



VILLAGE OF THIENSVILLE
Historic Preservation Commission
AGENDA

DATE: Tuesday, April 9, 2024

LOCATION: 250 Elm Street, Thiensville, WI

TIME: 6:00 PM

I. CALL TO ORDER

II. ROLL CALL

CHAIR:	JESSE DAILY
COMMISSIONERS:	ANGELINA APOSTOLOS PHILIP ECKERT (EXCUSED) NATHAN MATSON MARY GIULIANI JOSEPH MILLER LINDA UNKEFER
DIRECTOR OF COMMUNITY SERVICES/PUBLIC WORKS:	ANDY LAFOND

III. CITIZENS TO BE HEARD

A. Open to any resident or taxpayer on items not subject to a public hearing: Please be advised per §19.84(2), information will be received from the public. Village policy limits a three (3) minute time period per person, with time extension by the presiding official's discretion or a vote of 2/3 of the Board or Committee; be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments. Written comments on agenda items are encouraged to be sent and addressed to the intended body by noon on the day of the meeting. Comments received timely will be forwarded to all members of the body. If you wish to speak, you must pre-register by emailing the Village Clerk at clandisch@village.thiensville.wi.us by 4:00 PM on the day of the meeting or by signing in immediately prior to the meeting.

IV. DATE AND TIME OF NEXT MEETING

A. May 7, 2024 (if necessary)

V. APPROVAL OF MINUTES

A. March 5, 2024 (att)

VI. BUSINESS

A. Discussion and action on Certificate of Appropriateness to Raze existing single-family home and Construct a new single-family home, 127 S. Main Street, Michael and Linda Koepke (att)

B. Discussion and action on Historic Plaque, 161 Green Bay Road (att)

C. Discussion regarding location of new Historic Plaque

VII. STAFF REPORT

A. Staff Report (att)

VIII. ADJOURNMENT

Colleen Landisch-Hansen, Village Clerk

April 4, 2024

Please advise the Thiensville Municipal Hall, 250 Elm Street (262-242-3720) at least 24 hours prior to the start of this meeting if you have disabilities and desire special accommodations.



VILLAGE OF THIENSVILLE
Historic Preservation Commission
MINUTES

DATE: Tuesday, March 5, 2024

LOCATION: 250 Elm Street, Thiensville, WI

TIME: 6:00 PM

I. CALL TO ORDER

Chair Daily called the meeting to order at 6:00 PM.

II. ROLL CALL

CHAIR:	JESSE DAILY
COMMISSIONERS:	ANGELINA APOSTOLOS PHILIP ECKERT NATHAN MATSON MARY GIULIANI JOSEPH MILLER LINDA UNKEFER ANDY LAFOND
DIRECTOR OF COMMUNITY SERVICES/PUBLIC WORKS:	

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There were no Citizens to be Heard.

IV. DATE AND TIME OF NEXT MEETING

A. April 9, 2024 (if necessary)

V. APPROVAL OF MINUTES

A. February 6, 2024 (att)

MOTION by Commissioner Matson, **SECONDED** by Commissioner Giuliani to approve the February 6, 2024 Minutes. **MOTION CARRIED UNANIMOUSLY.**

VI. BUSINESS

A. Discussion and action on Certificate of Appropriateness to Raze existing single-family home and Construct a new single-family home, 127 S. Main Street, Michael and Linda Koepke (att)

Applicant Michael Koepke noted there is nothing worth saving or historically significant with the building. Mr. Koepke is exploring the possibility of razing the house and older garage and building a new house. The existing newer garage would remain.

Director LaFond discussed the staff report. There has been turnover on the Commission in the past five years. Materials prepared for Commissioners include minutes of past discussions related to proposals to remodel the home. Then-Chairman Heinritz noted during a prior consideration that the home had no remaining significant architectural features. The Commission at the time approved a Certificate of Appropriateness for a large-scale exterior reconfiguration and remodel. That project was completed due to prices and other circumstances. Director LaFond recommended that approval of a Certificate of Appropriateness be contingent on obtaining other necessary approvals and permits. Potential action by the Commission is considering if it is appropriate to remove the existing structure and if the proposed building is appropriate for the Historic District. The property is in the B-1 business district and a portion of the first floor must remain a business use.

Chair Daily noted the proposal is an improvement. The gabled porch adds to the character. Mr. Koepke noted the building will be white with black window frames and a black roof. Commissioner Unkefer noted the materials state the original structure was Craftsman-style and built in 1920. Mr. Koepke replied that is debatable; the original structure was stucco. The porch was added later and there are Craftsman-style pillars on the front of the house. Commissioner Unkefer asked if the proposal includes Craftsman elements. Mr. Koepke noted the house was not Craftsman style and the added elements were modern at the time. The home will be a combination of a residence and business. Director LaFond noted that whether the first floor must be 30% business is the purview of the Zoning Administrator and Plan Commission. Chair Daily suggested some steps could be taken to dress up the front of the building. Commissioner Giuliani noted the windows on the north elevation could be made more attractive. Mr. Koepke offered to place overhead awnings above the front windows and added he was not in favor of adding windows or making changes on the north side. Chair Daily asked Mr. Koepke to revise the plans and return in April with a proposal that reflects the discussed modifications.

MOTION by Commissioner Miller, **SECONDED** by Commissioner Unkefer to table Certificate of Appropriateness to Raze existing single-family home and Construct a new single-family home, 127 S. Main Street. **MOTION CARRIED UNANIMOUSLY.**

B. Discussion and action on Historic Plaque, 161 Green Bay Road (att)

Commissioners reviewed proposed language for a plaque and discussed several potential modifications. Revisions will be discussed at the next meeting.

C. Discussion regarding location of new Historic Plaque

Commissioners will discuss this item at the next meeting.

VII. STAFF REPORT

A. Staff Report (att)

Director LaFond noted that staff has approved a new roof at 116-122 S. Main Street and the replacement of a front porch damaged by a car at 116-112 S. Main Street.

VIII. ADJOURNMENT

MOTION by Commissioner Eckert, **SECONDED** by Commissioner Miller to adjourn the meeting at 6:46 PM. **MOTION CARRIED UNANIMOUSLY.**

Submitted by,

Gary Achterberg
Administrative Assistant

Signed by,

Andy LaFond
Director of Community Services and Public Works



Andy LaFond Director of Community Service 3/1/2024

To: The Village of Thiensville Historic Preservation Commission (HPC)

Subject: Certificate of Appropriateness (COA) for 127 S Main Street - Razing and Construction of a New Single-Family Home

I am writing to present this staff report for your consideration regarding the Certificate of Appropriateness (COA) for the proposed razing of 127 S Main Street, Thiensville, Wisconsin, and the subsequent construction of a new single-family home. The meeting is scheduled for Tuesday, March 5th, at 6 pm.

Background:

1. **Previous Historic Preservation Commission Meeting (November 1, 2022):** Mr. Michael Koepke sought input on razing the existing structures and presented plans for the new home. He will return with a formal application for razing and detailed plans for the new structure.
2. **Previous Plan Commission Meeting (September 13, 2022):** Director LaFond noted this as a consultation before an architect developed plans. The HPC favored the project but tabled the COA until detailed plans were provided.
3. **Previous Historic Preservation Commission Meeting (August 12, 2020):** Mr. Koepke discussed the exhaustion of resources to maintain the existing building and proposed razing it for a new structure.
4. **Historical Significance:** The property is one of 10 buildings in the Historic District recorded with the United States Department of the Interior National Register of Historic Places. Built in 1920, it is known as the Walter Bublitz residence.
5. **Previous Garage Approval:** The approval for the previous garage required the razing of the original garage, which is pending completion.
6. **New Structure Design:** The new structure reflects a modern farmhouse style. Staff notes a reduction in architectural features compared to previous versions, including dormers, a full front porch, and a second-story shed-style window awning.



Regulations and Compliance:

7. **Village Ordinances:** Sec 42-59 (b) regulates the demolition of historic buildings. The current exterior was deemed to lack significant architectural features, but preferences were expressed during the initial approval.
8. **State Historic Preservation Office Opinion:** No federal law is triggered. State statute 66.0413(3)(c) requires a 30-day notice for National Register-listed properties. Compliance involves notifying the Wisconsin State Historic Preservation Office 30 days before issuing a demolition permit.

Recommendations:

9. **Conditional Approval:** If the Commission approves the COA for Demolition and the new structure, staff recommends including language in the motion that prohibits the issuance of a raze COA or permit until the new structure gains approval from the Plan Commission, Zoning Administrator, Flood Plain Engineer, and the Wisconsin State Historic Preservation Office.

Conclusion:

Considering the history of consultations, the property's significance, and regulatory compliance, this staff report provides comprehensive information for the HPC's decision-making process. I am available to address any questions or provide further clarification during the upcoming meeting on Tuesday, March 5th, at 6 pm.

Sincerely,

Andy LaFond
Director of Community Service



250 Elm Street Thiensville WI, 53092

WWW.VILLAGE.THIENSVILLE.WI.US

Existing Residence





New Garage





Village of Thiensville

Historic Preservation

Certificate of Appropriateness

Property Address: 127 S. Main St., Thiensville WI 53092

Tax Key #

Property Owner

Michael Koepke

Name

127 S. Main Street

Address

Theinsville, WI 53092

Phone

414.313.3301

Email address

Current Zoning

Applicant ☒ Same as owner

Name

Address

Phone

mjkpps@gmail.com

Email address

Project description - Please describe your project in detail. Include details about height and dimensions, color, materials used and setbacks from the street and property lines. Describe exterior architectural feature affected, such as windows, roofs, porches, cornices or masonry. Briefly describe the feature or materials and give the approximate date it was constructed, if known. Describe in detail the proposed work and how it will impact the existing feature. If more space is needed, continue on a separate page.

Raze existing home and garage. Replace with new home. See attached plans. Let me know if you need anything prior to the meeting. Thank you.

Applicant's Signature

2-23-24

Date

A complete application shall be submitted by the deadline stated on the meeting schedule to the Village Clerk In order for an application to be considered complete, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. Owner, architect, builder or owner's representative must attend the Historic Preservation Commission meeting for action to be taken. See staff approval policy for projects that may not require commission approval. Some projects will require Plan Commission approval and paid and approved building permit. Projects not completed within 1 year of approval date must apply for renewal.



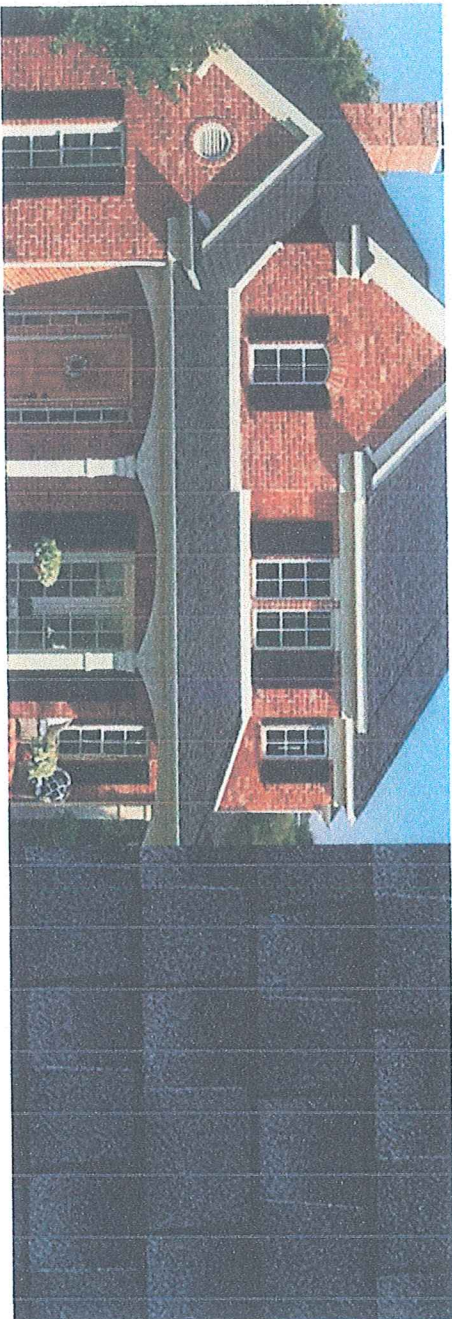
Roofing Materials > Residential Roofing Materials > Shingles > Timberline® AS II

Timberline® AS II

Timberline® AS II Shingles with UL 2218 Class 4 impact resistance give your roof a fighting chance in hail-prone areas and help protect it against wind and blue-green algae too.

★★★★★ 4.8 (370) [WRITE A REVIEW](#)

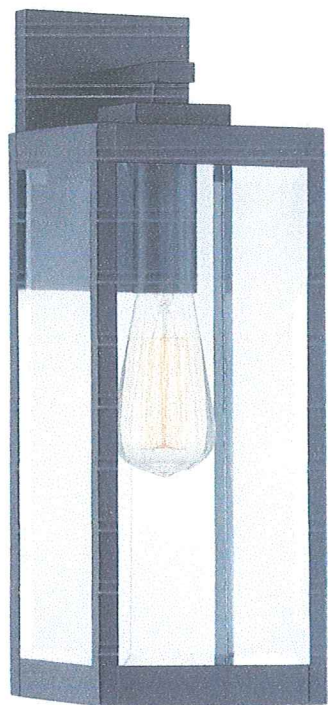
[Find a Contractor](#)



WVR8406EK

Westover Outdoor Lantern

Earth Black

QUOIZEL
LIGHTING**DETAILS**

Material: Steel

Glass/Shade Description: Clear Beveled
Glass

Remote Included: No

LAMPING

Light Source: Incandescent

Bulb Included: No

Bulb Type: Medium Base

Bulb Quantity: 1

Watts per Bulb: 100

ELECTRICAL

Dimmable: Yes

Voltage: 120v

Wire Length: 0.5'

INSTALLATION

Location Rating: Wet

Install Position: Down

Sloped Ceiling Compatible: No

DIMENSIONS

Dimensions: 6" W x 17" H x 7.5" D

Backplate Dimensions: 7.00"H x 4.50"W

HCWO: 2.5"

Weight: 7.15 lbs

2 - EACH SIDE OF FRONT DOOR**2** - EACH SIDE OF REAR DOOR

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03/31/2013

Installation Instructions for

990P623_01-BRN

Barn Light Dome & Barn Light I Light Pendant**6236701, 6237401 | 1.0**

VISUAL COMFORT & Co.

STUDIO COLLECTION

GENERAL PRODUCT INFORMATION:

These fixtures are intended to be installed utilizing NEC compliant junction boxes.

This product is safety listed for damp locations.

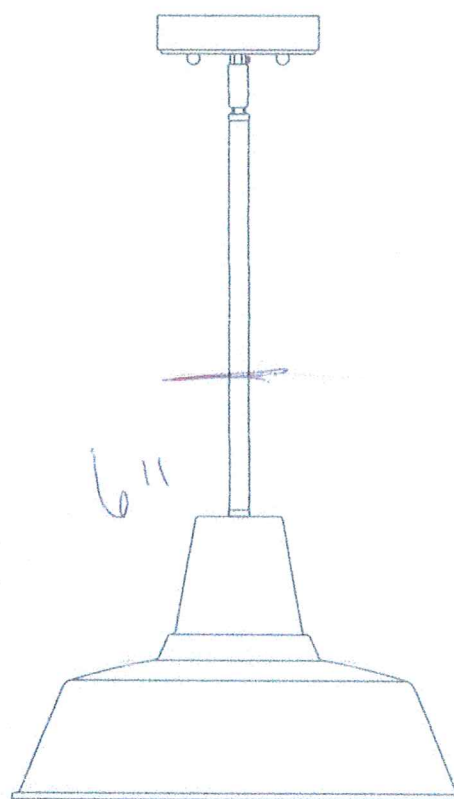
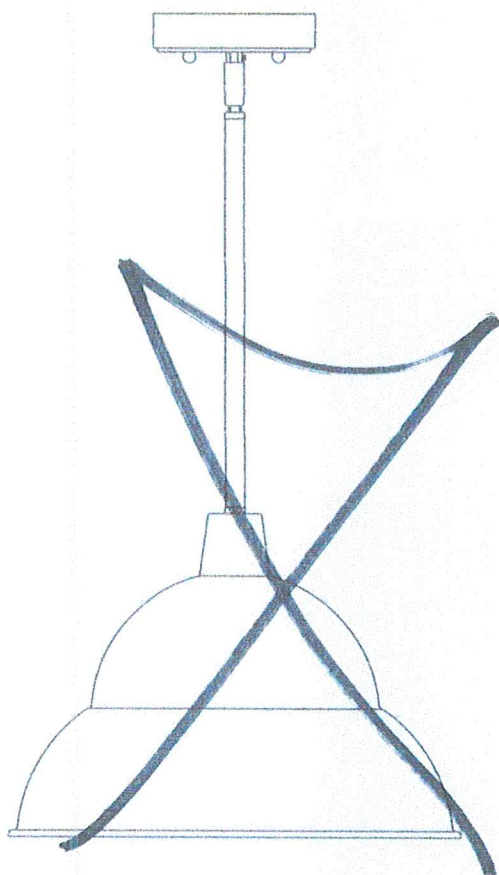
Incandescent version may be dimmed with a standard incandescent dimmer. LED version may be dimmed with a LED dimmer. Consult lamp manufacturer for additional information.

This instruction shows a typical installation.

CAUTION - RISK OF FIRE

This product must be installed in accordance with the applicable installation code by a person familiar with the construction and operation of the product and the hazards involved.

Use minimum 90°C supply conductors.

SAVE THESE INSTRUCTIONS!

VISUAL COMFORT & Co.

7400 Linden Ave., Skokie, IL 60077

T 847.610.1400 | F

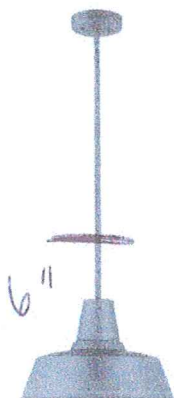
847.410.4500

www.visualcomfort.com

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VISUAL COMFORT & Co.

6237401-12: One Light Outdoor Pendant



Dimensions:

Diameter: 14.0"
Height: 9.0"

Wire: 120" (color, Black)
Mounting Proc.: Cap Nuts
Connection: Mounted To Box

Bulbs:

1 - Medium A19 75.0w Max. 120v Not included

Features:

- Dark Sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.
- Easily converts to LED with optional replacement lamps
- Meets Title 24 energy efficiency standards
- Title 24 compliant if used with Joint Appendix (JA8) approved light bulbs listed in the California Energy Commission Appliance database.

