Historic District? Yes No

If yes, you must apply for a Certificate of Appropriateness with the Historic Preservation Commission. Complete the COA application. Attendance at HPC meeting is required

***All Commercial and Multi-Family projects including any change of occupancy, change of use, or construction/alteration must be submitted to the Thiensville Fire Department for review, approval, and inspections.**

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VILLAGE STAFF REVIEW

Application Complete. Items needed: _____

Submitted to Village Planner on _____ Planner Staff Report Completed on _____

Plan Commission Meeting Date _____

Historic Preservation Approval (if needed) on _____

ADDITIONAL REMARKS/CONDITIONS:

Village Staff Title Date



| | | |
|----------------------------------|--|---|
| 262-420-4732 SAFEbuilt | WI UNIFORM PERMIT APPLICATION WInspections@safebuilt.com <i>Inspections need to be called in by 4 pm for next business day inspections.</i> | PERMIT NO. TAXKEY# 12-050-06-13-001 |
|----------------------------------|--|---|

| | | | |
|----------------------------------|--|---|--|
| Village of THIENSVILLE | <input type="checkbox"/> TOWN <input checked="" type="checkbox"/> VILLAGE <input type="checkbox"/> CITY OF <u>Thiensville</u> COUNTY: <u>Ozaukee</u> | PROJECT LOCATION (Building Address) <u>121 N. Main St.</u> | PROJECT DESCRIPTION <input type="checkbox"/> COMMERCIAL <input checked="" type="checkbox"/> ONE & TWO FAMILY <u>Interior renovation</u> |
|----------------------------------|--|---|--|

| | | |
|--|---|---|
| Owner's Name <u>Boucher Real Estate LLC, 414 S. 108th St, Greenfield WI 53228</u> | Mailing Address - Include City & Zip <u>Greenfield WI 53228</u> | Telephone - Include Area Code <u>414-427-4141</u> |
| Construction Contractor (DC Lic No.) <u>Professional Consultants Inc, 133 Hill St, Hartland WI 53029</u> | Mailing Address - Include City & Zip <u>Hartland WI 53029</u> | Telephone - Include Area Code <u>262-367-6080</u> |
| Dwelling Contractor Qualifier (DCQ Lic No.) <u>0907016240 Chad Kemnitz</u> | Dwelling Contractor Qualifier shall be an owner, CEO, COB, or employee of Dwelling Contractor | Telephone - Include Area Code <u>262-367-6080</u> |
| Plumbing Contractor (Lic No.) <u>S&K Pump & Plumbing, 20880 Enterprise Ave, Brookfield WI 53045</u> | Mailing Address - Include City & Zip <u>Brookfield WI 53045</u> | Telephone - Include Area Code <u>262-782-7190</u> |
| Electrical Contractor (Lic No.) <u>Circle Electric, 4606 N. 132nd St, Butler WI 53007</u> | Mailing Address - Include City & Zip <u>Butler WI 53007</u> | Telephone - Include Area Code <u>262-783-7700 x 1913</u> |
| HVAC Contractor (Lic No.) <u>Conditioned Air Design, 1104 W Becker St, West Allis WI 53227</u> | Mailing Address - Include City & Zip <u>West Allis WI 53227</u> | Telephone - Include Area Code <u>414-546-2020</u> |

| PROJECT INFORMATION | | | | Subdivision Name | Lot No. | Block No. | | | | | | | | | | | | | | | | | | | | | |
|---|---|---|---|---|--|---|------|----------|-----|-----|---------|-------|-------|-----------|-------------------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|-----------|-------------------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|
| Zoning District <u>B-4</u> | Lot Area <u>90,356</u> Sq. Ft. | N.S.E.W. Setbacks | Front Ft. | Rear Ft. | Left Ft. | Right Ft. | | | | | | | | | | | | | | | | | | | | | |
| 1a. PROJECT <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Raze <input type="checkbox"/> Single Family <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Repair <input type="checkbox"/> Move <input type="checkbox"/> Two Family <input type="checkbox"/> Other <input checked="" type="checkbox"/> Multi <input type="checkbox"/> Commercial | 3. TYPE <input type="checkbox"/> Single Family <input type="checkbox"/> Two Family <input checked="" type="checkbox"/> Multi <input type="checkbox"/> Commercial | 6. STORIES <input checked="" type="checkbox"/> 1-Story <input type="checkbox"/> 2-Story <input type="checkbox"/> Other | 9. HVAC EQUIPMENT <input checked="" type="checkbox"/> Forced Air Furnace <input type="checkbox"/> Radiant Baseboard or Panel <input type="checkbox"/> Heat Pump <input type="checkbox"/> Boiler <input type="checkbox"/> Central Air Conditioning <input type="checkbox"/> Other | | 12. ENERGY SOURCE <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th>Fuel</th> <th>Nat. Gas</th> <th>LP.</th> <th>Oil</th> <th>Elec. *</th> <th>Solid</th> <th>Solar</th> </tr> <tr> <td>Space Htg</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td>Water Htg</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table> | | Fuel | Nat. Gas | LP. | Oil | Elec. * | Solid | Solar | Space Htg | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Water Htg | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Fuel | Nat. Gas | LP. | Oil | Elec. * | Solid | Solar | | | | | | | | | | | | | | | | | | | | | |
| Space Htg | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | | | | | | | | | | | | | | | | | | | | |
| Water Htg | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | | | | | | | | | | | | | | | | | | | | |
| 1b. GARAGE <input type="checkbox"/> Attached <input type="checkbox"/> Detached | 4. CONST. TYPE <input type="checkbox"/> Site Constructed <input type="checkbox"/> Mfd. UDC <input type="checkbox"/> Mfd. HUD | 7. FOUNDATION <input type="checkbox"/> Concrete <input checked="" type="checkbox"/> Masonry <input type="checkbox"/> Treated Wood <input type="checkbox"/> ICF <input type="checkbox"/> Other | 10. PLUMBING Sewer <input checked="" type="checkbox"/> Municipal <input type="checkbox"/> Septic No. | | * <input type="checkbox"/> Dwelling unit will have 3 kilowatt or more installed electric space heater equipment capacity. | | | | | | | | | | | | | | | | | | | | | | |
| 2. AREA Basement _____ Sq. Ft. Living Area _____ Sq. Ft. Garage _____ Sq. Ft. Other _____ Sq. Ft. TOTAL <u>90,365</u> | 5. ELECTRICAL Entrance Panel Size: _____ amp Service: <input type="checkbox"/> New <input type="checkbox"/> Rewire _____ Phase _____ Volts <input type="checkbox"/> Underground <input type="checkbox"/> Overhead Power Company: | 8. USE <input type="checkbox"/> Seasonal <input checked="" type="checkbox"/> Permanent <input type="checkbox"/> Other | 11. WATER <input type="checkbox"/> Municipal Utility <input type="checkbox"/> Private On-Site Well | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | | 13. HEAT LOSS (Calculated) Total <u>Attached</u> BTU/HR | | 14. ESTIMATED COST \$ <u>100,000.00</u> | | | | | | | | | | | | | | | | | | | | | |

I understand that I am subject to all applicable codes, laws, statutes and ordinances, including those described on the Notice to Permit Applicants form; am subject to any conditions of this permit; understand that the issuance of this permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If one acre or more of soil will be disturbed, I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and the owner shall sign the statement on the Notice to Permit Applicants form. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.

I vouch that I am or will be an owner-occupant of this dwelling for which I am applying for an erosion control or construction permit without a Dwelling Contractor Certification and have read the cautionary statement regarding contractor responsibility on the Notice to Permit Applicants form.

APPLICANT (PRINT): Chad Kemnitz **SIGN:** Chad Kemnitz **DATE:** 11-20-24

APPROVAL CONDITIONS This permit is issued pursuant to the attached conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. Owner/Builder solely responsible for compliance with all applicable State & Local Building and Zoning codes.