Material List:

1 Body - Aluminium - Black
3 1/2" Stem - Steel - Black
1 6" Stem - Steel - Black

Safety Listing:

Safety Listed for Damp Locations

Instruction Sheets:

Trilingual (English, Spanish, and French) (990P623_01-BRN)

Collection: Barn Light

Featured in the decorative Fredricksburg collection

1 A19 Medium 100 watt light bulb

Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.

Easily converts to LED with optional replacement lamps

Sloped ceiling mounting hardware included

UPC #: 785652097690

Finish: Black (12)

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Canopy	1.12			5.0		

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Frt. Class	UPS Ship
Individual	6237401-12	1	785652097690	16.1	16.4	11.9	1.82	4.5	0	Yes
Master Pack	6237401-12	0	10785652097697							No
NJ Pallet		40		48.0	40.0	78.0	86.67	180.0		No
NV Pallet		40		48.0	40.0	78.0	86.67	180.0		No

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MAIN STREET RESIDENCE

127 SOUTH MAIN STREET
THIENSVILLE, WISCONSIN 53029



1 EAST ELEVATION
0.0 FRONT 3/16" = 1'-0"



2 NORTH ELEVATION
0.0 RIGHT SIDE 3/16" = 1'-0"



3 SOUTH ELEVATION
0.0 LEFT SIDE 3/16" = 1'-0"



4 WEST ELEVATION
0.0 REAR 3/16" = 1'-0"

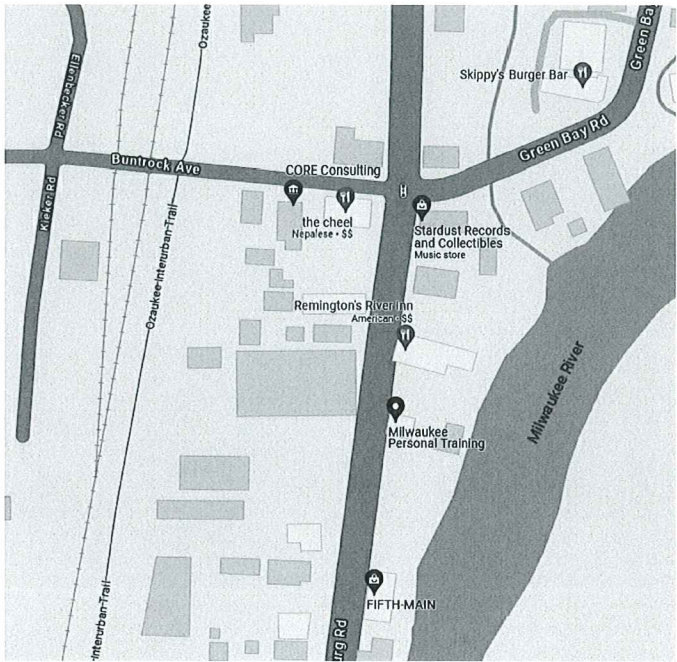
Sheet Index:

0.0	COVER SHEET
1.0	EXTERIOR ELEVATIONS
1.1	EXTERIOR ELEVATIONS
2.0	FOUNDATION PLAN
2.1	FIRST FLOOR PLAN
2.2	SECOND FLOOR PLAN
3.0	BUILDING SECTIONS
3.1	DETAILS
4.0	ARCHITECTURAL SITE LAYOUT

REAL design
tangible ideas
2987 South Howell Ave.
Milwaukee, WI 53207
414-202-3858
PROJECT NAME
MAIN STREET RESIDENCE

PROJECT INFO
Linda and Mike Koepke
127 S. Main Street
Thiensville, WI 53092
e: mjkpps@gmail.com

RD PROJECT No.
023100



5 LOCATION MAP
0.0 n.t.s

ISSUED HISTORY

SET TYPE
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SUBMISSION

DATE
02-23-24

SHEET TITLE
COVER SHEET

SHEET NUMBER

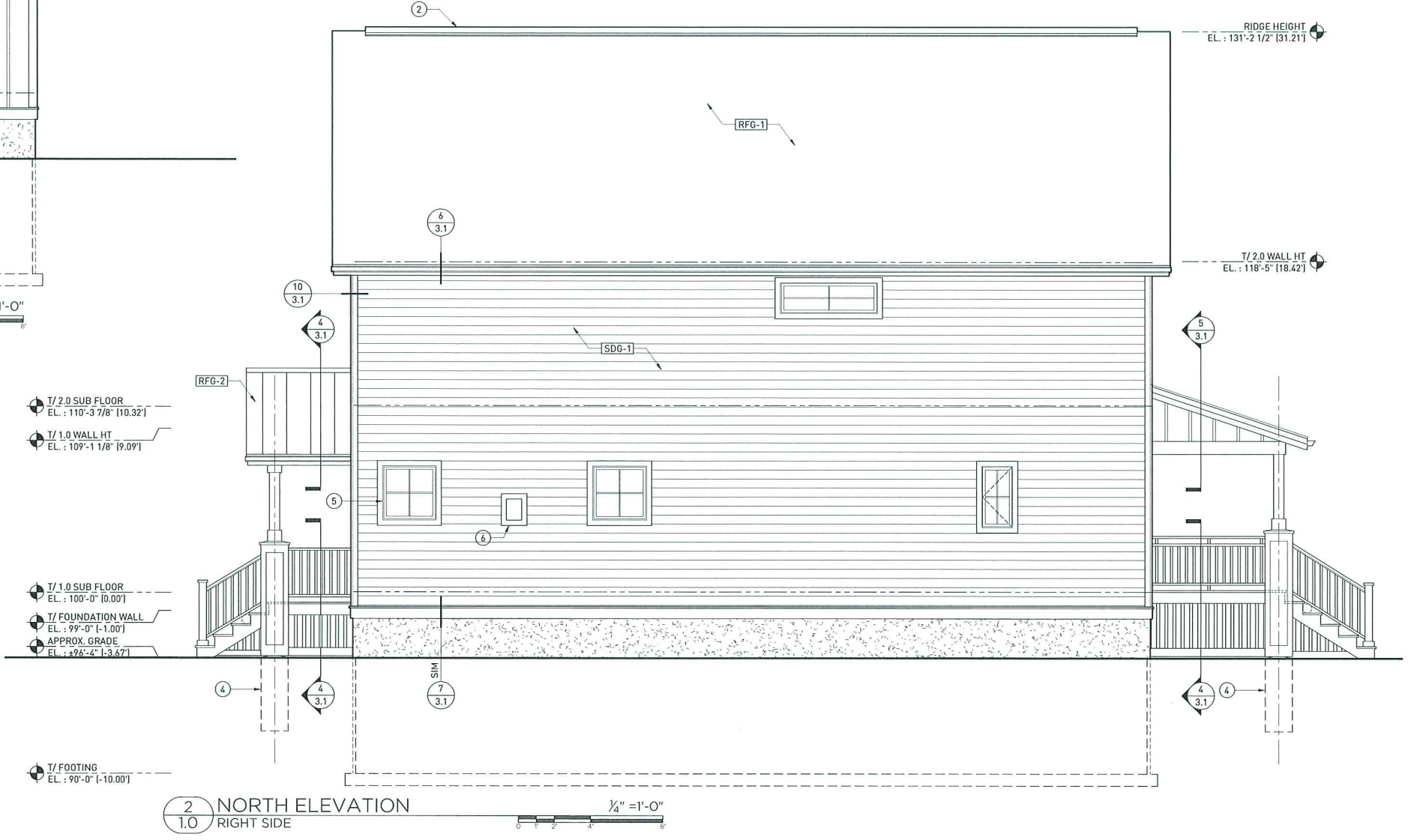
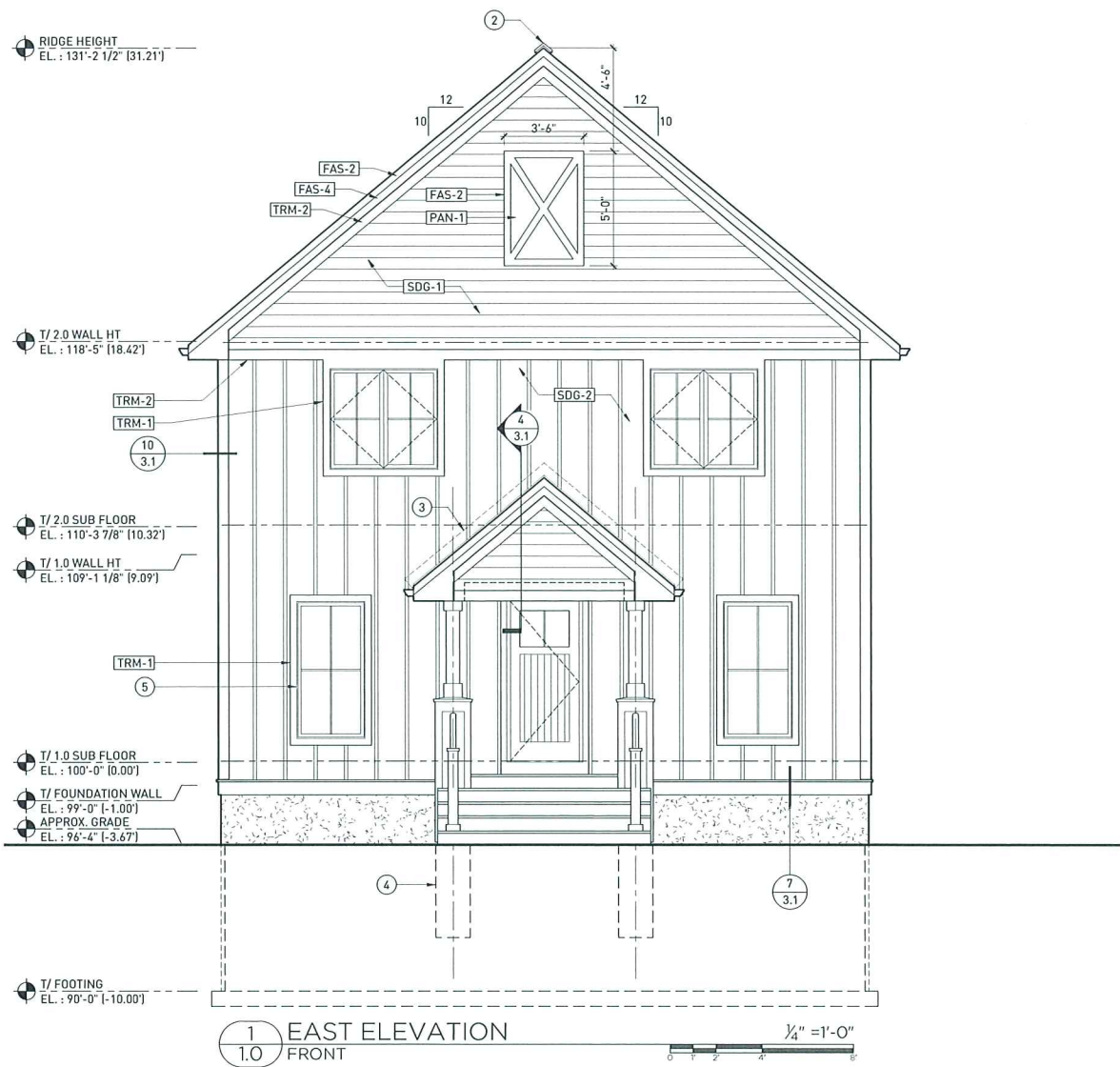
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Exterior Notes:

- CONSTRUCTION NOTES:
- 1 - WINDOW WELL
 - 2 - CONTINUOUS RIDGE VENT
 - 3 - METAL FLASHING, UP 6" VERTICAL FACE MIN.
 - 4 - 18" Ø CONCRETE FOOTING WITH COLUMN BASE PLATE, 4'-0" BELOW GRADE MIN.
 - 5 - COMPOSITE WINDOW, ANDERSEN 100 BASIS OF DESIGN, COLOR: BLACK
 - 6 - FIREPLACE VENT

Exterior Material Identification:

- RFG-1 - 30 YR. MIN. DIMENSIONAL ASPHALT SHINGLES
- RFG-2 - STANDING SEAM METAL ROOFING, COLOR: BLACK
- SDG-1 - 6" REVEAL LAP LP SMART SIDING, TEXTURE: CEDAR, COLOR: SNOW WHITE
- SDG-2 - 16" w. LP VERTICAL SMART SIDING W/ 1x2 TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
- PAN-1 - LP SMART SIDING PANEL, TEXTURE: CEDAR, COLOR: SNOW WHITE
- GUT - K-STYLE ALUMINUM GUTTER, COLOR: SNOW WHITE
- SOF-1 - 16" VENTED LP SOFFIT PANEL, TEXTURE: CEDAR, COLOR: SNOW WHITE
- SOF-2 - 12" SOLID LP SOFFIT PANEL, TEXTURE: CEDAR, COLOR: SNOW WHITE
- SOF-3 - PORCH SOFFIT
- FAS-1 - 1x2 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
- FAS-2 - 1x4 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
- FAS-3 - 1x6 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
- FAS-4 - 1x8 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
- TRM-1 - 5/4x4 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
- TRM-2 - 5/4x6 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
- TRM-3 - 5/4x8 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
- DEK-2 - PORCH DECKING
- RAL-1 - TOP RAILING
- BAL-2 - PICKET
- RAL-2 - BOTTOM RAIL



ISSUED HISTORY

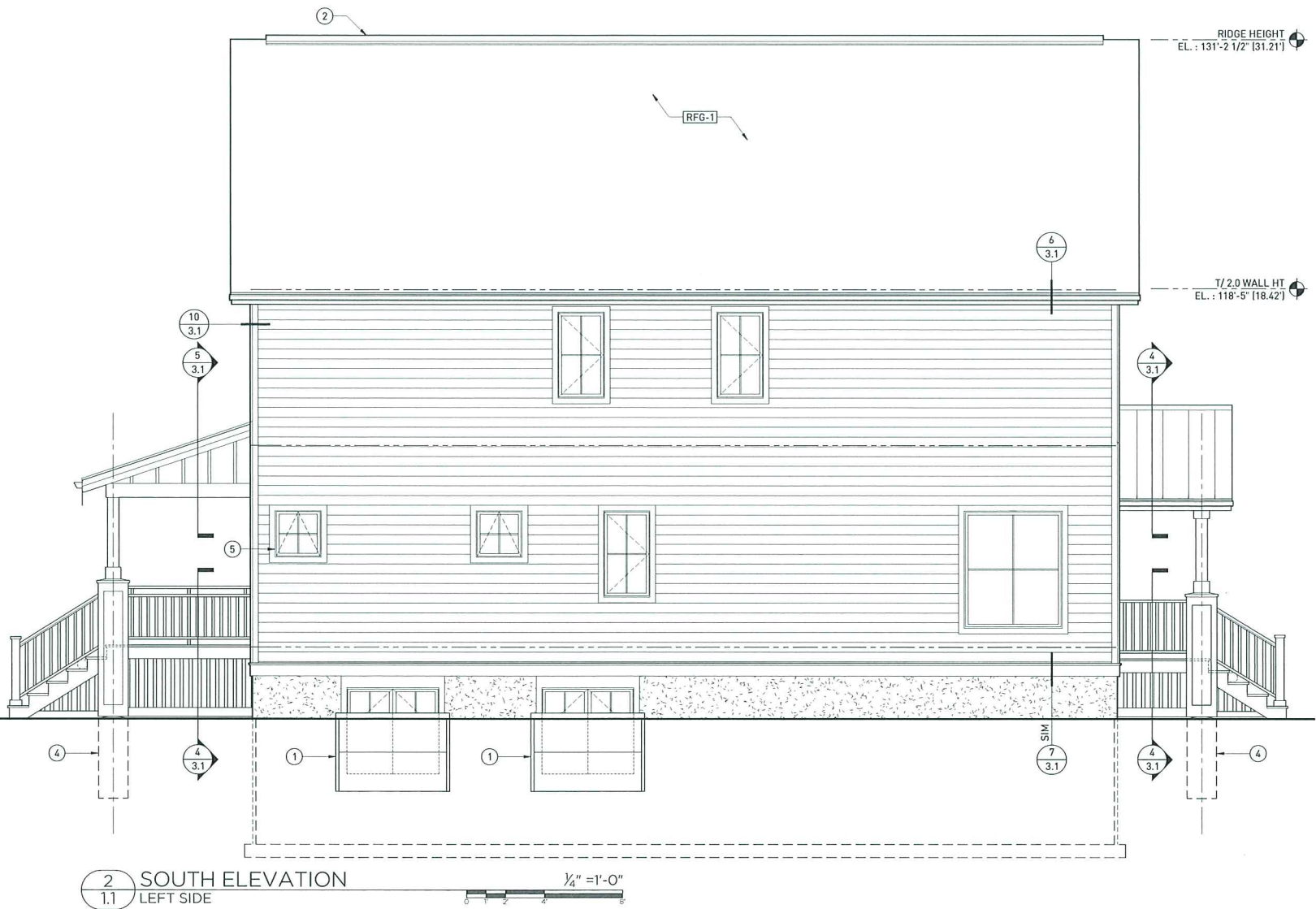
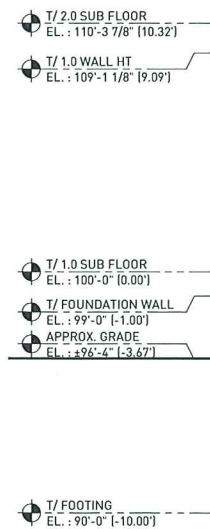
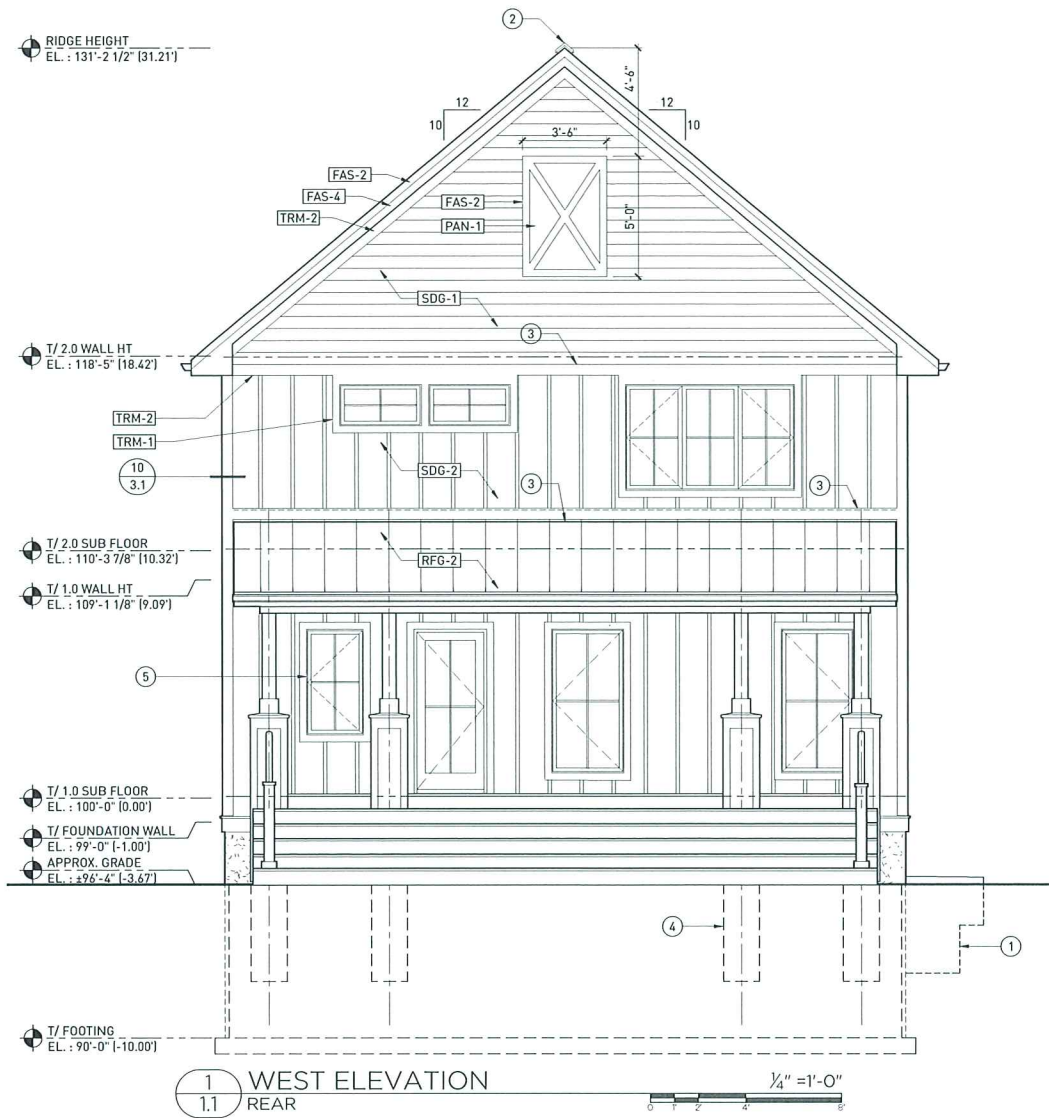
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02-23-24

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ELEVATIONS

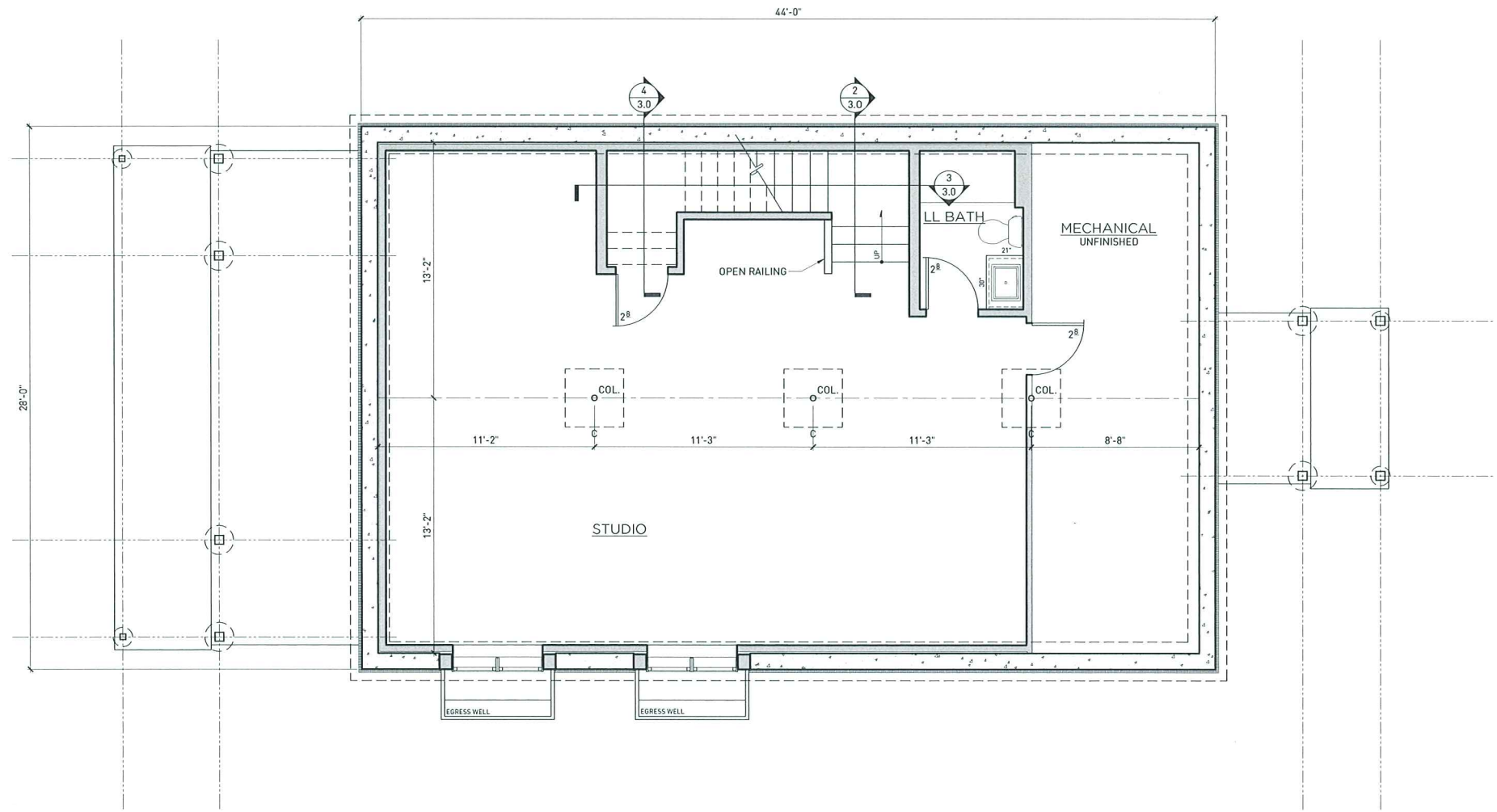
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TRM-3 - 5/4x8 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
DEK-2 - PORCH DECKING
RAL-1 - TOP RAILING
BAL-2 - PICKET
RAL-2 - BOTTOM RAIL



1 LOWER LEVEL PLAN
2.0 FLOOR AREA: 1,256 SQ. FT.
1/4" = 1'-0"

ISSUED HISTORY

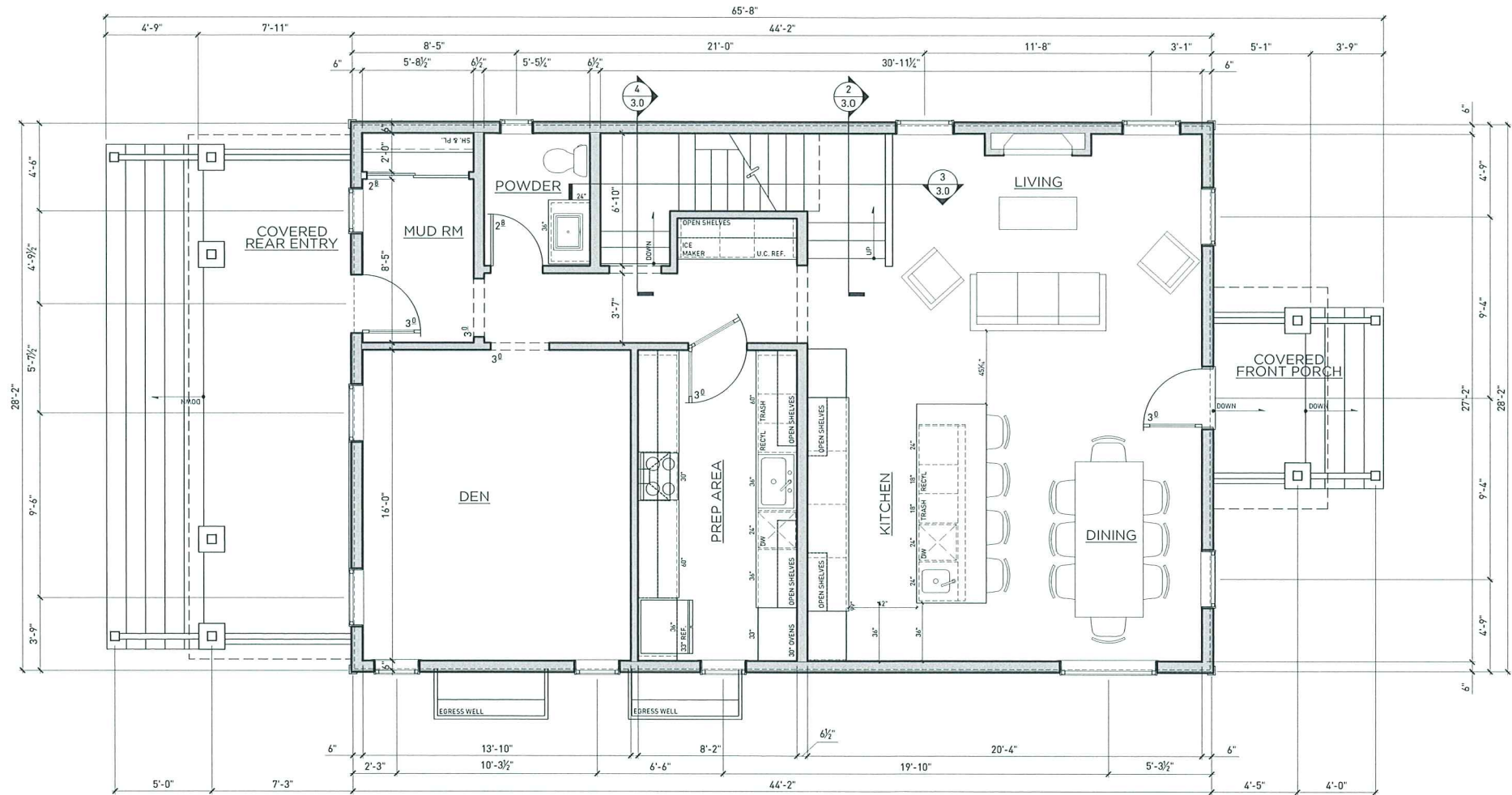
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DATE
02-23-24

SHEET TITLE
FLOOR PLANS

SHEET NUMBER

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N
2.0 FIRST FLOOR PLAN
FLOOR AREA: 1,256 SQ. FT.
1/4" = 1'-0"

ISSUED HISTORY

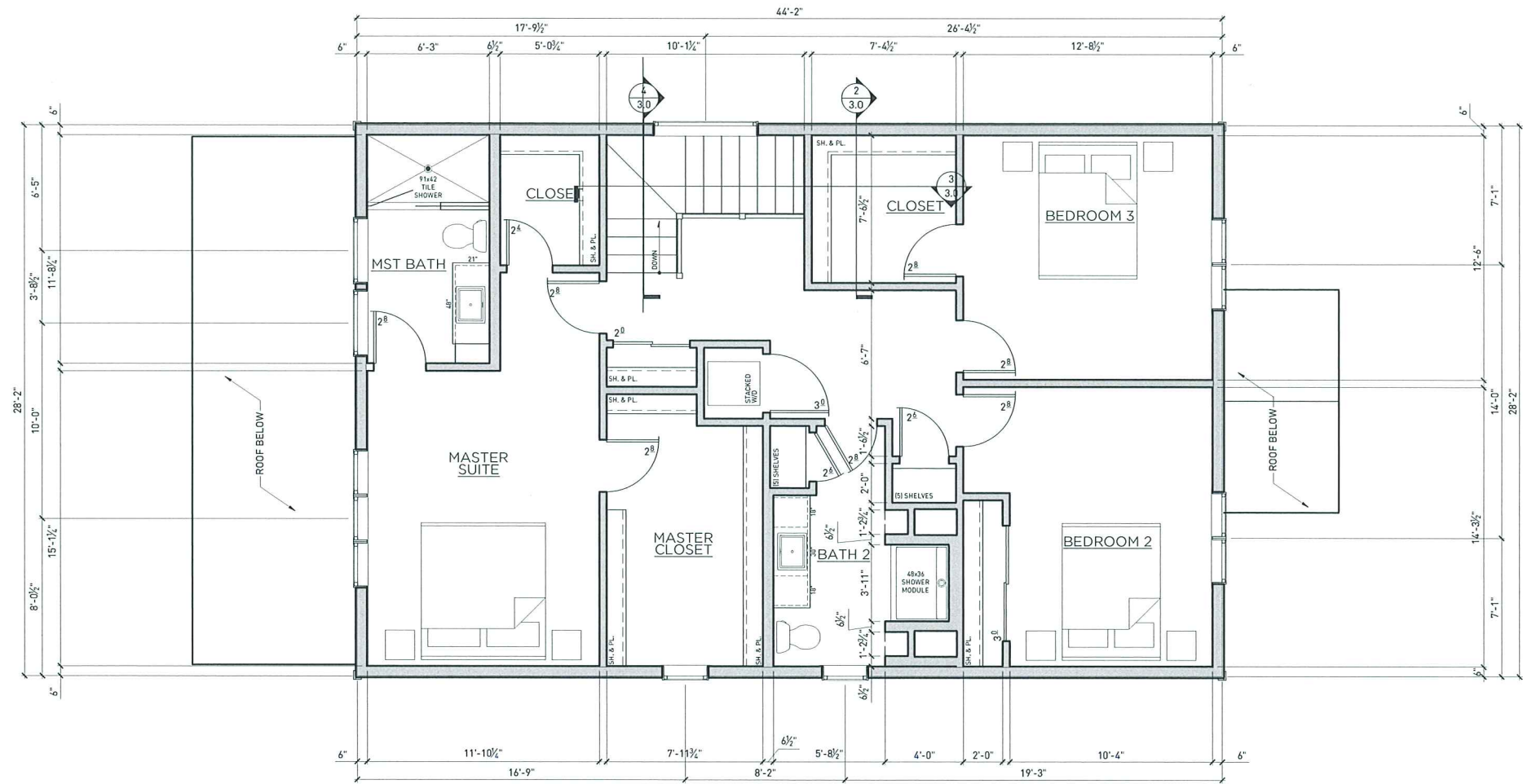
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SHEET TITLE
FLOOR PLANS

SHEET NUMBER

2.1



3 SECOND FLOOR PLAN
2.0 FLOOR AREA: 1,256 SQ. FT.
1/4" = 1'-0"

ISSUED HISTORY

SET TYPE
H.P.C. REVIEW
SUBMISSION

DATE
02-23-24

SHEET TITLE
FLOOR PLANS

SHEET NUMBER

2.2

- ROOF CONSTRUCTION
- 30 YR. MIN DIMENSIONAL ASPHALT SHINGLES
 - ICE AND WATER SHIELD
 - 15# BLDG. FELT
 - 1/2" O.S.B. DECKING, METAL CLIPS AS NEEDED
 - CONTINUOUS RIDGE VENTING
 - STATE APPROVED WOOD TRUSSES (VERIFY LAYOUT AND SPACING WITH PROVIDER)
 - PROVIDE UPLIFT PROTECTION AT EA. SIDE OF EA. TRUSS
 - R-49 MIN. INSULATION (PROVIDE BID ALTERNATES)
 - 6 MIL. VAPOR RETARDER
 - 5/8" GYPSUM BOARD CEILING FINISH

T/ 2.0 WALL HT
EL.: 118'-5" [18.42]

- SECOND FLOOR WALL CONSTRUCTION
- LP SMART SIDING - SEE ELEVATIONS
 - 1" INSULATED EXTERIOR STRUCTURAL ZIP SHEATHING WITH TAPED SEAMS
 - 2x6 WOOD WALL FRAMING AT 16" O.C.
 - R-21 MIN. WALL INSULATION (PROVIDE BID ALTERNATES)
 - 6 mil VAPOR RETARDER
 - 1/2" GYPSUM BOARD FINISH

- SECOND FLOOR FLOOR CONSTRUCTION
- VERIFY FINISH FLOORING
 - 3/4" T&G PLYWOOD SUB-FLOORING
 - CLEAT AND DROP SUB-FLOOR AS NEEDED IN TILED AREAS
 - 14" WOOD FLOOR TRUSSES (VERIFY LAYOUT, SPACING, AND DEPTH WITH PROVIDER)
 - R-19 INSULATION AT BOX SILL
 - 1/2" GYPSUM BOARD FINISH

T/ 2.0 SUB FLOOR
EL.: 110'-3 7/8" [10.32]

T/ 1.0 WALL HT
EL.: 109'-1 1/8" [9.09]

- FIRST FLOOR WALL CONSTRUCTION
- LP SMART SIDING - SEE ELEVATIONS
 - 1" INSULATED EXTERIOR STRUCTURAL ZIP SHEATHING WITH TAPED SEAMS
 - 2x6 WOOD WALL FRAMING AT 16" O.C.
 - R-21 MIN. WALL INSULATION (PROVIDE BID ALTERNATES)
 - 6 mil VAPOR RETARDER
 - 1/2" GYPSUM BOARD FINISH

- FIRST FLOOR FLOOR CONSTRUCTION
- VERIFY FINISH FLOORING
 - 3/4" T&G PLYWOOD SUB-FLOORING
 - CLEAT AND DROP SUB-FLOOR AS NEEDED IN TILED AREAS
 - 11 7/8" WOOD I-JOISTS (VERIFY LAYOUT AND SPACING WITH PROVIDER)
 - R-19 INSULATION AT BOX SILL

T/ 1.0 SUB FLOOR
EL.: 100'-0" [0.00]

T/ FOUNDATION WALL
EL.: 99'-0" [-1.00]

- FOUNDATION CONSTRUCTION
- SILL SEALER
 - ANCHOR BOLTS PER CODE
 - 2" RIGID INSULATION BELOW GRADE (R-10 min.)
 - BACKPLASTER AND WATER PROOFING
 - 10" w. POURED CONCRETE WALL
 - 24x12" CONT. CONC. FOOTING
 - FORM-A-DRAIN WITH BLEEDERS PER CODE