INSPECTIONS NEEDED Building Footing Foundation Rough Insulation Bsmt. Fl. Final
 Electric Rough Service Final **Plumbing** Rough Underfloor Final **HVAC** Rough Final

| | | | | | |
|---|---|--|--|--|---|
| FEES: Building Fee _____ Zoning Fee _____ WI Seal _____ Electric Fee _____ Plumbing Fee _____ HVAC Fee _____ Adm. Fee _____ Other _____ Total _____ \$ 0.00 | PERMIT(S) ISSUED Bldg. # At top of form _____ Zoning # _____ Elec. # _____ Plmb. # _____ HVAC # _____ | SEAL NO. _____ Municipality No. _____ | RECEIPT CK # _____ Amount \$ _____ Date _____ From _____ Rec By. _____ | PERMIT EXPIRATION: Permit expires two years from date issued unless municipal ordinance is more restrictive. | PERMIT ISSUED BY MUNICIPAL AGENT: Name _____ Date _____ Certification No. _____ |
|---|---|--|--|--|---|

Full Name: Kurt Schroeder
Last Name: Schroeder
First Name: Kurt
Company: S & K Pump & Plumbing

Business Address: 20880 Enterprise Ave.
Brookfield, WI 53045

Business: (262) 782-7190
Mobile: (262) 844-0848
Business Fax: (262) 782-9642

Email: Kurt@snkpump.com
Email Display As: Kurt Schroeder (Kurt@snkpump.com)

WI Cont. Reg. #1361
Master Plumber – Steven Kuhn #860628 Exp. 3-31-2024

Full Name: Matt Stenlund
Last Name: Stenlund
First Name: Matt
Job Title: Estimator
Company: Circle Electric, Inc.

Business Address: 4606 N. 132nd Street
Butler, WI 53007

Business: (262) 783-7700 Ext 1913
Business 2: (800) 244-6671
Mobile: (414) 810-9242
Business Fax: (262) 790-8935

Email: mstenlund@circleelectric.com
Email Display As: Matt Stenlund (mstenlund@circleelectric.com)

Web Page: <http://www.circleelectric.com>

Electrical Contractor #1096547, Exp. 6/30/20
Master Electrician # 170236, Exp. 6/30/19

Full Name: Brian Charles
Last Name: Charles
First Name: Brian
Job Title: President
Company: Conditioned Air Design

Business Address: 11104 W. Becher St.
West Allis, WI 53227

Business: (414) 546-2020
Mobile: (414) 828-2829
Business Fax: (414) 546-0704

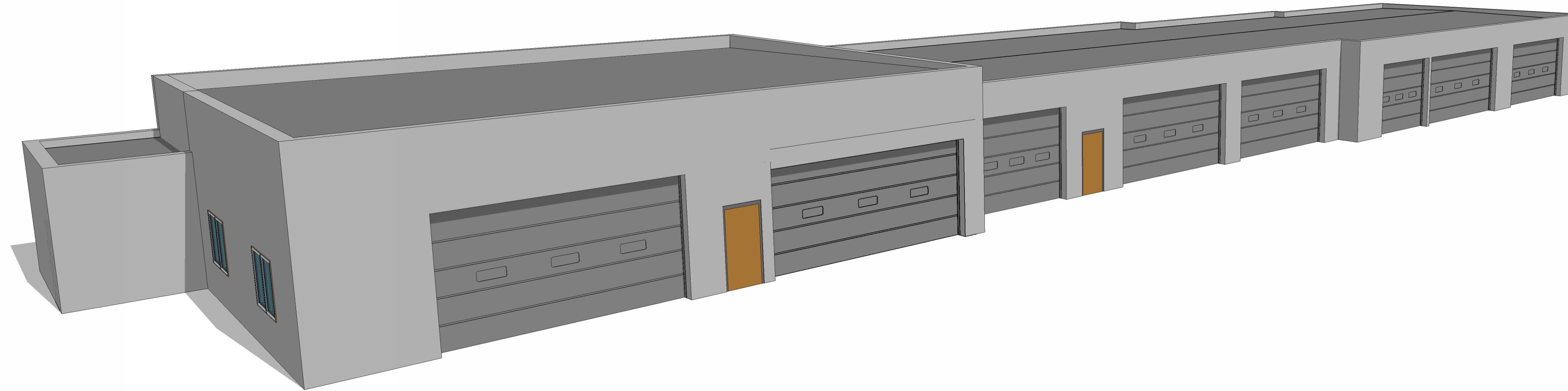
Email: brian@condairdesign.com
Email Display As: Brian Charles (brian@condairdesign.com)

HVAC Contractor Certification (Co.) 3399

Brian Charles HVAC Qualifier: 1014223

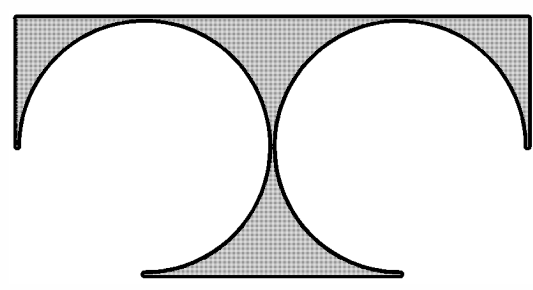
BOUCHER FORD THIENSVILLE SERVICE ALTERATION

121 N MAIN ST
THIENSVILLE, WI 53092



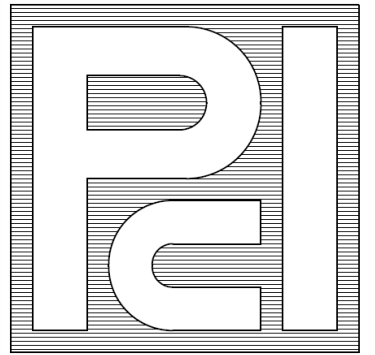
SHEET INDEX

| NO. | SHEET NAME |
|---------------|-----------------------------------|
| GENERAL | |
| T 1.1 | ABBREVIATIONS, SYMBOLS |
| T 2.1 | LIFE SAFETY PLAN |
| ARCHITECTURAL | |
| AD 1.1 | DEMO PLAN |
| ARCHITECTURAL | |
| A 1.1 | FIRST FLOOR PLAN, RCP & ELEVATION |
| A 3.1 | WALL SECTIONS |
| A 7.1 | DOOR & FINISH SCHEDULES |



TDI ASSOCIATES, INC.
ARCHITECTURE & PLANNING

25217 SOUTH WIND LAKE ROAD
WIND LAKE, WISCONSIN 53185
PHONE: (262) 409 - 2530



BOUCHER FORD THIENSVILLE
SERVICE ALTERATION

121 N MAIN ST
THIENSVILLE, WI 53092

GENERAL NOTES:

1. THE ARCHITECT/ENGINEER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, FOR THE METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
2. CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWING NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS; FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING AND SCAFFOLDING, BRACING, ERECTION, FORMWORK, ETC.); FOR COORDINATION OF THE VARIOUS TRADES; FOR SAFE CONDITIONS ON THE JOB SITE; AND FOR THE PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
3. VARIATIONS IN FIELD CONDITIONS RELATIVE TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT. WORK SHALL NOT PROGRESS UNTIL WRITTEN PERMISSION FROM THE ENGINEER IS OBTAINED.
4. THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATION, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
5. ARCHITECT/ENGINEER'S REVIEW OF DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC. ARE ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT. CONSTRUCTION SHALL NOT START WITHOUT SAID REVIEW, AND ONLY SHOP DRAWINGS STAMPED BY THE ARCHITECT/ENGINEER WILL BE ALLOWED AT THE JOB SITE.
6. DRAWINGS ARE NOT TO BE USED FOR SHOP DETAILING OR FOR CONSTRUCTION UNLESS SPECIFICALLY STAMPED BY THE ARCHITECT/ENGINEER ON THE DRAWINGS "FOR CONSTRUCTION". THESE DRAWINGS ARE TO BE REPRODUCED FOR THE PURPOSE OF USING THEM AS SHOP DRAWINGS.
7. UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
8. ALL DIMENSIONS ON SUB-CONTRACTORS DRAWINGS ARE TO BE CHECKED BY THE CONTRACTOR AGAINST ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND TRADES.
9. SEE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS, SLEEVES, EQUIPMENT PADS, DEPRESSIONS, CURBS, FLOOR FINISHES, INSERTS, AND OTHER EMBEDDED ITEMS.
10. UNLESS OTHERWISE SHOWN OR NOTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY INSERTS, HANGARS, PIPE SLEEVES, HOLES OR ANCHORS BOLTS THAT ARE REQUIRED BY THE MECHANICAL OR ELECTRICAL EQUIPMENT.
11. THE CONTRACTOR SHALL COMPLY WITH THE LATEST OCCUPATIONAL SAFETY HEALTH ACT REQUIREMENTS.
12. ALL CONSTRUCTION SHALL BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.

PROJECT DATA:

PROPOSED OCCUPANCY:
(IBC - CHAPTER 5)
NON-SEPARATED
GROUP "S-1" (I.B.C. SECTION 311)

CLASSIFICATION OF WORK: ALTERATION - LEVEL 2

CONSTRUCTION TYPE:
(IBC, PER 602)
ONE STORY
TYPE 2B CONSTRUCTION

SPRINKLERS:
BUILDING IS NON-SPRINKLED

ALLOWABLE HEIGHT & AREA:
(IBC, PER TABLE 504.3, 504.4 & 506.2)
GROUP : S-1 1 STORY 17,500 S.F.