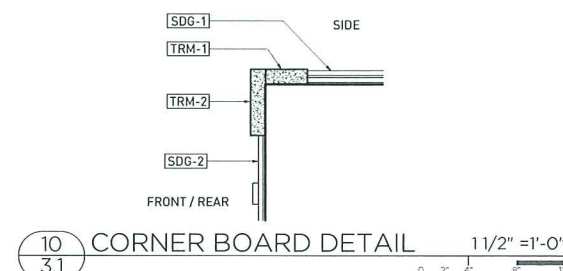
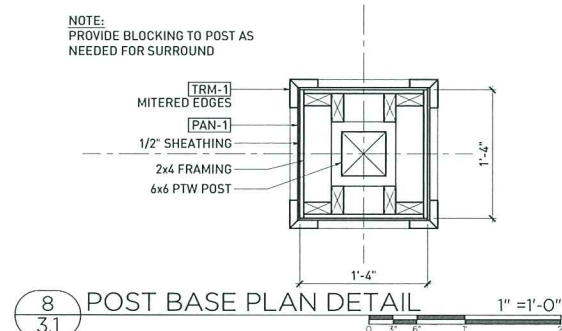
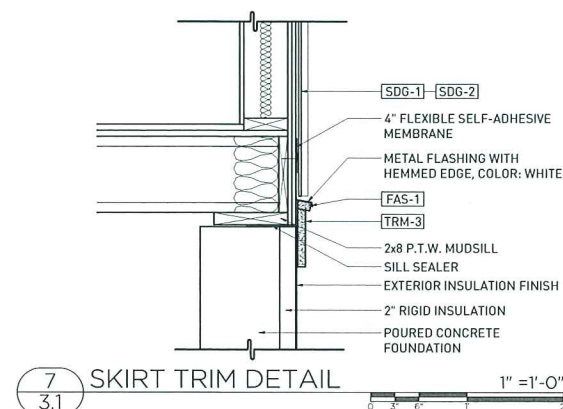
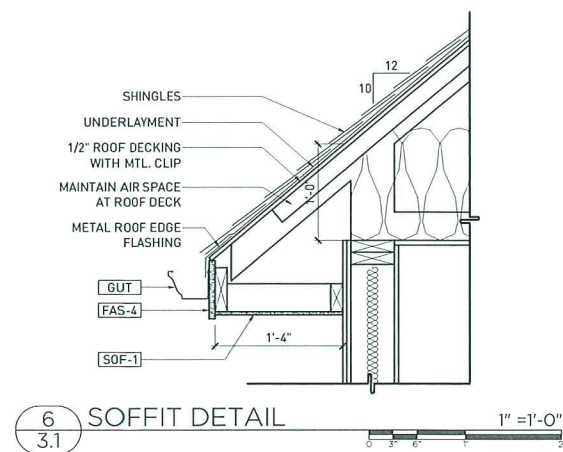
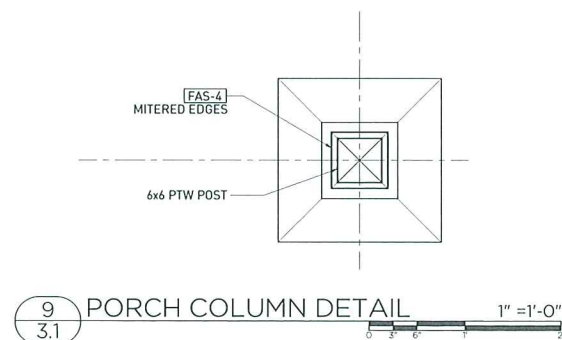
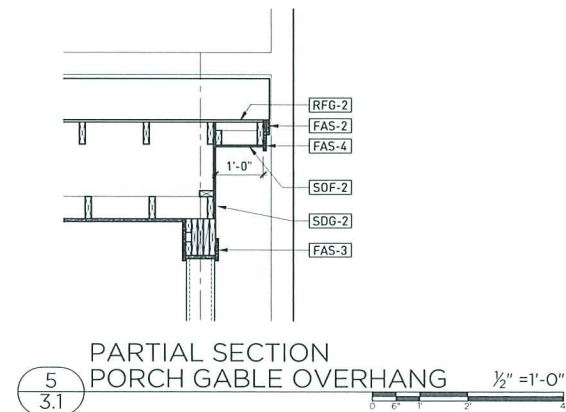
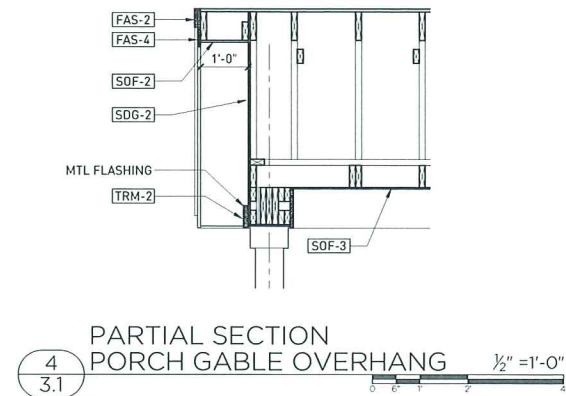
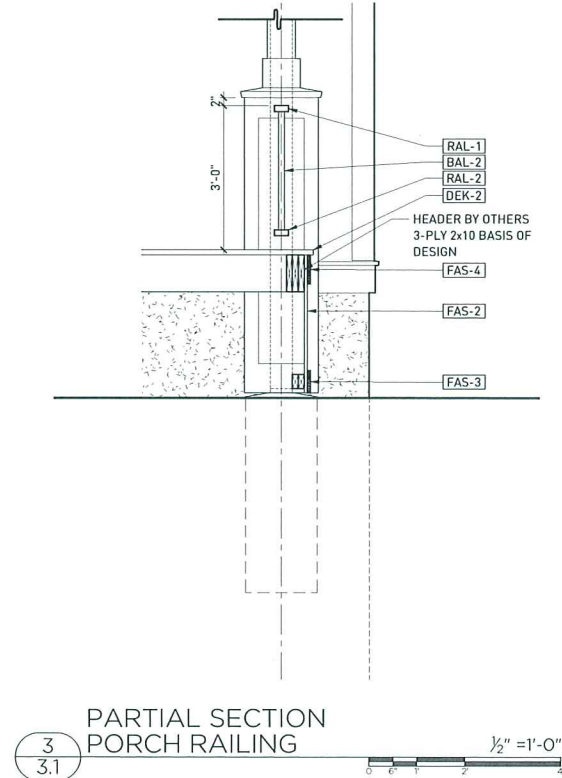
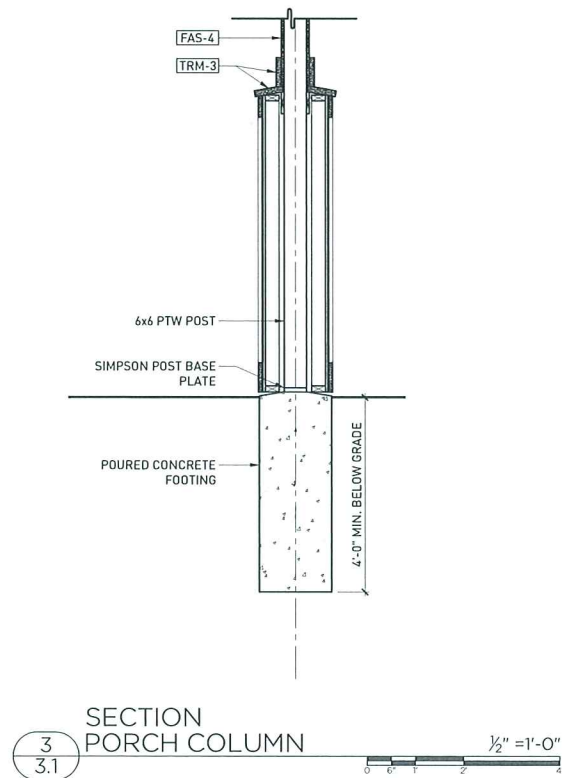
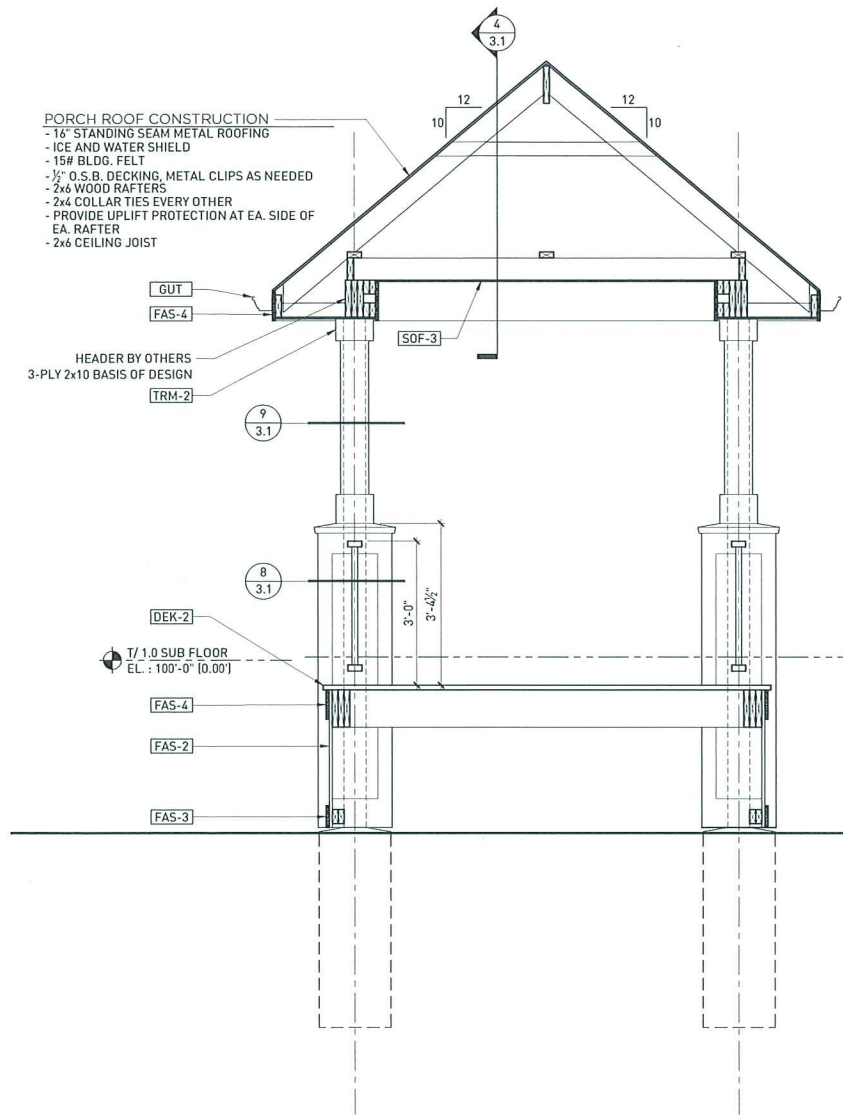
T/ FOOTING
EL.: 90'-0" [-10.00]

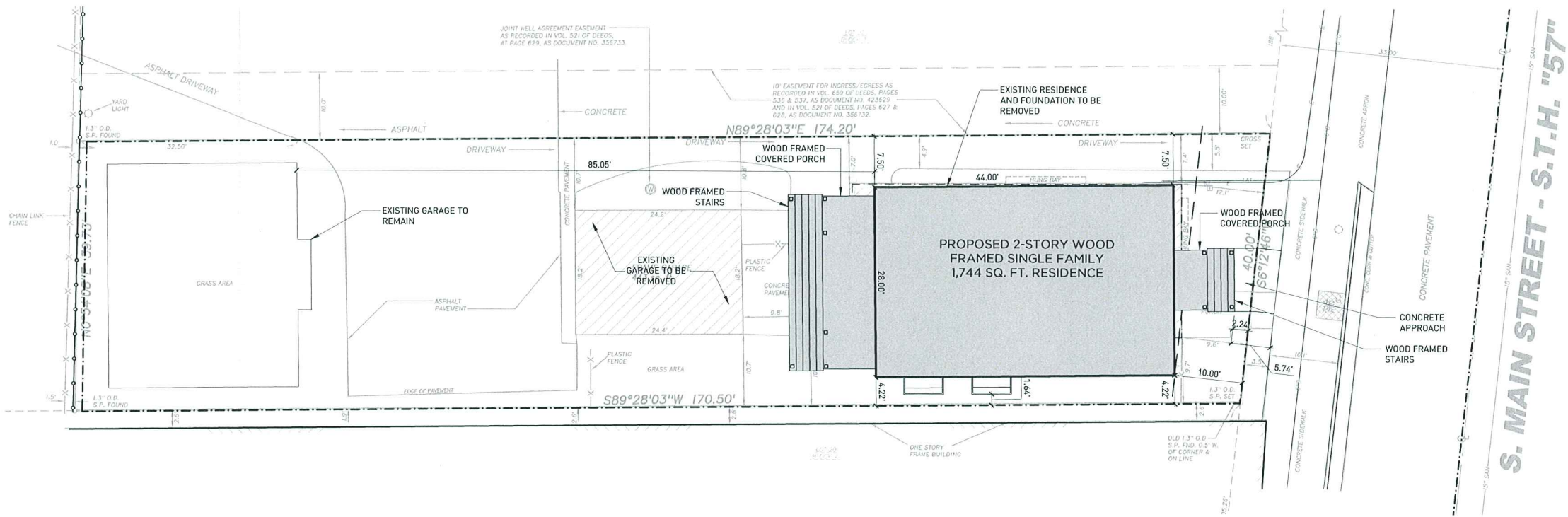
1 TYPICAL WALL SECTION 1/2" = 1'-0"

2 STAIR SECTION 1/2" = 1'-0"

3 PARTIAL SECTION PORCH COLUMN BASE 1/2" = 1'-0"

4 STAIR SECTION 1/2" = 1'-0"





1 ARCHITECTURAL SITE LAYOUT 1" = 10'-0"

ISSUED HISTORY

SET TYPE
H.P.C. REVIEW
SUBMISSION

DATE
02-23-24

SHEET TITLE
SITE LAYOUT

SHEET NUMBER

4.0

MAIN STREET RESIDENCE

127 SOUTH MAIN STREET
THIENSVILLE, WISCONSIN 53029



1 EAST ELEVATION
0.0 FRONT 3/16" = 1'-0"



2 NORTH ELEVATION
0.0 RIGHT SIDE 3/16" = 1'-0"



3 SOUTH ELEVATION
0.0 LEFT SIDE 3/16" = 1'-0"



4 WEST ELEVATION
0.0 REAR 3/16" = 1'-0"



5 LOCATION MAP
0.0 n.t.s.

Sheet Index:

0.0	COVER SHEET
1.0	EXTERIOR ELEVATIONS
1.1	EXTERIOR ELEVATIONS
2.0	FOUNDATION PLAN
2.1	FIRST FLOOR PLAN
2.2	SECOND FLOOR PLAN
3.0	BUILDING SECTIONS
3.1	DETAILS
4.0	ARCHITECTURAL SITE LAYOUT

REAL design
tangible ideas
2987 South Howell Ave.
Milwaukee, WI 53207
414-202-3858
PROJECT NAME
MAIN STREET RESIDENCE
PROJECT INFO
Linda and Mike Koepke
127 S. Main Street
Thiensville, WI 53092
e: mjkpps@gmail.com

RD PROJECT No.
023100

ISSUED HISTORY

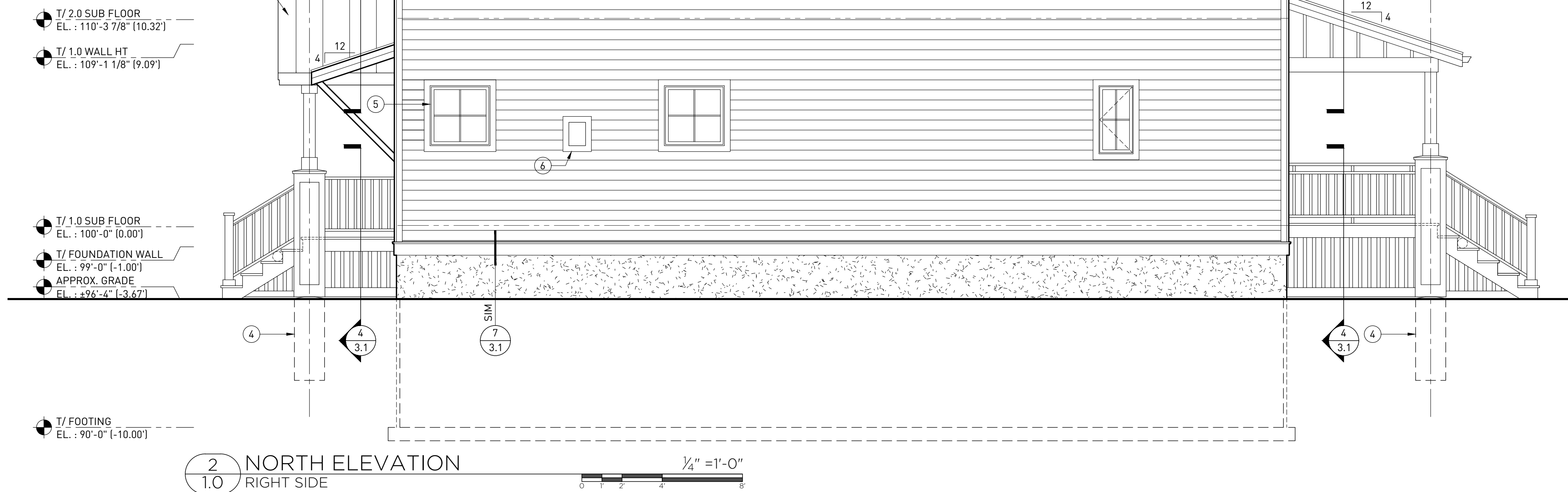
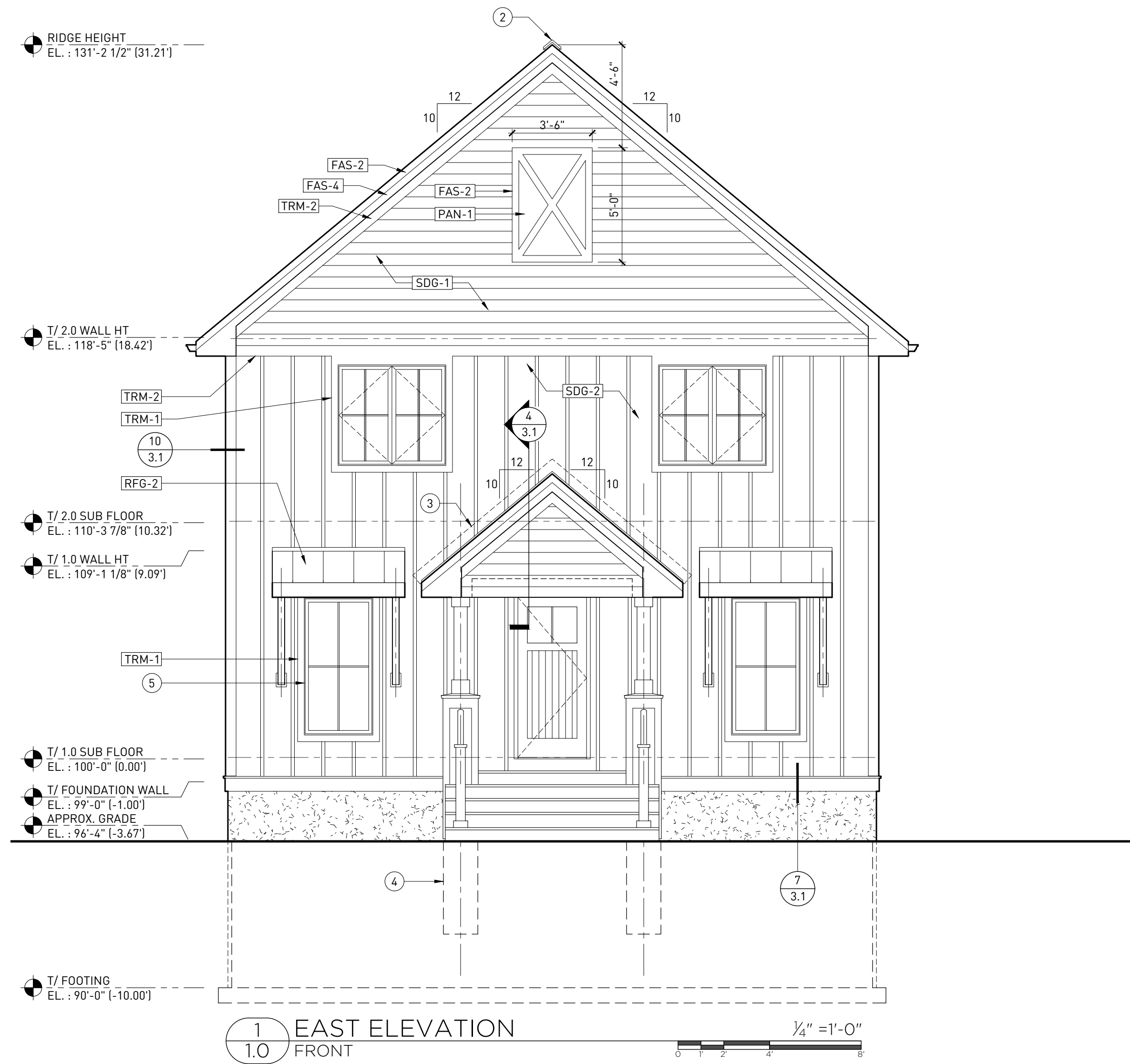
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H.P.C. SUBMISSION