BUILDING AREAS (GROSS):

BUILDING AREA:
EXISTING FIRST FLOOR AREA: - 8,460 S.F.
DEMOLISHED AREA: - 95 S.F.
ALTERATION AREA: - 750 S.F.

TOTAL BUILDING AREA: - 8,365 S.F.

RATINGS REQUIRED:

| OCCUPANCY SEPERATION | none per IBC 503.3 |
|----------------------------|--------------------|
| STRUCTURAL FRAMING | 0 HOUR RATING N.C. |
| BEARING WALL EXTERIOR | 0 HOUR RATING N.C. |
| BEARING WALL INTERIOR | 0 HOUR RATING N.C. |
| NON BEARING EXTERIOR (730) | 0 HOUR RATING N.C. |
| NON BEARING INTERIOR | 0 HOUR RATING N.C. |
| FLOOR CONSTRUCTION | 0 HOUR RATING N.C. |
| ROOF CONSTRUCTION | CLASS - B N.C. 1 |
| FIRE BARRIERS - SHAFT | HOUR RATING N.C. |
| N.C. - NONCOMBUSTIBLE | |

BUILDING CODES:

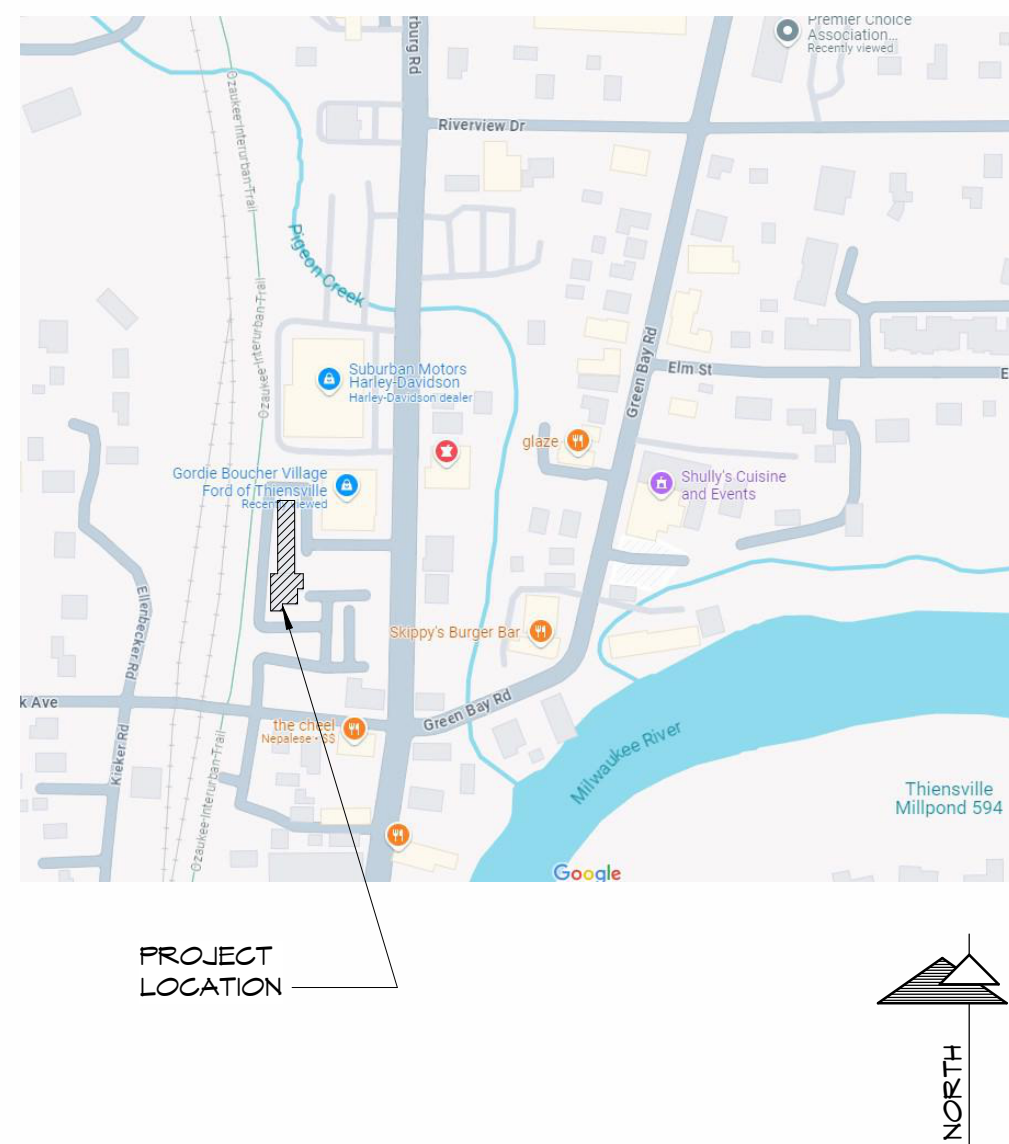
ALL WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODES INCLUDING BUT NOT LIMITED TO:

2015 INTERNATIONAL BUILDING CODE (IBC) w/ WISCONSIN MODIFICATIONS

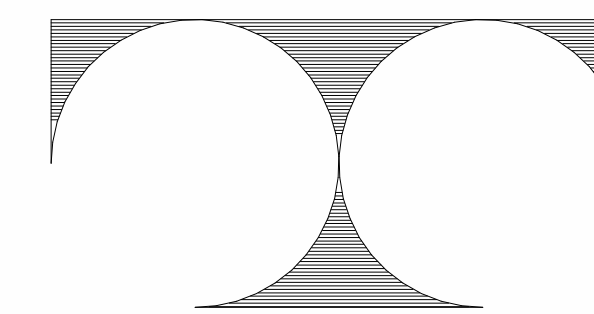
2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC)

2009 INTERNATIONAL CODE COUNCIL (ICC-ANSI) A111.1)

VICINITY MAP:



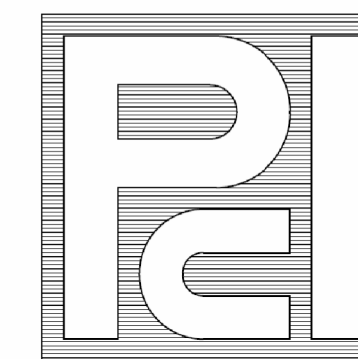
ARCHITECT:



TDI ASSOCIATES, INC.

ARCHITECTURE & PLANNING
25217 SOUTH WIND LAKE ROAD
WIND LAKE, WISCONSIN 53185
T E L : (262) 409 - 2530

GENERAL CONTRACTOR:



PROFESSIONAL CONSULTANTS, INC.

133 HILL STREET
HARTLAND, WISCONSIN 53029
T E L : (262) 361 - 6080



11.05.2024



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Sheet Title
TITLE SHEET

Revision:

| No. | Description | Date |
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Date: 11/05/2024

Job No. 24154

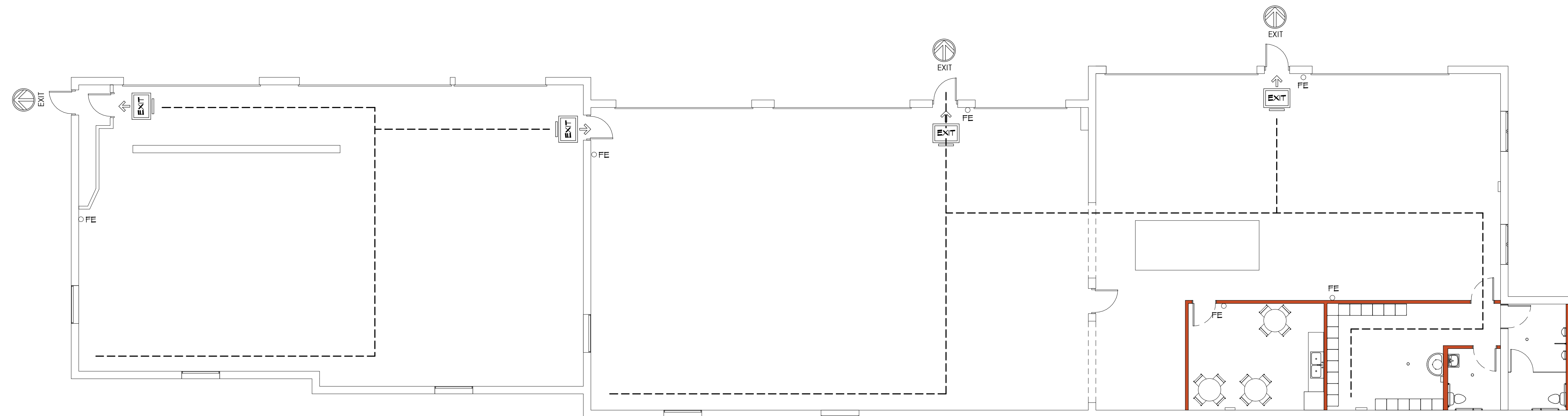
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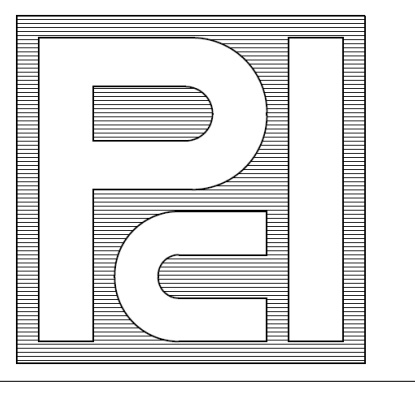
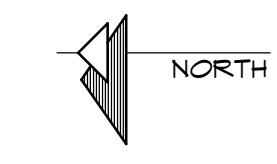
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LIFE SAFETY PLAN LEGEND