DATE
03-29-24

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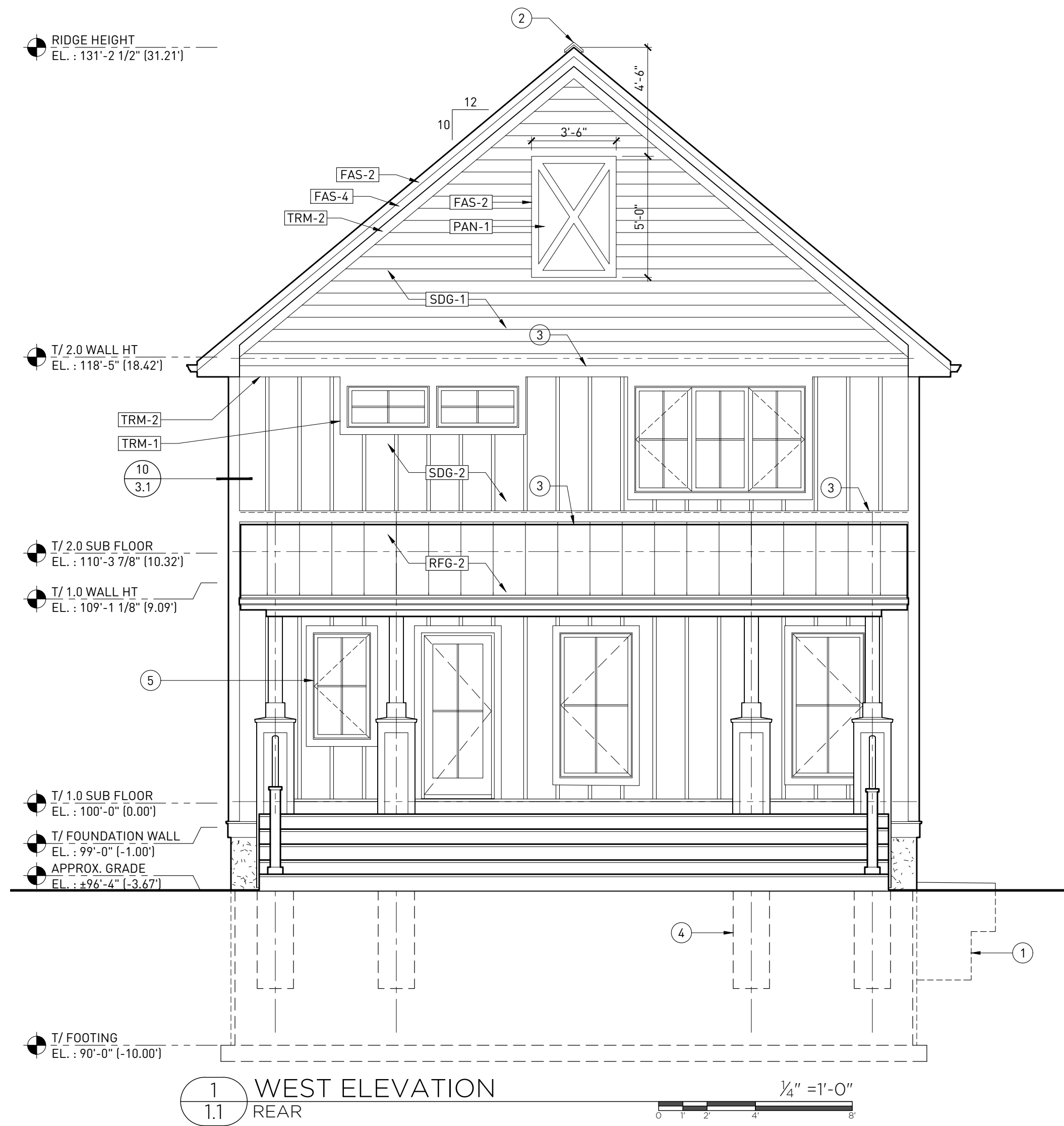
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- Exterior Notes:
- CONSTRUCTION NOTES:
- WINDOW WELL
 - CONTINUOUS RIDGE VENT
 - METAL FLASHING, UP 6" VERTICAL FACE MIN.
 - 18" Ø CONCRETE FOOTING WITH COLUMN BASE PLATE, 4'-0" BELOW GRADE MIN.
 - COMPOSITE WINDOW, ANDERSEN 100 BASIS OF DESIGN, COLOR: BLACK
 - FIREPLACE VENT

- Exterior Material Identification:
- RFG-1 - 30 YR. MIN. DIMENSIONAL ASPHALT SHINGLES
 - RFG-2 - STANDING SEAM METAL ROOFING, COLOR: BLACK
 - SDG-1 - 6" REVEAL LAP LP SMART SIDING, TEXTURE: CEDAR, COLOR: SNOW WHITE
 - SDG-2 - 16" w. LP VERTICAL SMART SIDING W/ 1x2 TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
 - PAN-1 - LP SMART SIDING PANEL, TEXTURE: CEDAR, COLOR: SNOW WHITE
 - GUT - K-STYLE ALUMINUM GUTTER, COLOR: SNOW WHITE
 - SOF-1 - 16" VENTED LP SOFFIT PANEL, TEXTURE: CEDAR, COLOR: SNOW WHITE
 - SOF-2 - 12" SOLID LP SOFFIT PANEL, TEXTURE: CEDAR, COLOR: SNOW WHITE
 - SOF-3 - PORCH SOFFIT
 - FAS-1 - 1x2 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
 - FAS-2 - 1x4 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
 - FAS-3 - 1x6 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
 - FAS-4 - 1x8 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
 - TRM-1 - 5/4x4 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
 - TRM-2 - 5/4x6 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
 - TRM-3 - 5/4x8 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
 - DEK-2 - PORCH DECKING
 - RAL-1 - TOP RAILING
 - BAL-2 - PICKET
 - RAL-2 - BOTTOM RAIL



Exterior Notes:
CONSTRUCTION NOTES:

- 1 - WINDOW WELL
- 2 - CONTINUOUS RIDGE VENT
- 3 - METAL FLASHING, UP 6" VERTICAL FACE MIN.
- 4 - 18" Ø CONCRETE FOOTING WITH COLUMN BASE PLATE, 4'-0" BELOW GRADE MIN.
- 5 - COMPOSITE WINDOW, ANDERSEN 100 BASIS OF DESIGN, COLOR: BLACK
- 6 - FIREPLACE VENT

Exterior Material Identification:

- | | |
|-------|--|
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| FAS-2 | - 1x4 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE |
| FAS-3 | - 1x6 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE |
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| TRM-3 | - 5/4x8 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE |
| DEK-2 | - PORCH DECKING |
| RAL-1 | - TOP RAILING |
| BAL-2 | - PICKET |
| RAL-2 | - BOTTOM RAIL |



ISSUED HISTORY _____

SET TYPE _____
H.P.C. SUBMISSION

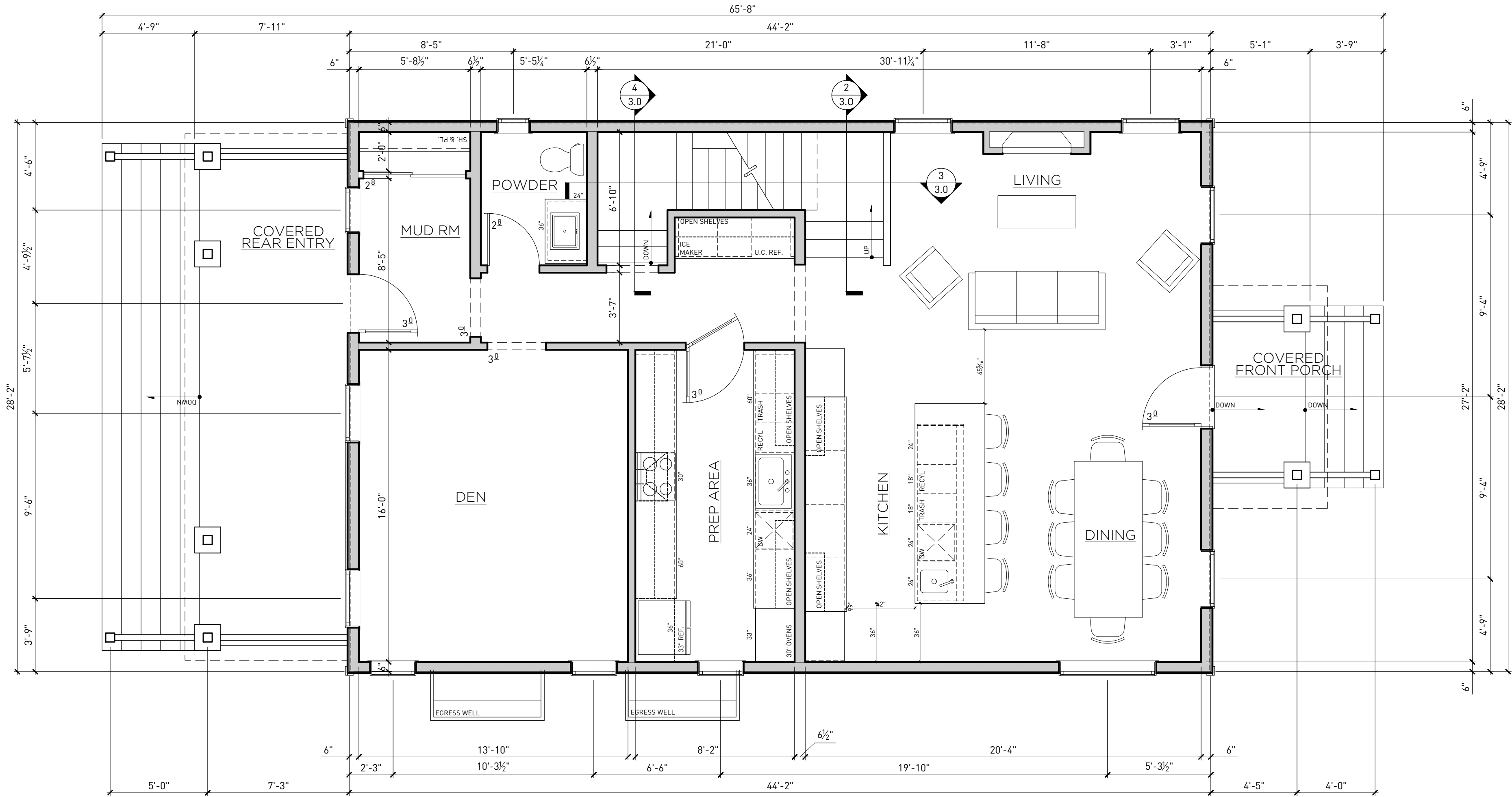
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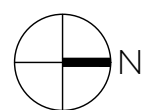
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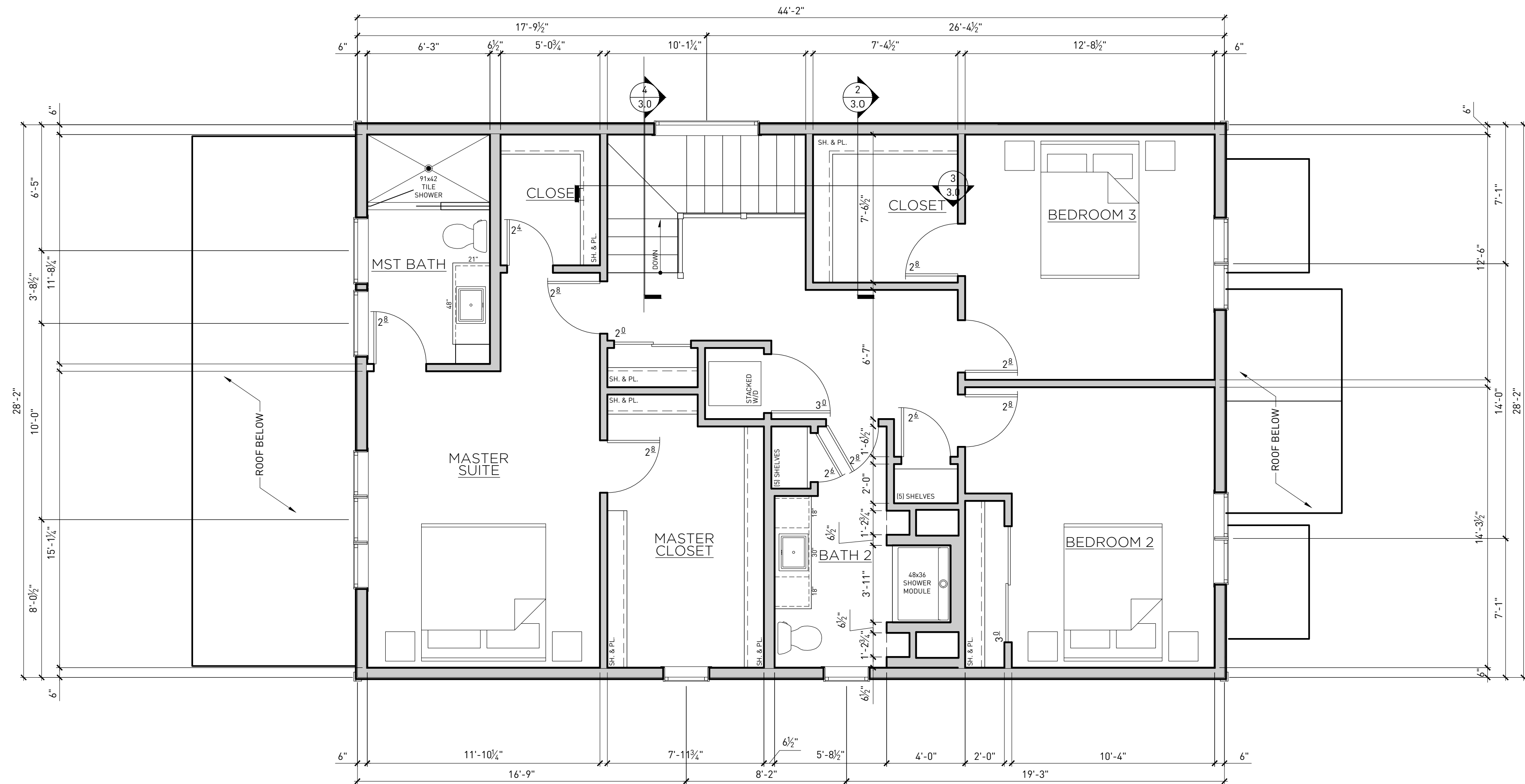
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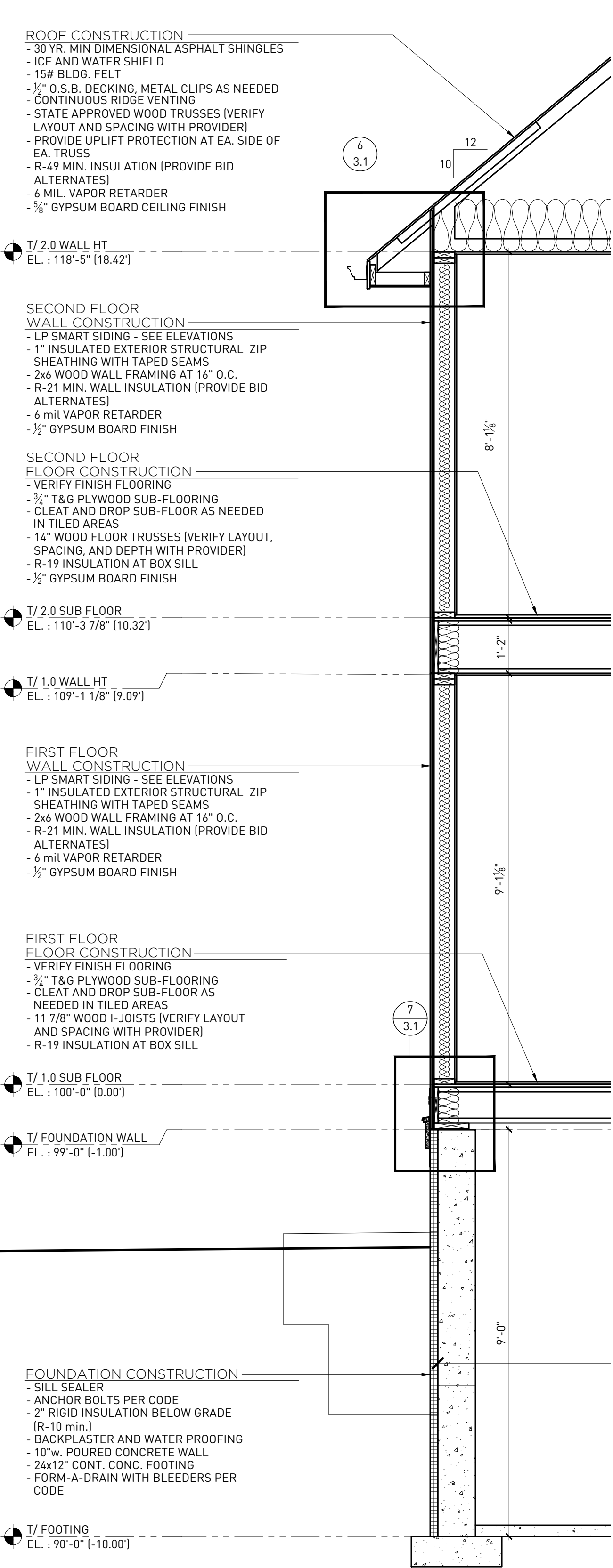
1.1