| | | | | |
|----------------|---|--------------------|---------------|---|
| FEC-X & FE | FIRE EXTINGUISHER | EMERGENCY LIGHTING | BUILDING EXIT | SINGLE DIRECTION EXIT SIGN EXIT SIGN FACES INDICATED WITH A LINE |
| | FE: FE-1: FULLY RECESSED CABINET FE-2: SEMI-RECESSED CABINET FE-3: SURFACE MOUNTED CABINET | | | |
| PATH OF EGRESS | | | | |
| | | | | |



① LIFE SAFETY FLOOR PLAN
1/8" = 1'-0"



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Sheet Title
LIFE SAFETY PLAN

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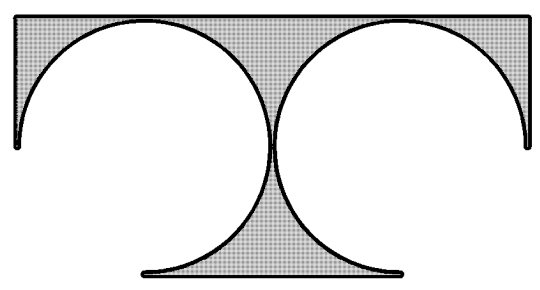
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Job No. 24154

Drawn By: DTA

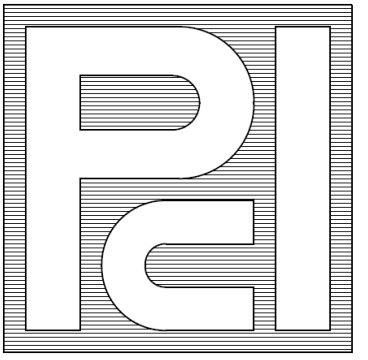
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PHONE: (262) 409-2530



BOUCHER FORD THIENSVILLE
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Sheet Title
DEMO PLAN

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Date: 11/05/2024

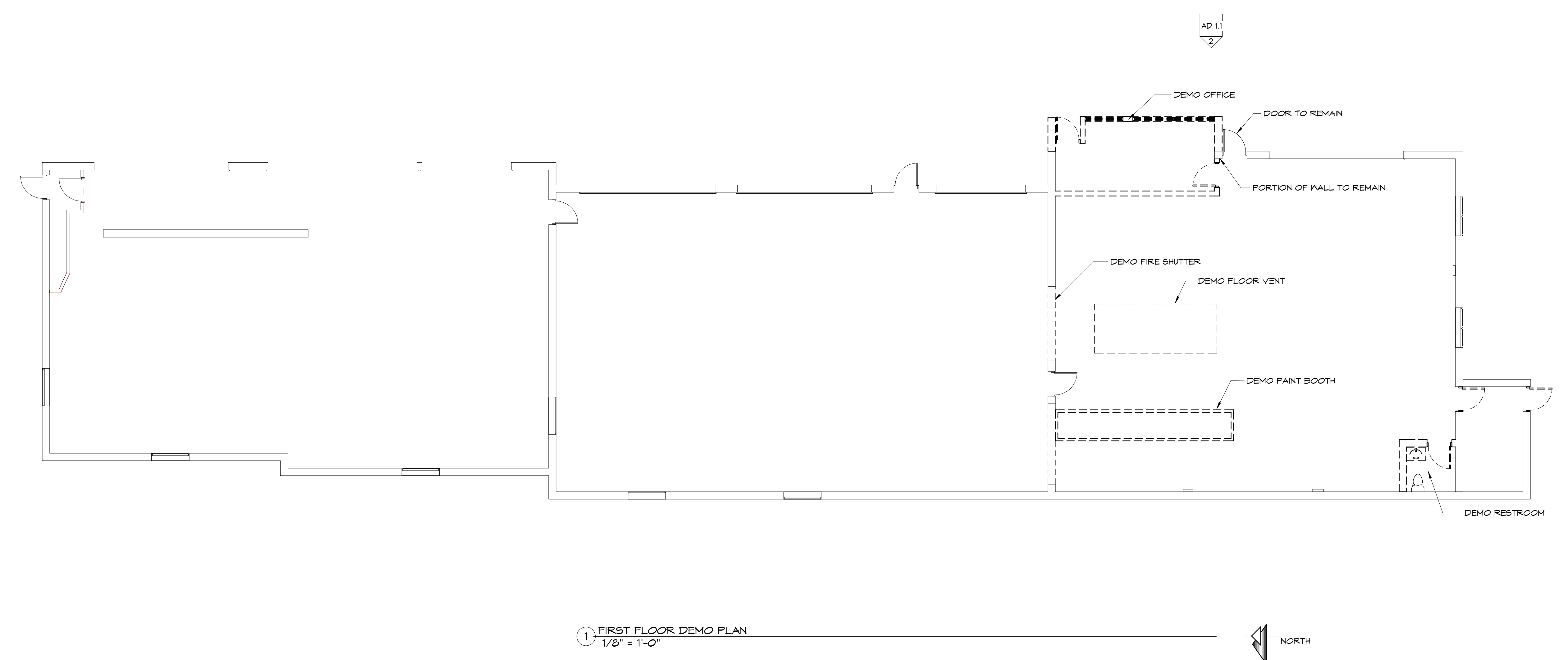
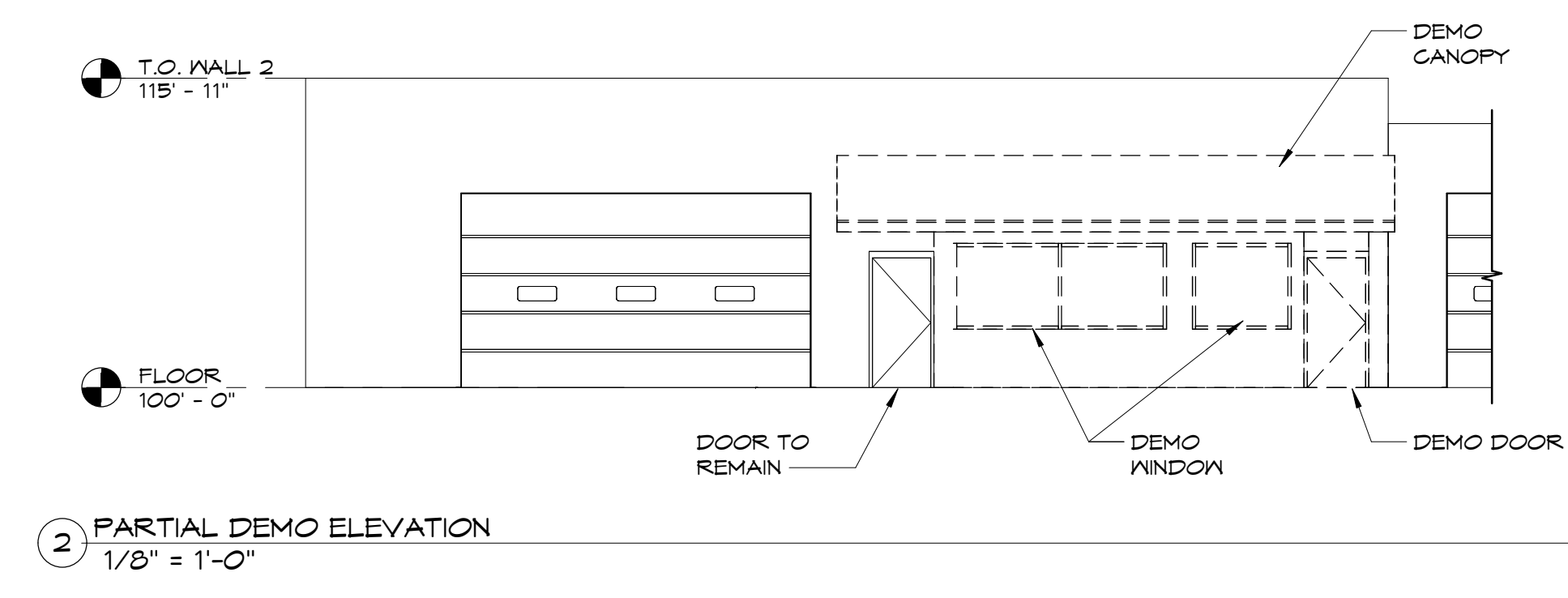
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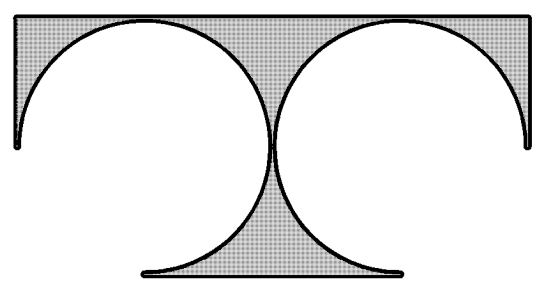
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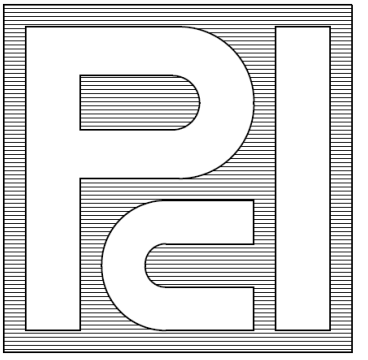
- All demolition work shall be performed in accordance with State and Local regulations. Secure required demolition permits. Arrange with owner and/or appropriate utilities for service shutoffs before beginning demolition operations identify all existing items of work, devices scheduled to remain, or to be salvaged for re-use.
- Coordinate all demolition operations with owner for shutdown periods and sequence of work. Protect existing plumbing and electrical main services to the existing buildings being demolished.
- Remove all demolished materials not scheduled for salvage and reused or those to become property of the owner, local authorities, or utilities from the site, and dispose of in accordance with local regulations. Confirm with owner, proper authorities or utilities, all items to be salvaged and returned to the appropriate party. All items to be turned over to the owner, local authorities, or utilities shall be protected during demolition and removal and shall be delivered to the appropriate party in undamaged condition.
- Contractor is to coordinate with the owner, local authorities, or utilities to obtain schedules of items to be salvaged.
- All items scheduled to be salvaged for reuse shall be removed with care, stored and protected from damage until salvaged items are incorporated in the new work. It shall be the contractor's responsibility to replace and/or restore any items scheduled for salvage and reuse that are damaged during the course of contract operations. The owner shall be the sole judge of suitability of these salvaged items for reuse in the work or relocation.
- Reuse of salvaged materials, not specifically scheduled, will be at the sole discretion of the owner. In no case shall salvaged materials be incorporated in the work that do not meet minimum requirements of state and local codes and regulations.
- It is not the intent to show every piece or item to be removed in demolition work. Mechanical, electrical and other work related to a wall, or area scheduled for demolition and removal shall be performed whether so noted or not. Protect all items intended for salvage and reuse or scheduled to remain.
- Demolition shall not occur off site unless otherwise noted on drawings.
- Patch/Repair/Refinish all surfaces exposed by demolition work to match and align with existing adjacent surfaces scheduled to remain, and prepare to receive new finishes specified. Work shall include all labor and materials on all surfaces required to render substrates acceptable to receive new finishes specified in accordance with the plans and manufacturer's requirements.
- When walls, columns, or other supporting and/or bracing elements are scheduled for demolition, temporary structural supports and bracing for the adjacent construction shall be provided and maintained until the permanent supporting structures are in place and able to support imposed loads.
- It is the contractor's sole responsibility to determine demolition procedure and sequence to ensure the safety of the building and its component parts during demolition. This includes, but is not limited to, the addition of whatever temporary bracing, guys or tie-downs may be necessary. Such material shall be removed and shall remain the property of the contractor after completion of the project.
- The contractor shall visit the site and familiarize him/herself with all existing conditions. Any questions or discrepancies found with regard to the drawings shall be brought to the attention of the architect in writing. Field measure existing conditions prior to fabrication of materials.





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ARCHITECTURE & PLANNING

25217 SOUTH WIND LAKE ROAD
WIND LAKE, WISCONSIN 53185
PHONE: (262) 409-2530



BOUCHER FORD THIENSVILLE
SERVICE ALTERATION

121 N. MAIN ST.
THIENSVILLE, WI 53092

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Sheet Title
**FIRST FLOOR
PLAN, RCP &
ELEVATION**

Revision:

| No. | Description | Date |
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Date: 11/05/2024

Job No. 24154

Drawn By: DTA

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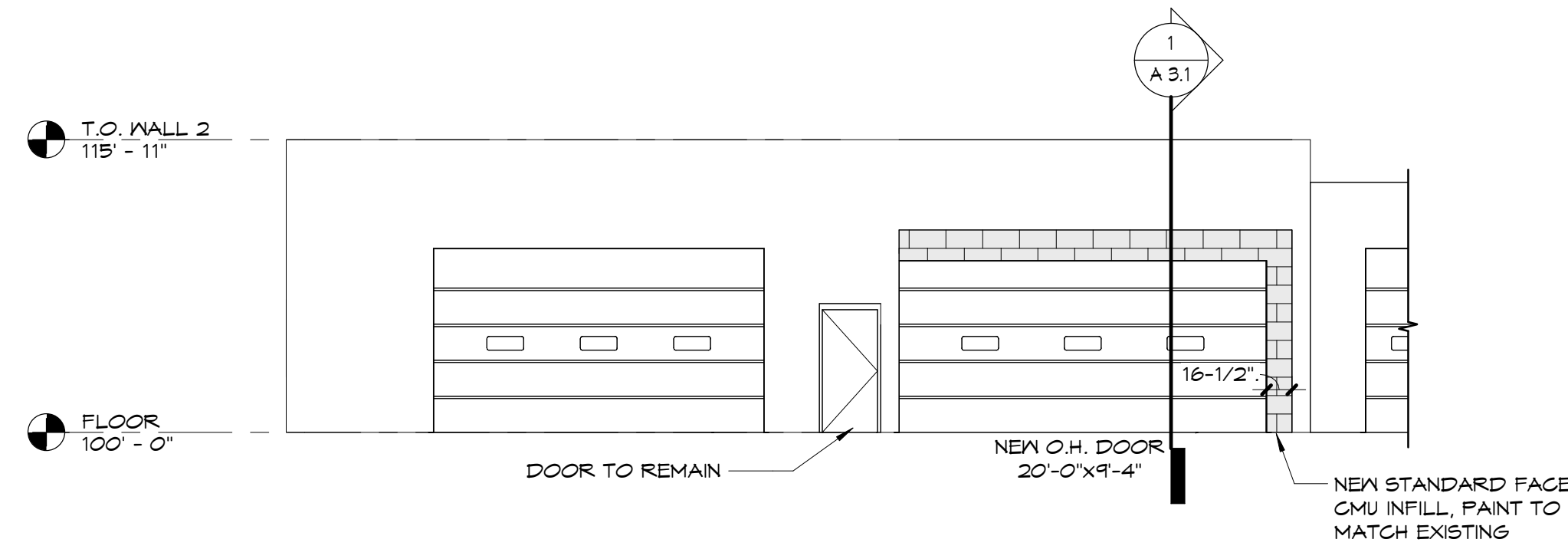
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GENERAL NOTES