 N
2.0 FIRST FLOOR PLAN
FLOOR AREA: 1,256 SQ. FT.
1/4" = 1'-0"

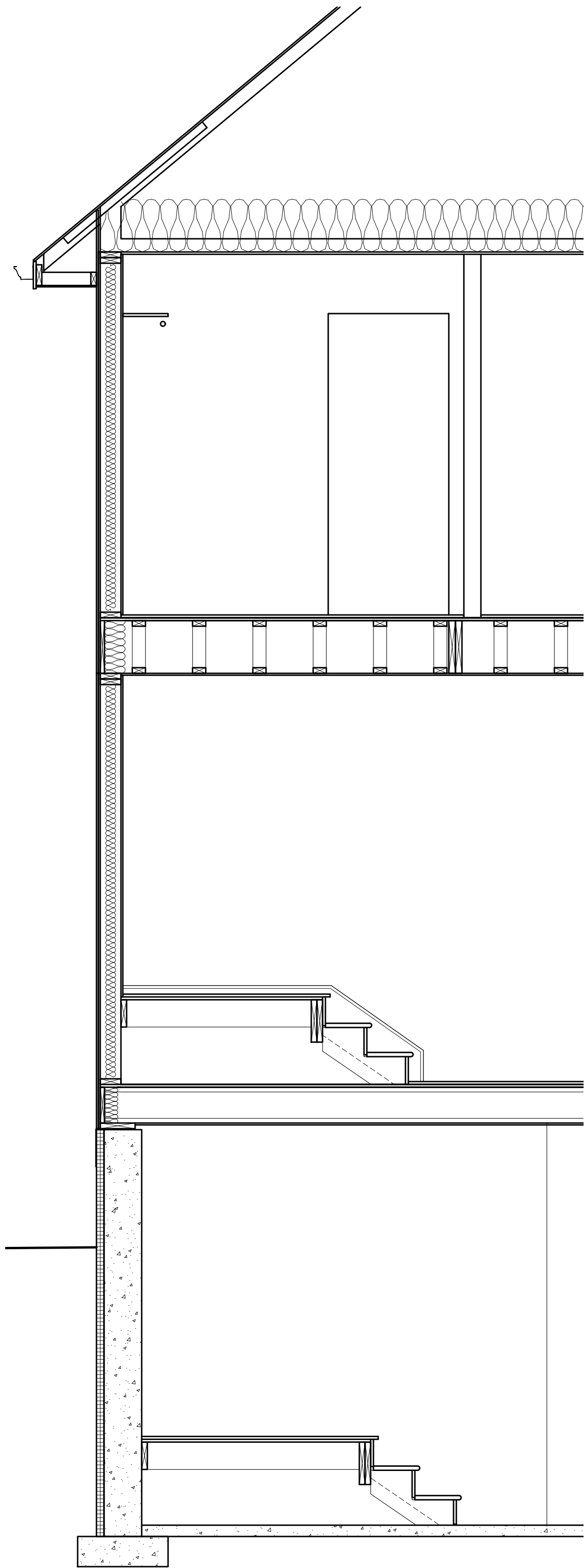




1
3.0

TYPICAL WALL SECTION

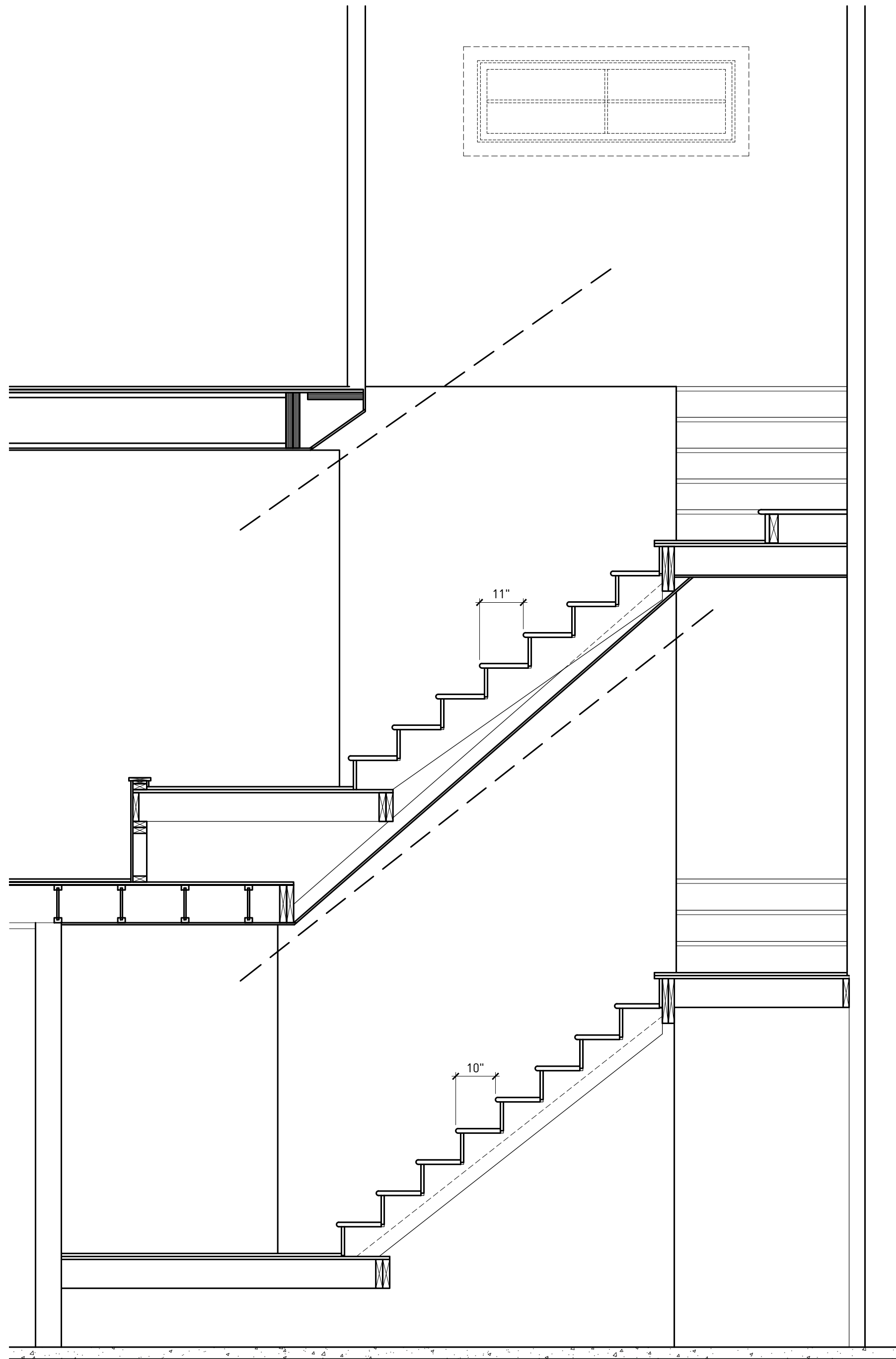
1/2" = 1'-0"



2
3.0

STAIR SECTION

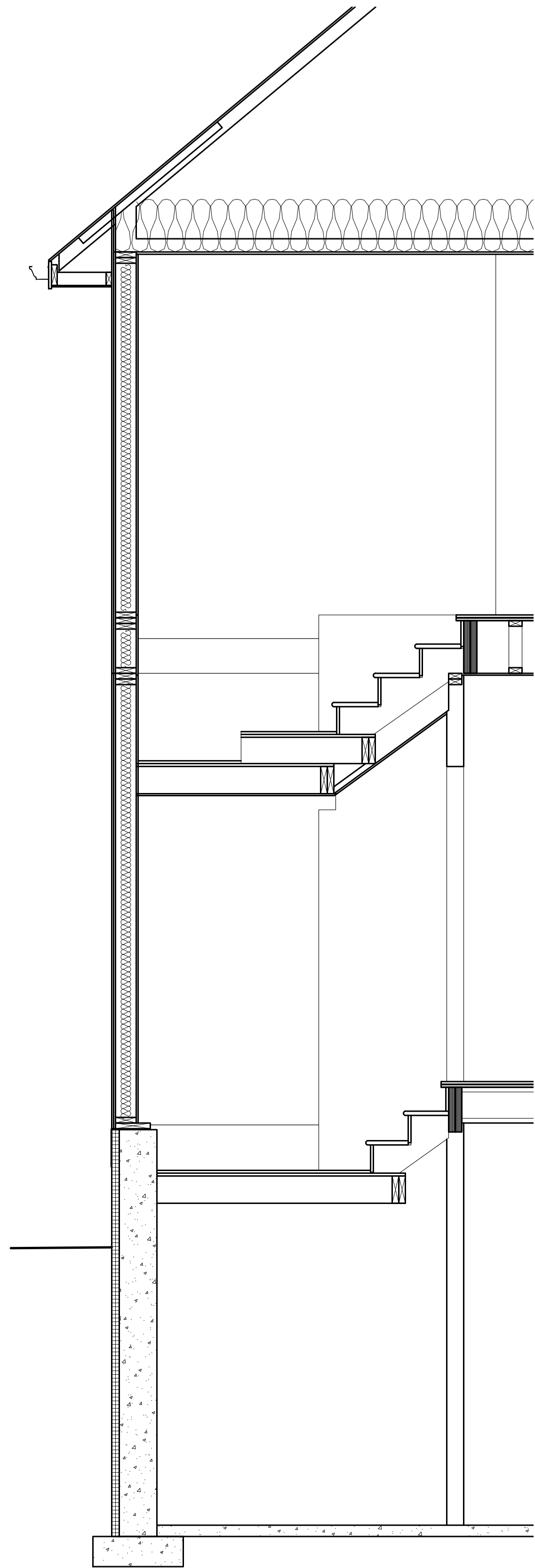
1/2" = 1'-0"