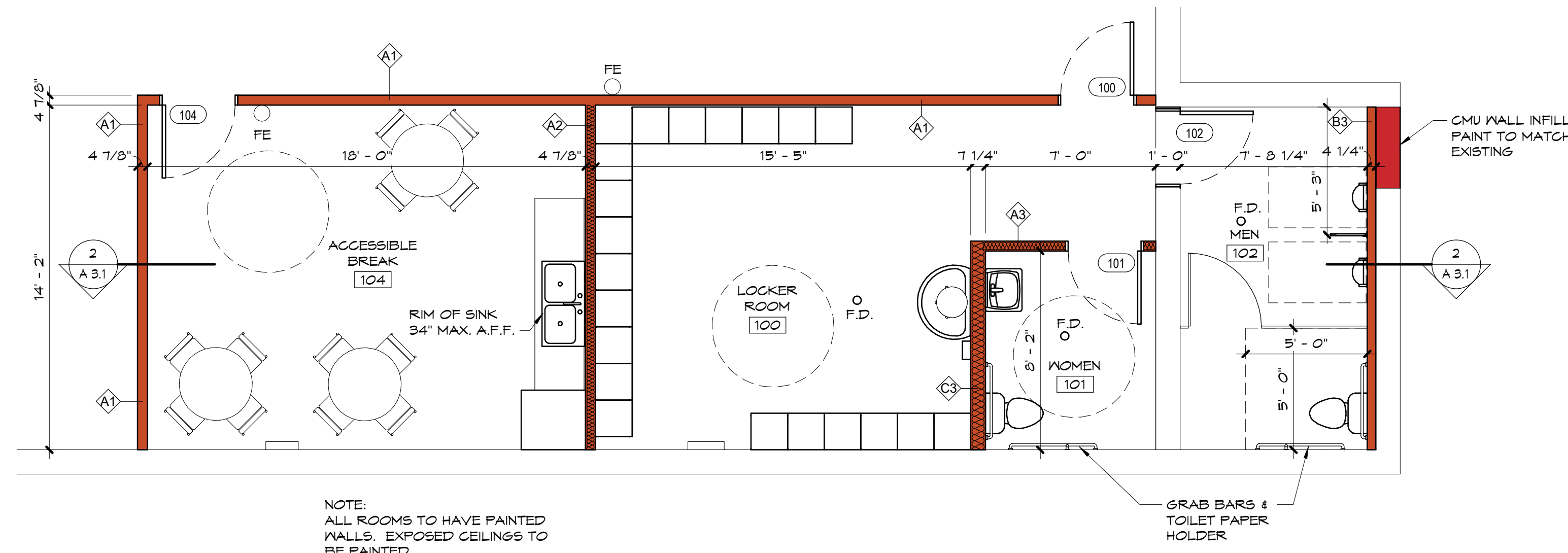
- Dimensions are to face of gyp. bd.
- All doors to be 5" off adjacent framing unless noted otherwise.
- All gyp. bd. to be 5/8"

WALL TYPES

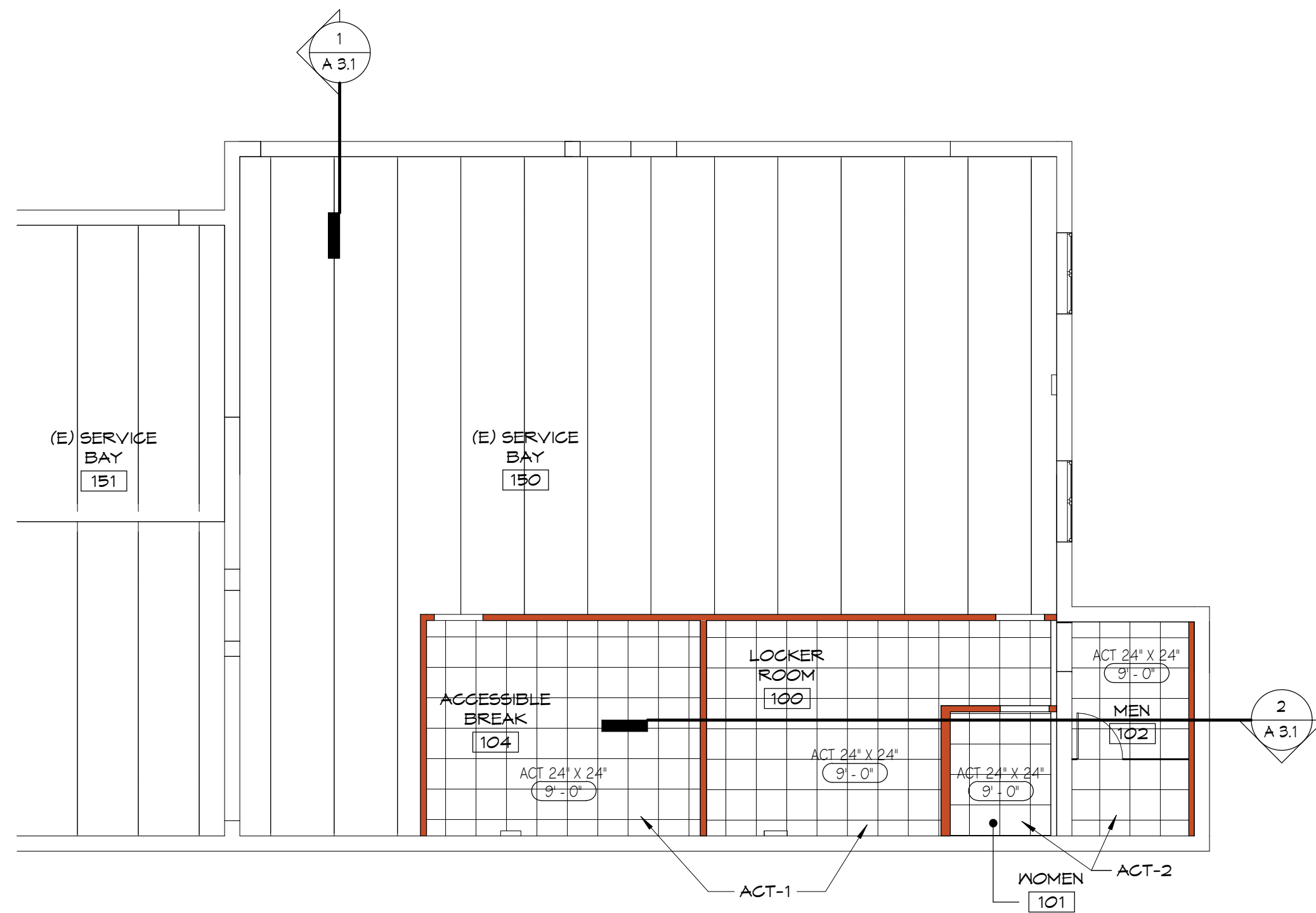
| NO. | SKETCH | DESCRIPTION |
|-----|--------|---|
| A1 | | A1 - 5/8" G.W.B. ON BOTH SIDES OF 3 5/8" MTL. STUDS @ 16" o.c., EXTEND STUDS & G.W.B. TO BOTTOM OF DECK ABOVE |
| A2 | | A2 - WITH 3" SOUND BATTS |
| A3 | | A3 - WITH 5/8" M.R. G.W.B. @ TOILET ROOM SIDE & 3" SOUND BATTS IN ALL TOILET ROOM WALLS |
| B3 | | B3 - 5/8" G.W.B. ON ONE SIDE OF 3 5/8" MTL. STUDS @ 16" o.c. WITH 5/8" M.R. G.W.B. @ TOILET ROOM SIDE & 3" SOUND BATTS IN ALL TOILET ROOM WALLS |
| C3 | | C3 - 5/8" G.W.B. ON BOTH SIDES OF 6" MTL. STUDS @ 16" o.c. 5/8" M.R. G.W.B. @ TOILET ROOM SIDE & 3" SOUND BATTS IN ALL TOILET ROOM WALLS |



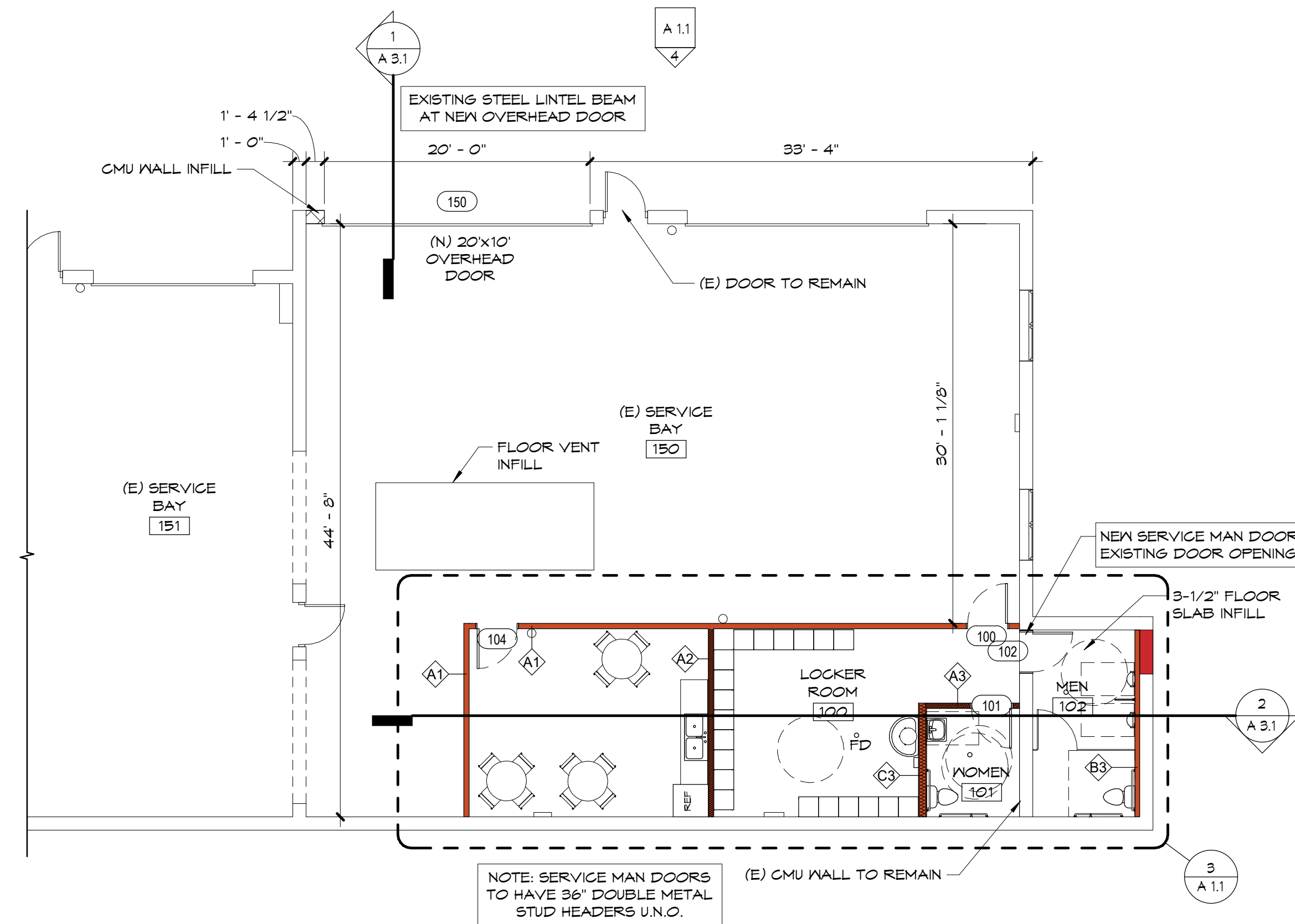
4 PARTIAL EAST ELEVATION
1/8" = 1'-0"



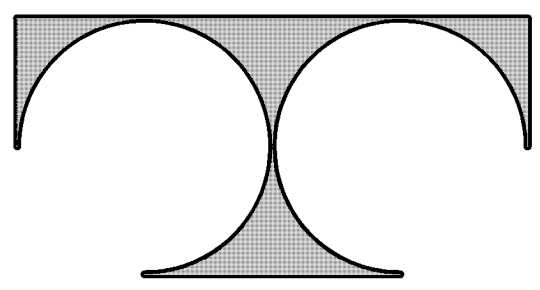
3 ENLARGED FLOOR PLAN
1/4" = 1'-0"



2 PARTIAL REFLECTED CEILING
1/8" = 1'-0"

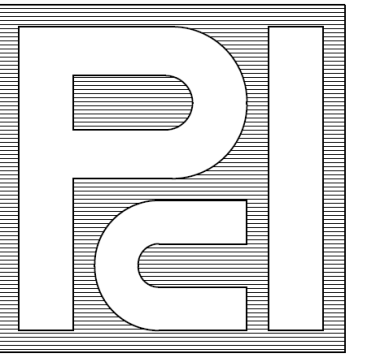


1 PARTIAL FLOOR PLAN
1/8" = 1'-0"



TDI ASSOCIATES, INC.
ARCHITECTURE & PLANNING

25217 SOUTH WIND LAKE ROAD
WIND LAKE, WISCONSIN 53185
PHONE: (262) 409 - 2530



BOUCHER FORD THIENSVILLE
SERVICE ALTERATION

121 N MAIN ST
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Sheet Title
WALL SECTIONS

Revision:

| No. | Description | Date |
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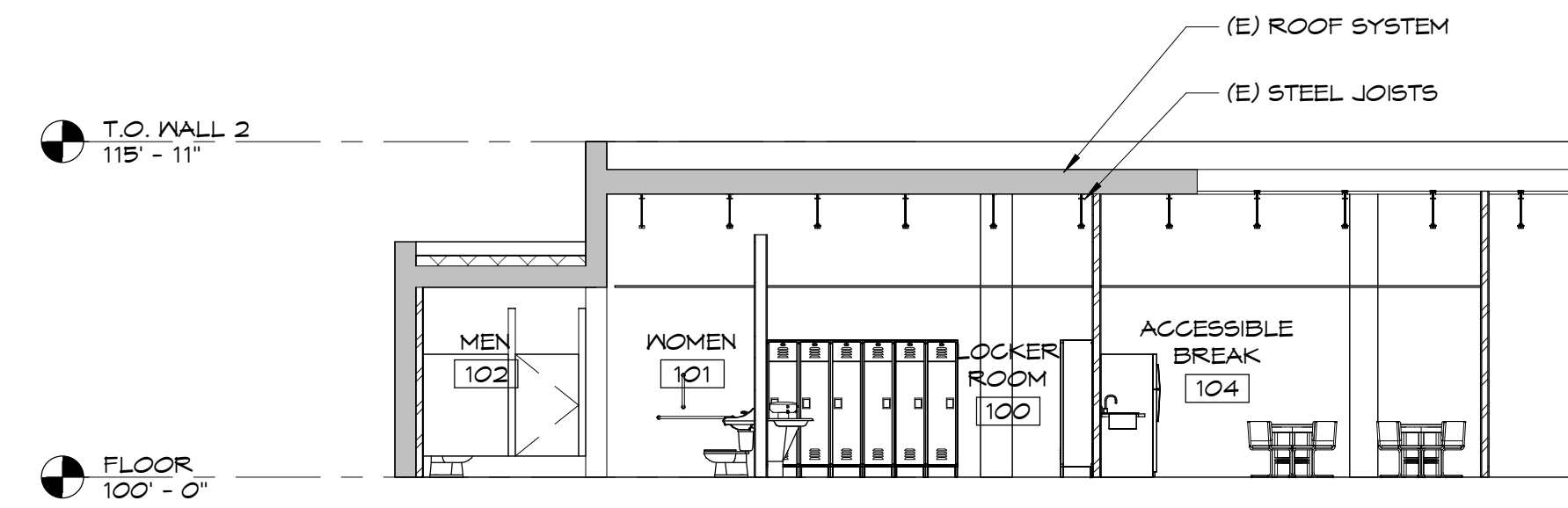
Date: 11/05/2024