3
3.0

PARTIAL SECTION
PORCH COLUMN BASE

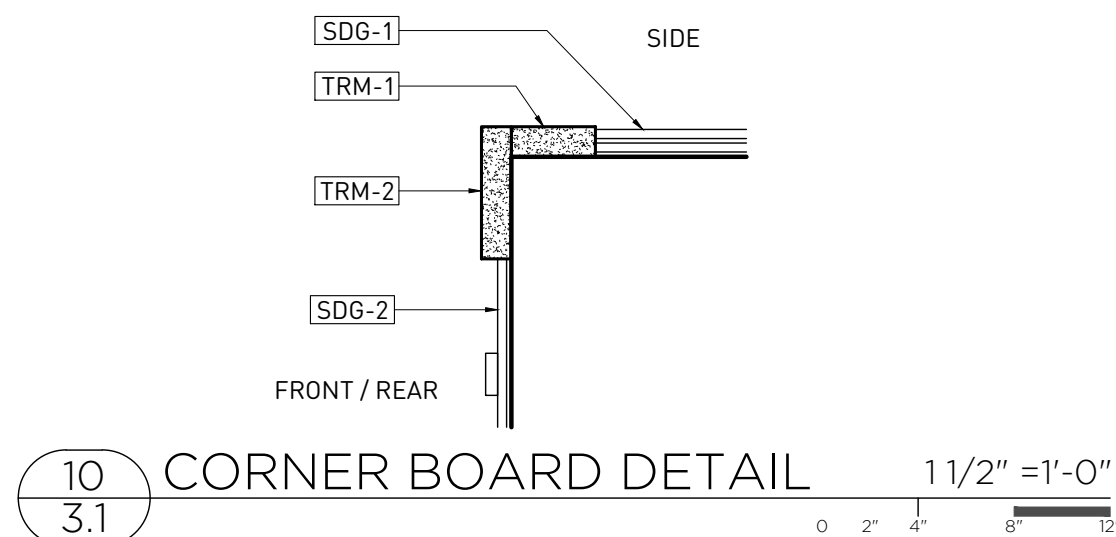
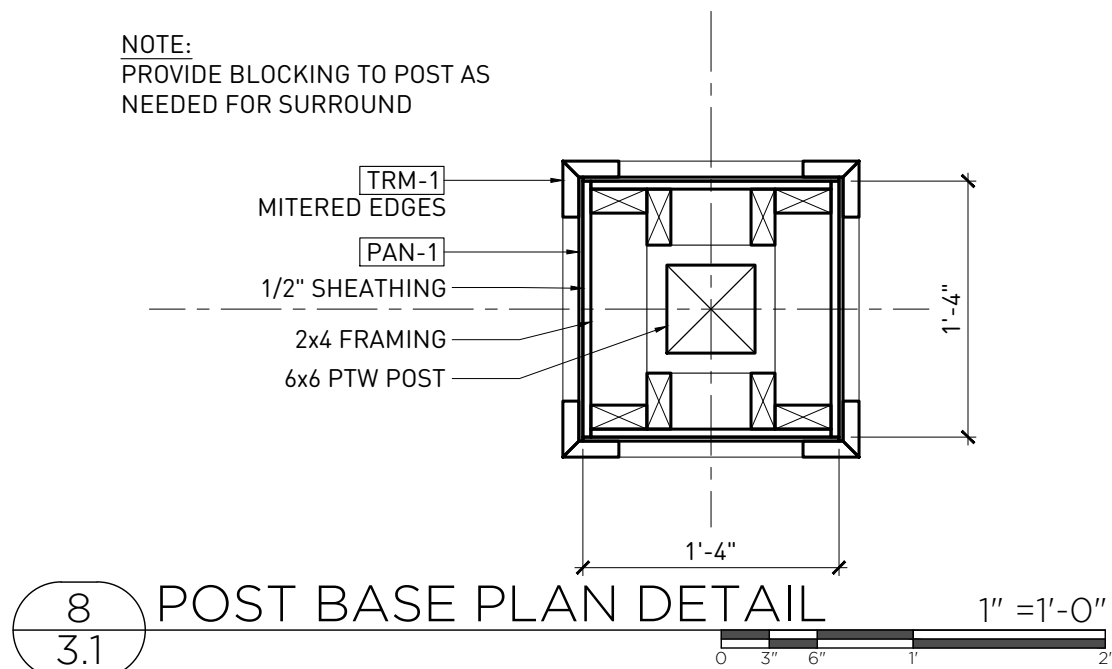
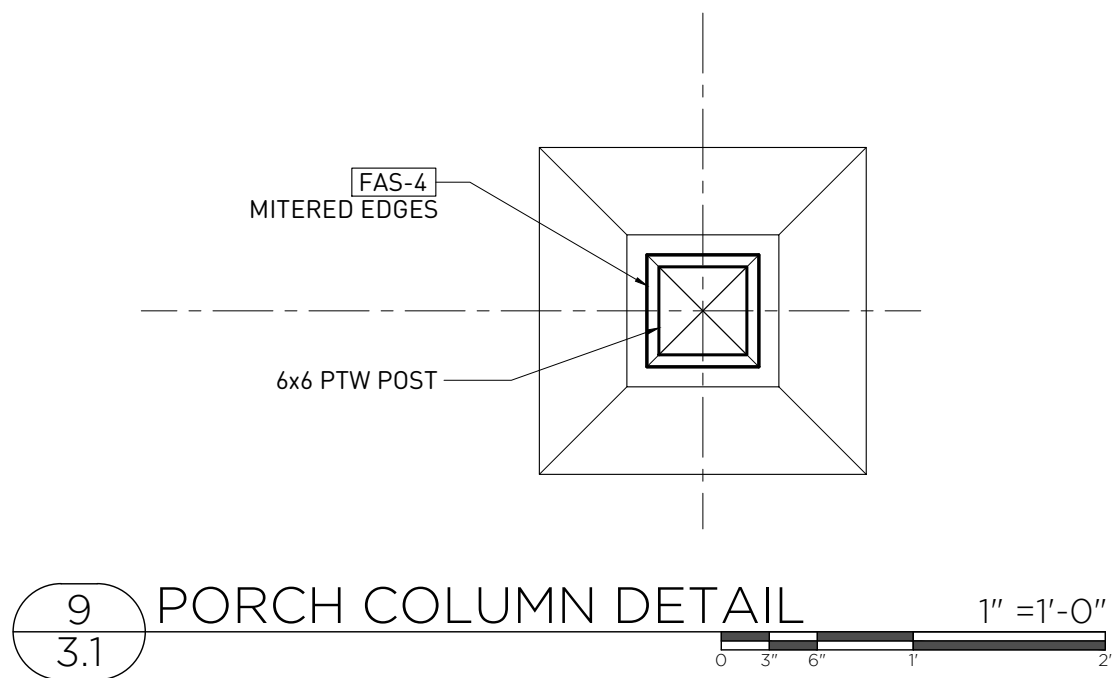
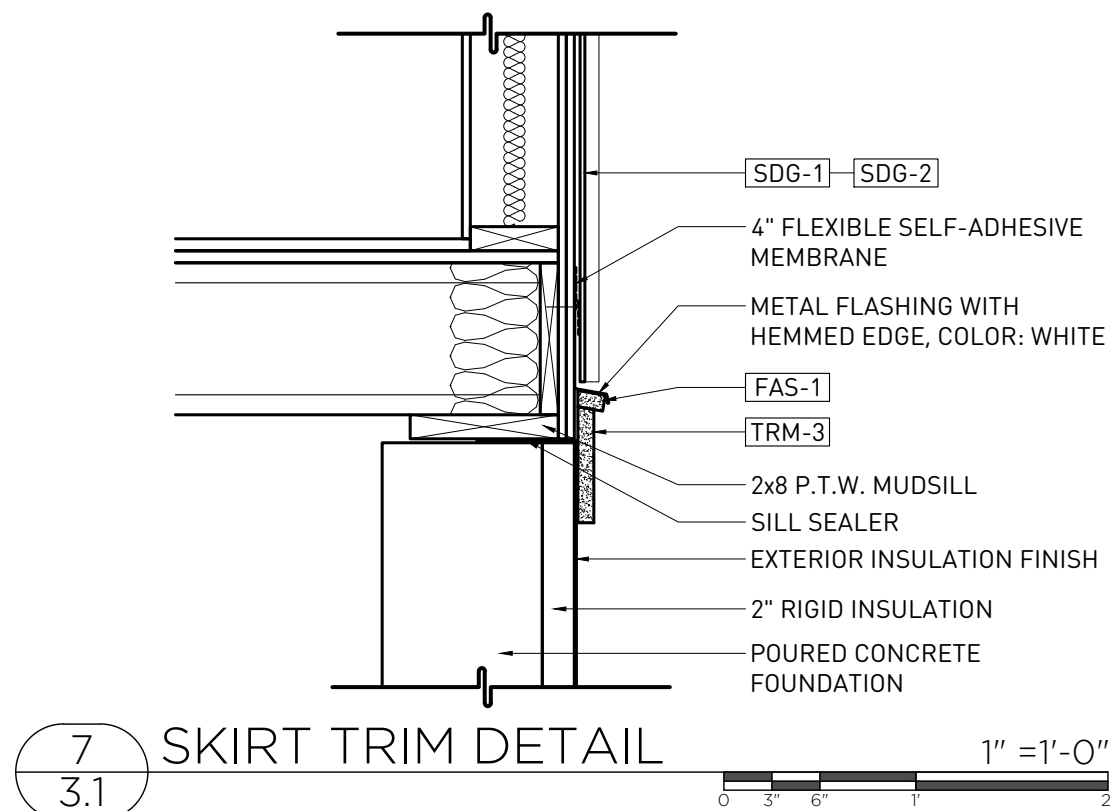
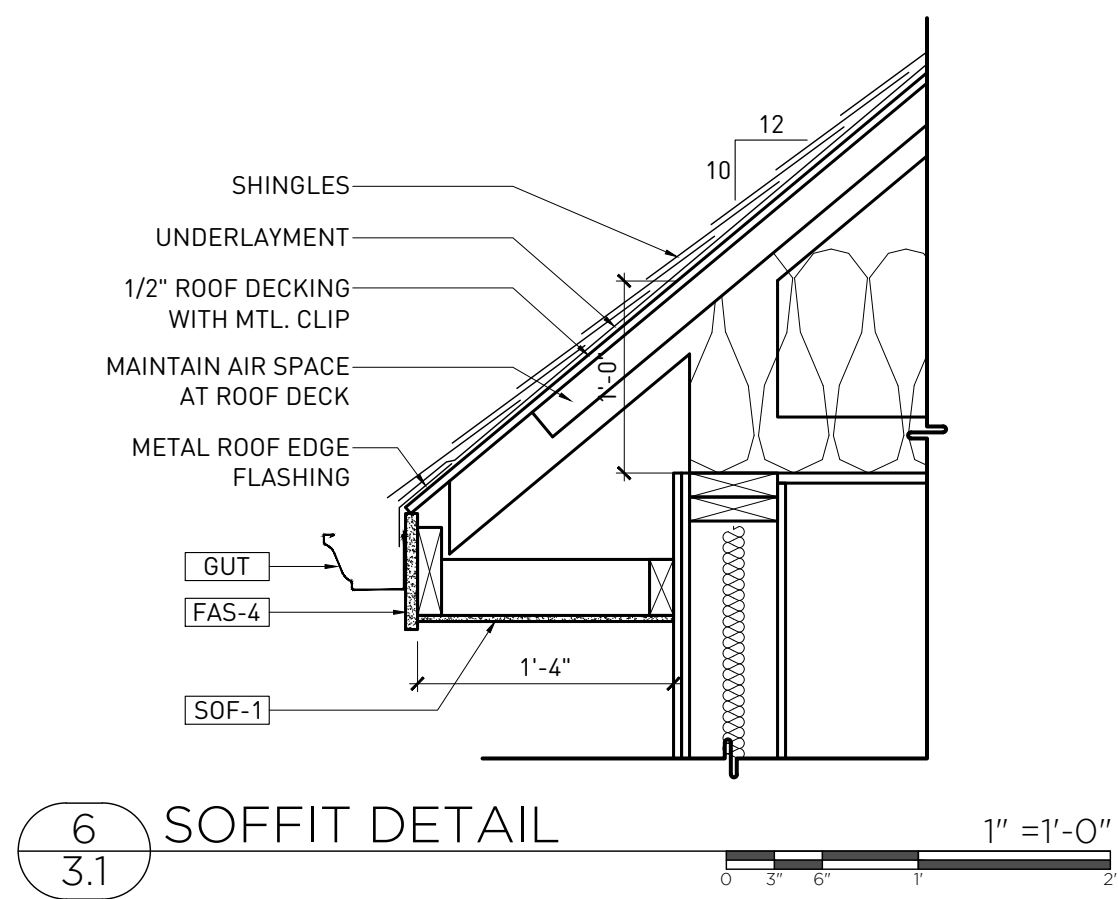
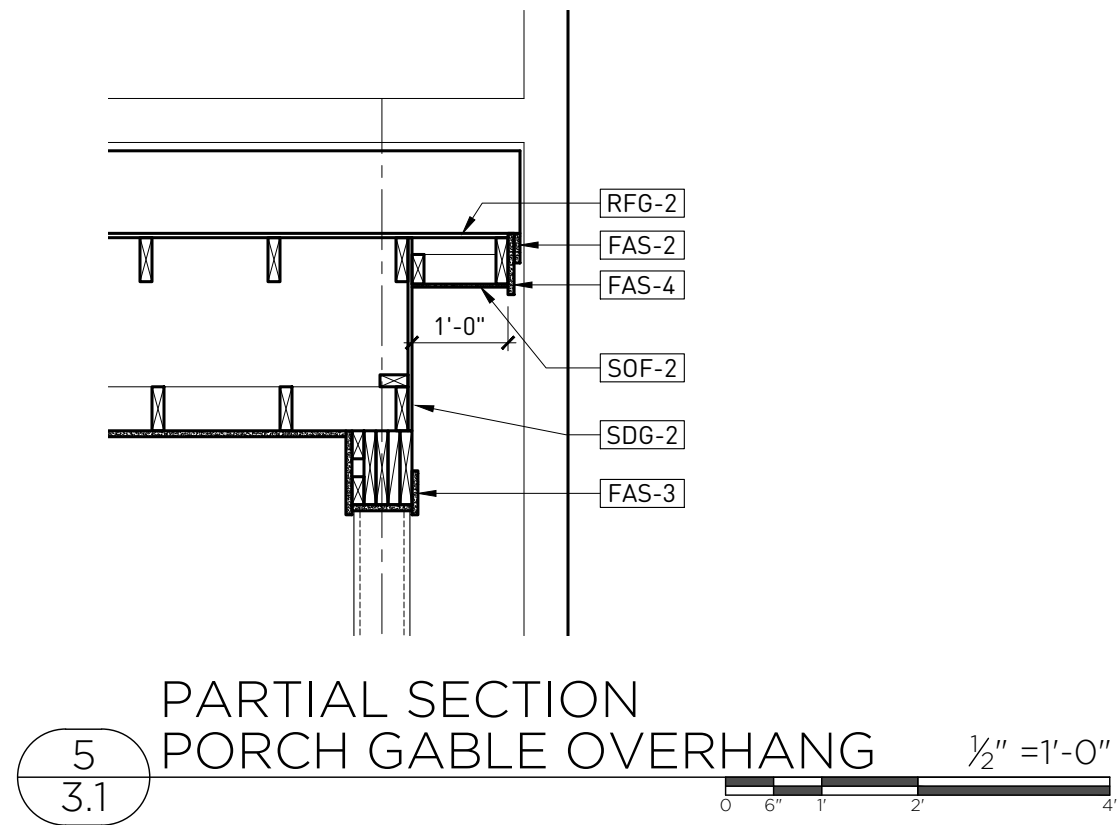
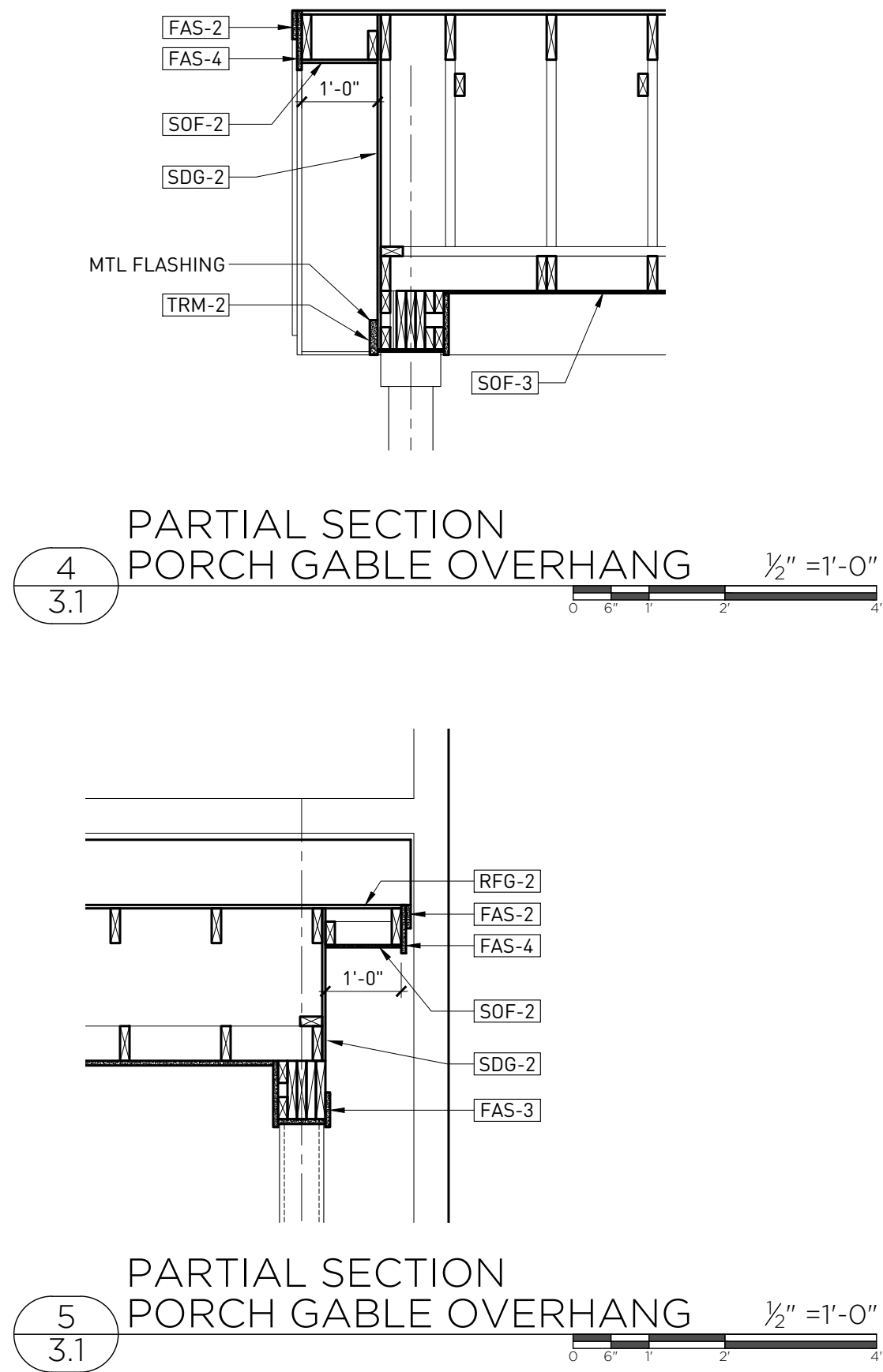
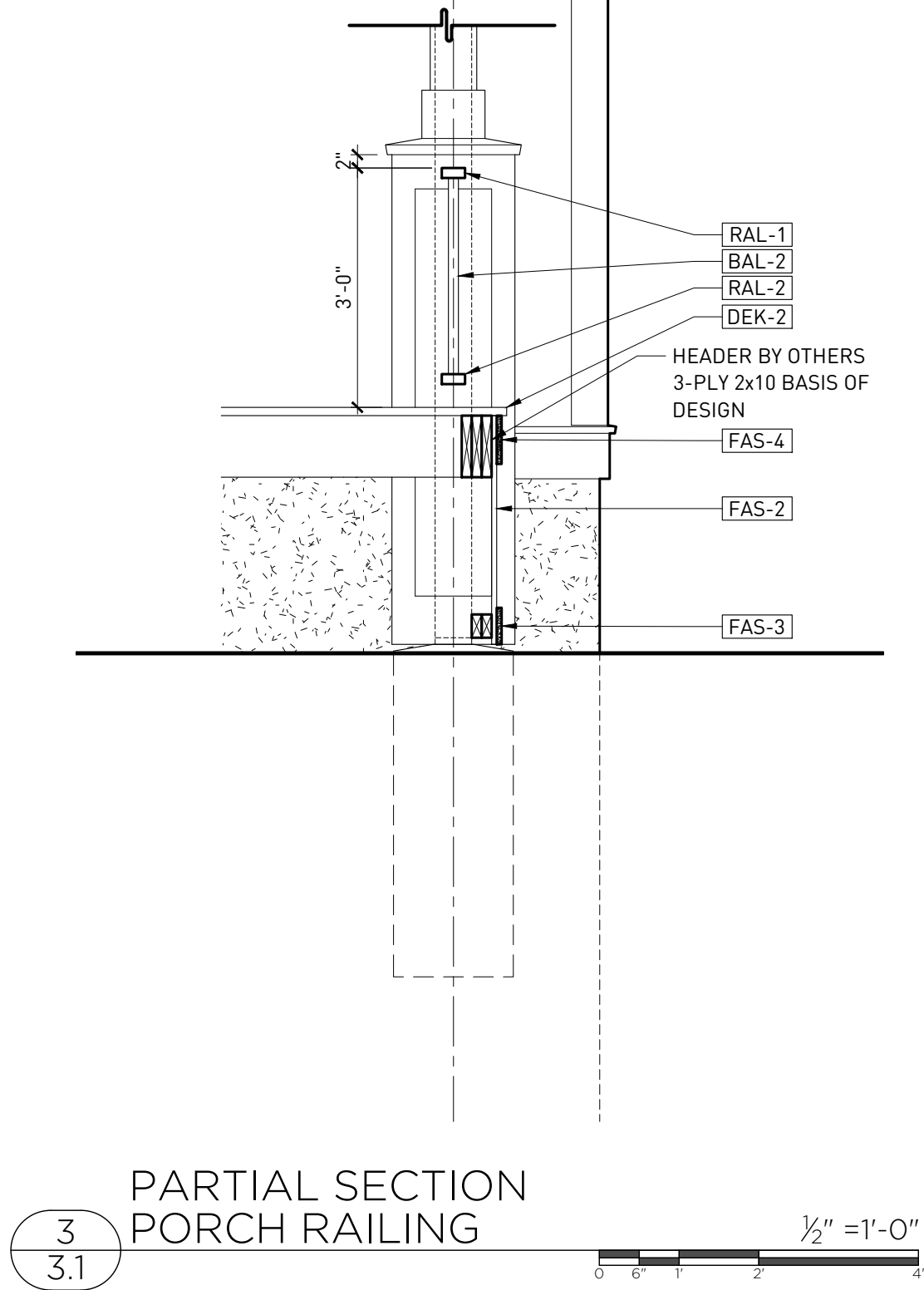
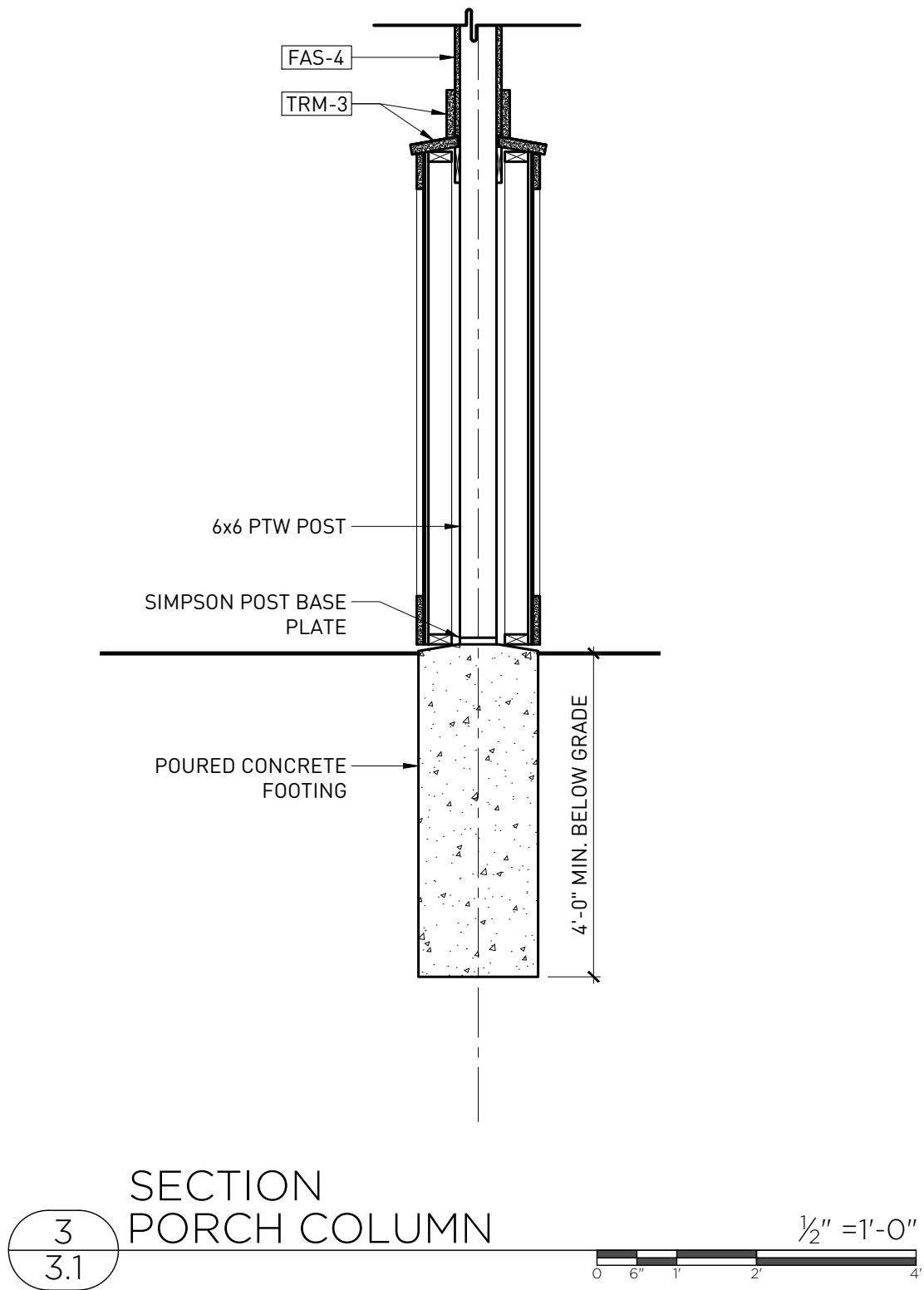
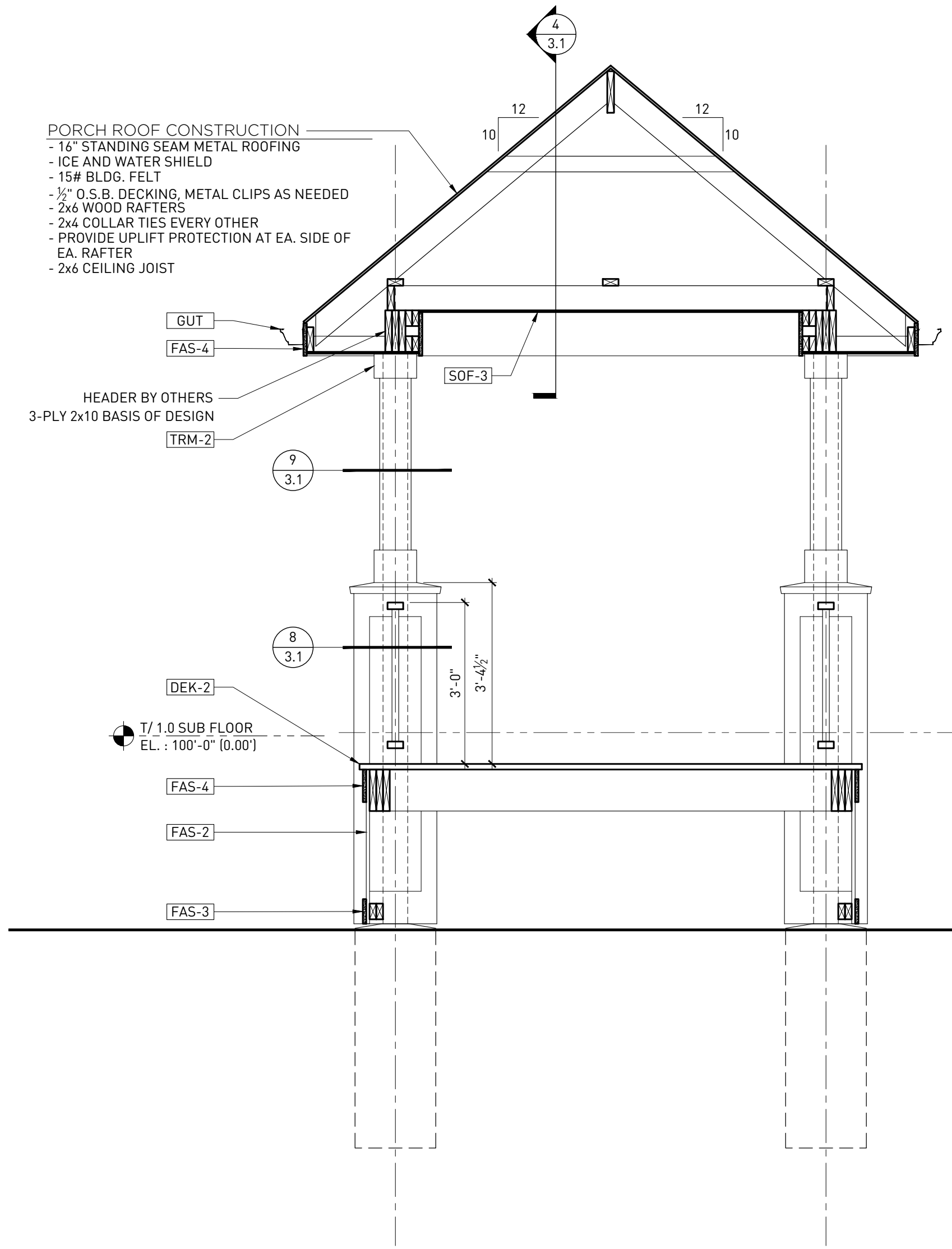
1/2" = 1'-0"