Job No. 24154

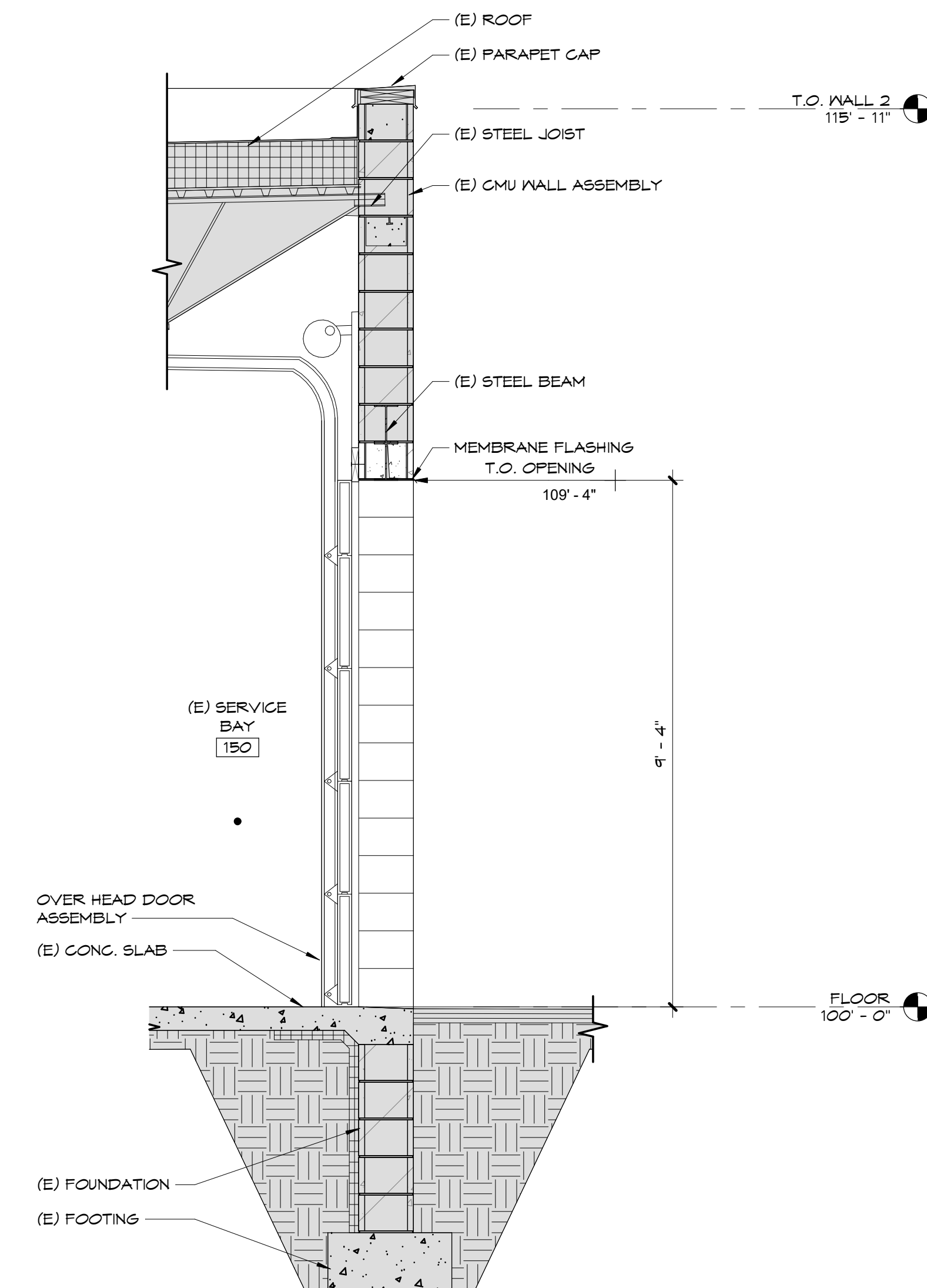
Drawn By: DTA

Sheet No.

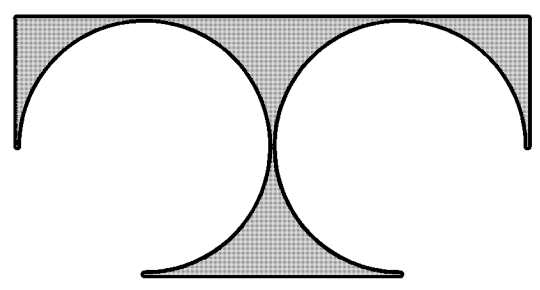
A 3.1



2 PARTIAL BUILDING SECTION
1/8" = 1'-0"

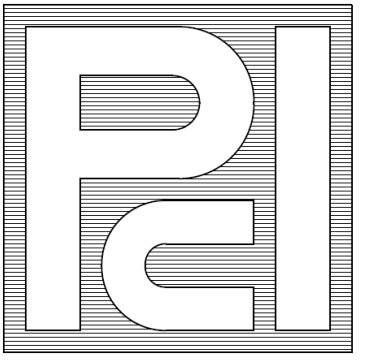


1 WALL SECTION
1/2" = 1'-0"



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Sheet Title

DOOR & FINISH SCHEDULES

Revision:

| No. | Description | Date |
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Date: 11/05/2024

Job No. 24154

Drawn By: DTA

Sheet No.

A 7.1

| HARDWARE SET #1 | | HARDWARE SET #2 | | HARDWARE SET #3 | | HARDWARE SET #4 | |
|-----------------|-------------|-----------------|--------------|-----------------|-------------|-----------------|--|
| 1-1/2 PR. | HINGES | 1-1/2 PR. | HINGES | 1-1/2 PR. | HINGES | HARDWARE BY | |
| 1 | STOP | 1 | STOP | 1 | STOP | DOOR | |
| 1 | CLOSER | 1 | PRIVACY LOCK | 1 | CLOSER | MANUFACTURER | |
| 1 SET | PUSH / FULL | 1 | H.C. SIGNAGE | 1 SET | PUSH / FULL | | |
| 1 | KICK PLATE | | | 1 | KICK PLATE | | |
| | | | | 1 | H/C SIGNAGE | | |

DOOR HARDWARE SET

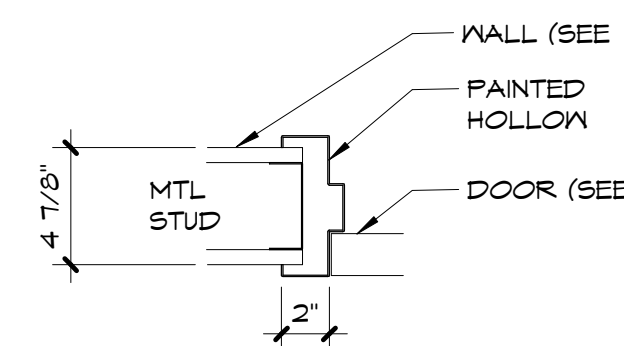
| ROOM FINISH LEGEND | |
|--------------------|--------------------------------------|
| KEY | DESCRIPTION |
| ACT-1 | ACOUSTIC CEILING TILE - 24" x 24" |
| ACT-2 | VINYL FACED GYPSUM BOARD - 24" x 24" |
| CMU | CONCRETE MASONRY UNIT |
| CONC. | CONCRETE |
| CPT | CARPET |
| EX | EXISTING FINISH |
| EX | EXPOSED STRUCTURE |
| GYP | GYPSUM BOARD |
| HM | HOLLOW METAL |
| F- | PAINT FINISH |
| PT | PORCELAIN TILE |
| PTB | PORCELAIN TILE BASE |
| SC | SEALED CONCRETE |
| VB | VINYL BASE |
| VCT | VINYL COMPOSITION TILE |
| WD | WOOD |

DOOR SCHEDULE

| MAR K | ROOM | WIDTH | HEIGHT | DOOR MATERIAL | DOOR FINISH | DOOR TYPE | GLASS | LABEL | FRAME TYPE | DOOR FRAME MATERIAL | DOOR HARDWARE | Comments |
|-------|------------------|----------|---------|-----------------|-------------|-----------|-------|-------|------------|---------------------|---------------|--------------------------|
| 100 | LOCKER ROOM | 3' - 0" | 7' - 0" | HOLLOW METAL | PAINTED | B | - | - | F-1 | HOLLOW METAL | 1 | |
| 101 | WOMEN | 3' - 0" | 7' - 0" | HOLLOW METAL | PAINTED | B | - | - | F-1 | HOLLOW METAL | 2 | |
| 102 | MEN | 3' - 0" | 7' - 0" | HOLLOW METAL | PAINTED | B | - | - | F-1 | HOLLOW METAL | 3 | FIELD VERIFY M.O. HEIGHT |
| 104 | ACCESSIBLE BREAK | 3' - 0" | 7' - 0" | HOLLOW METAL | PAINTED | B | - | - | F-1 | HOLLOW METAL | 1 | |
| 150 | (E) SERVICE BAY | 20' - 0" | 9' - 4" | STEEL INSULATED | PAINTED | A | - | - | - | - | 4 | |

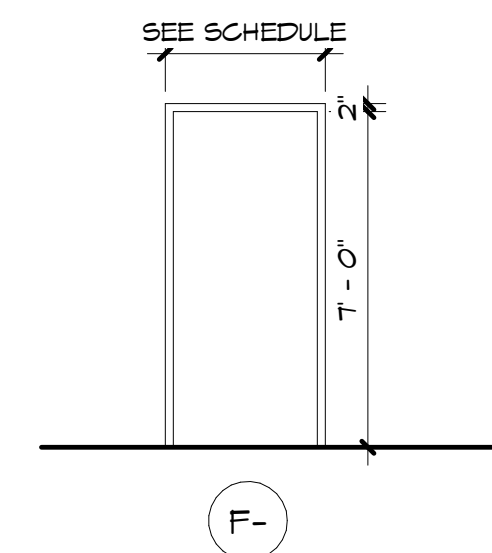
DOOR NOTES

- ALL DOOR HARDWARE SETS SHALL HAVE LEVER HANDLES UNLESS OTHERWISE NOTED
- ALL DOORS ARE TO BE 3'-0" X 7'-0" UNLESS NOTED
- ALL EXTERIOR DOORS TO BE INSULATED & HAVE CLOSURES



HOLLOW METAL /

3 FRAME DETAILS
1 1/2" = 1'-0"



2 FRAME TYPES
1/4" = 1'-0"



1 DOOR TYPES
1/4" = 1'-0"