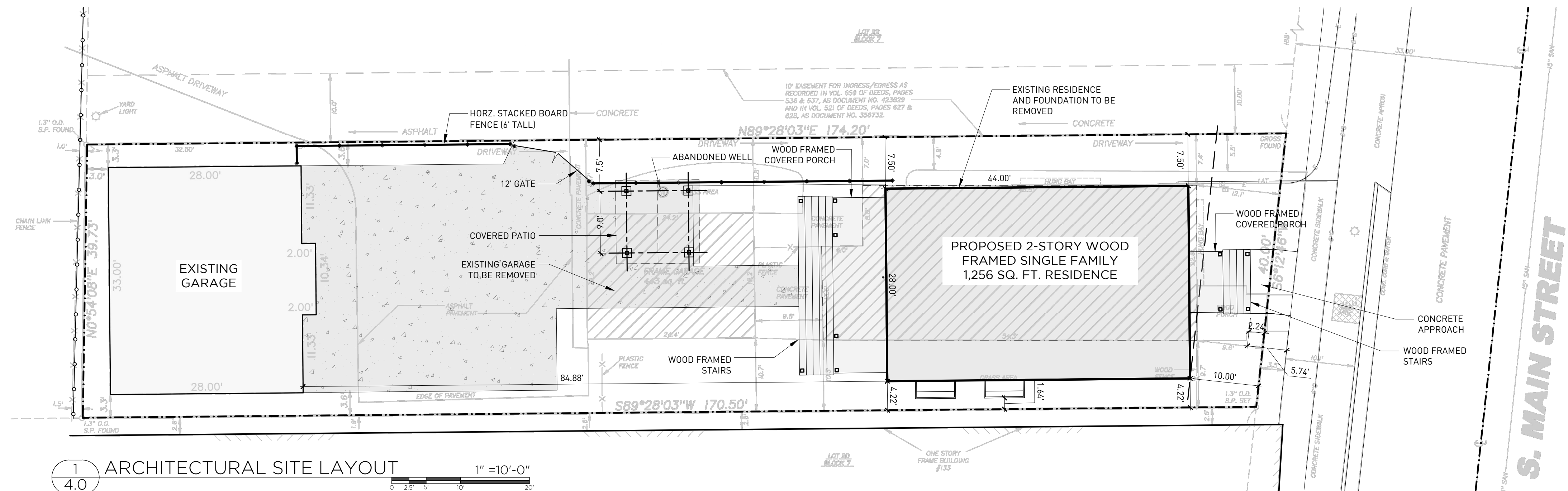
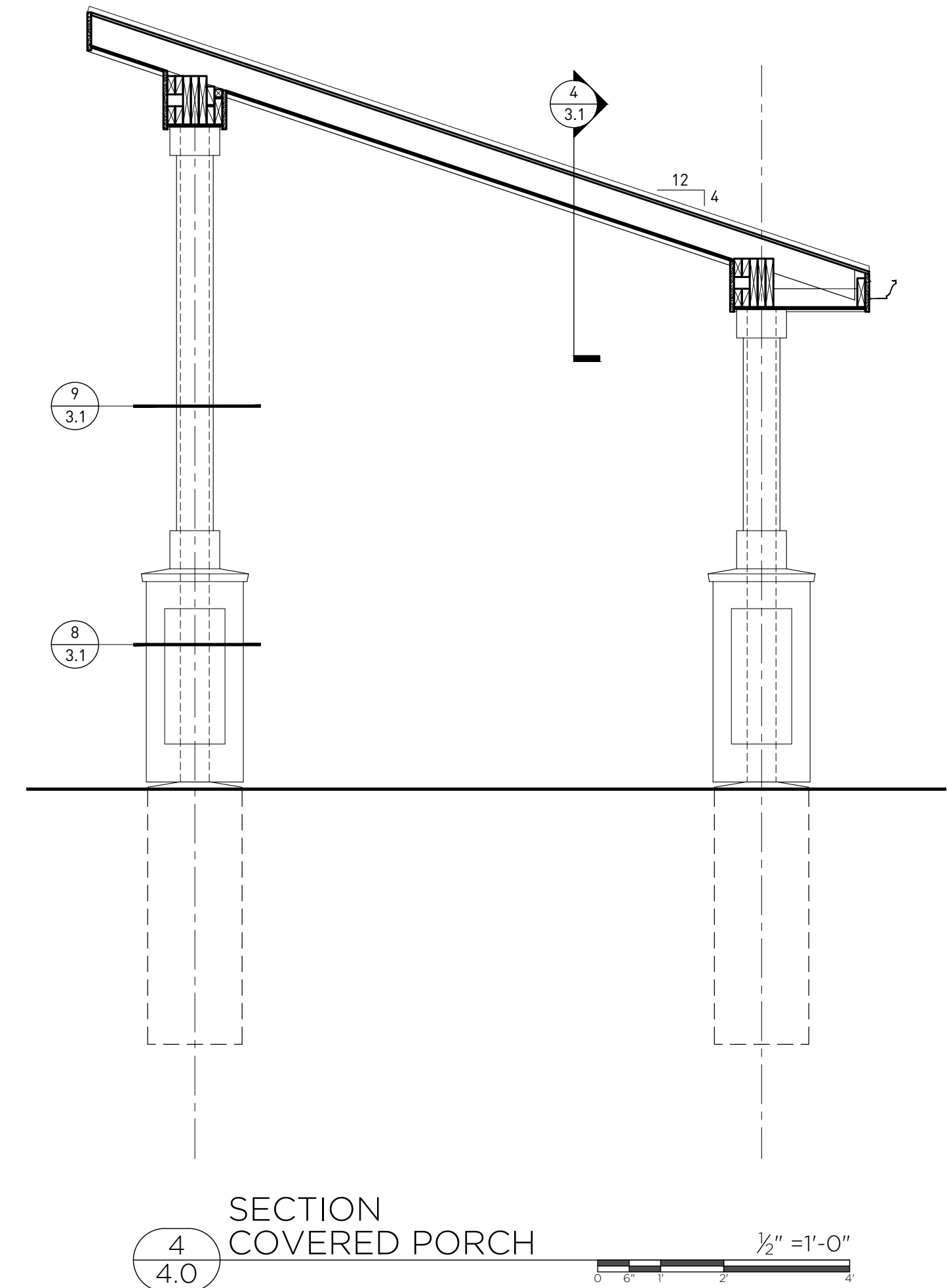
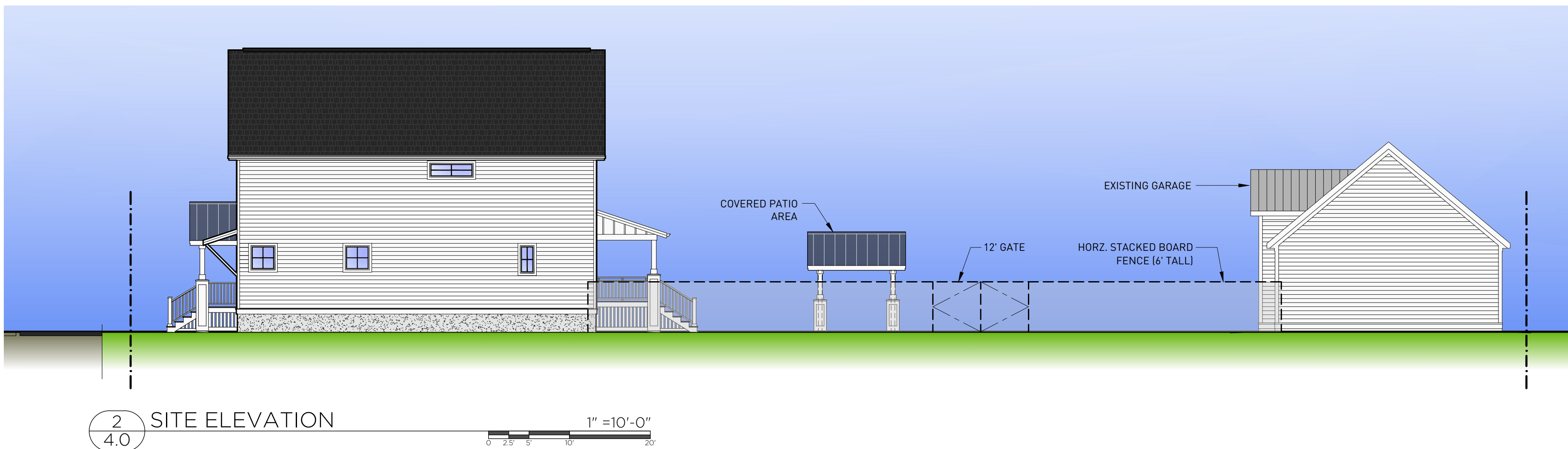
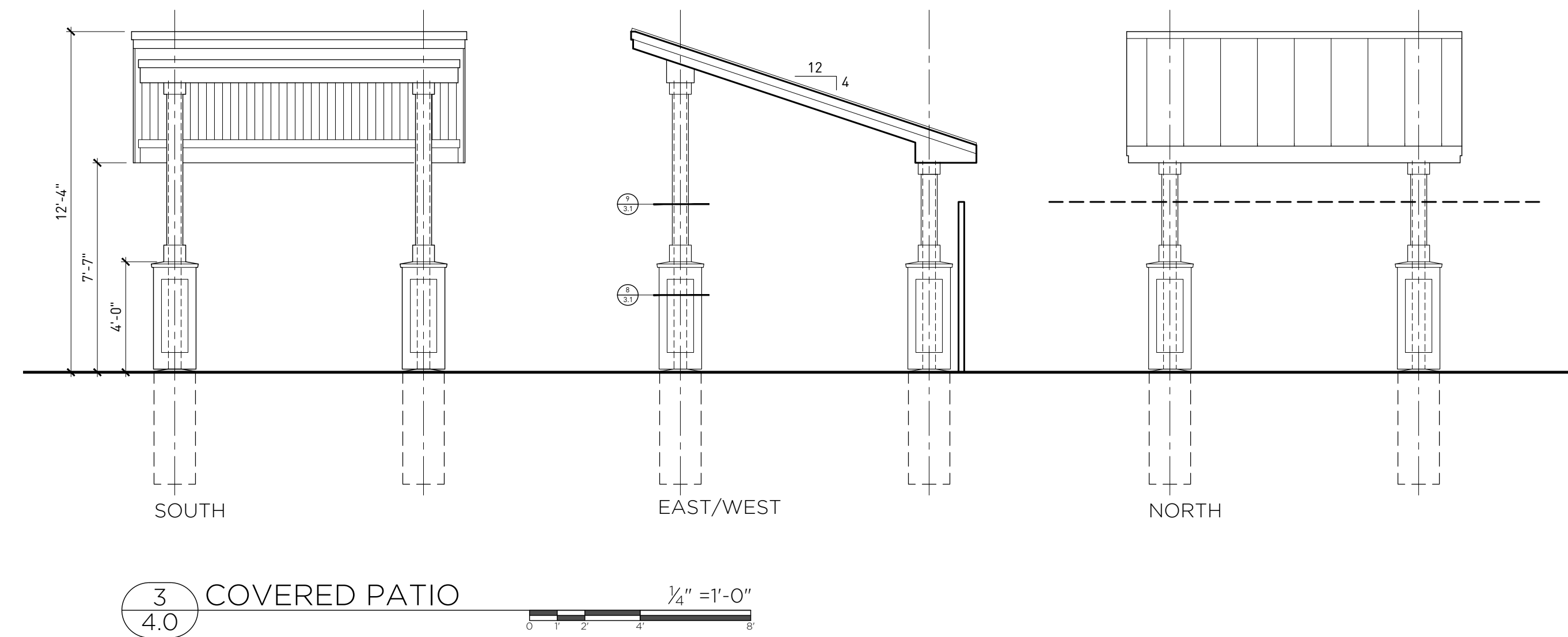


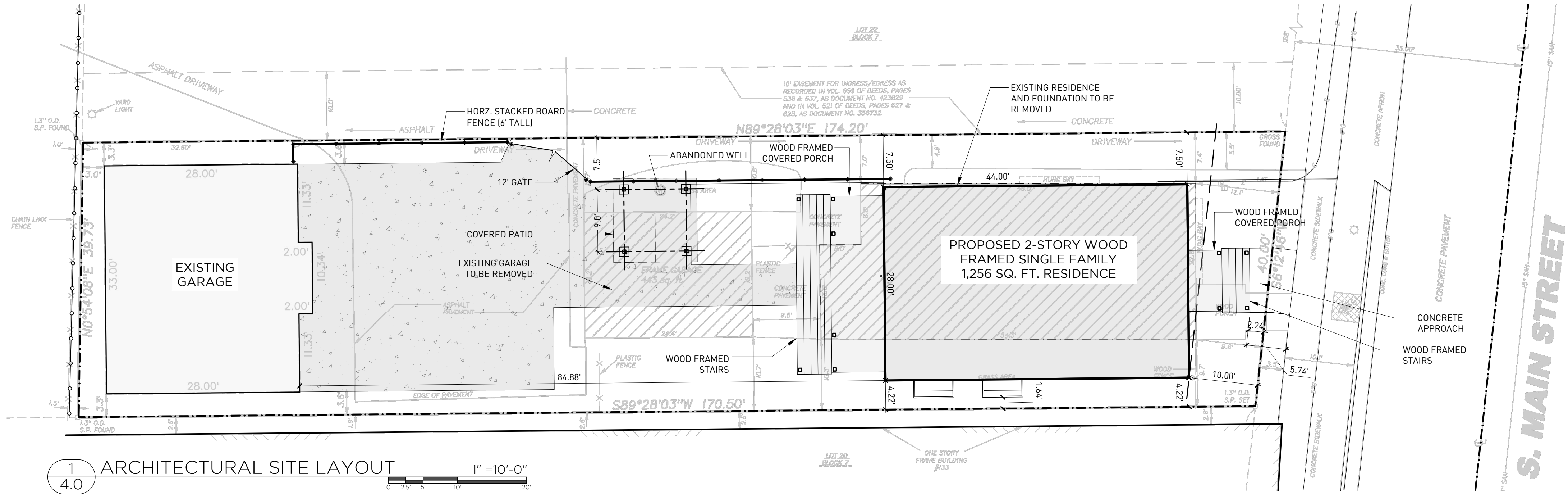
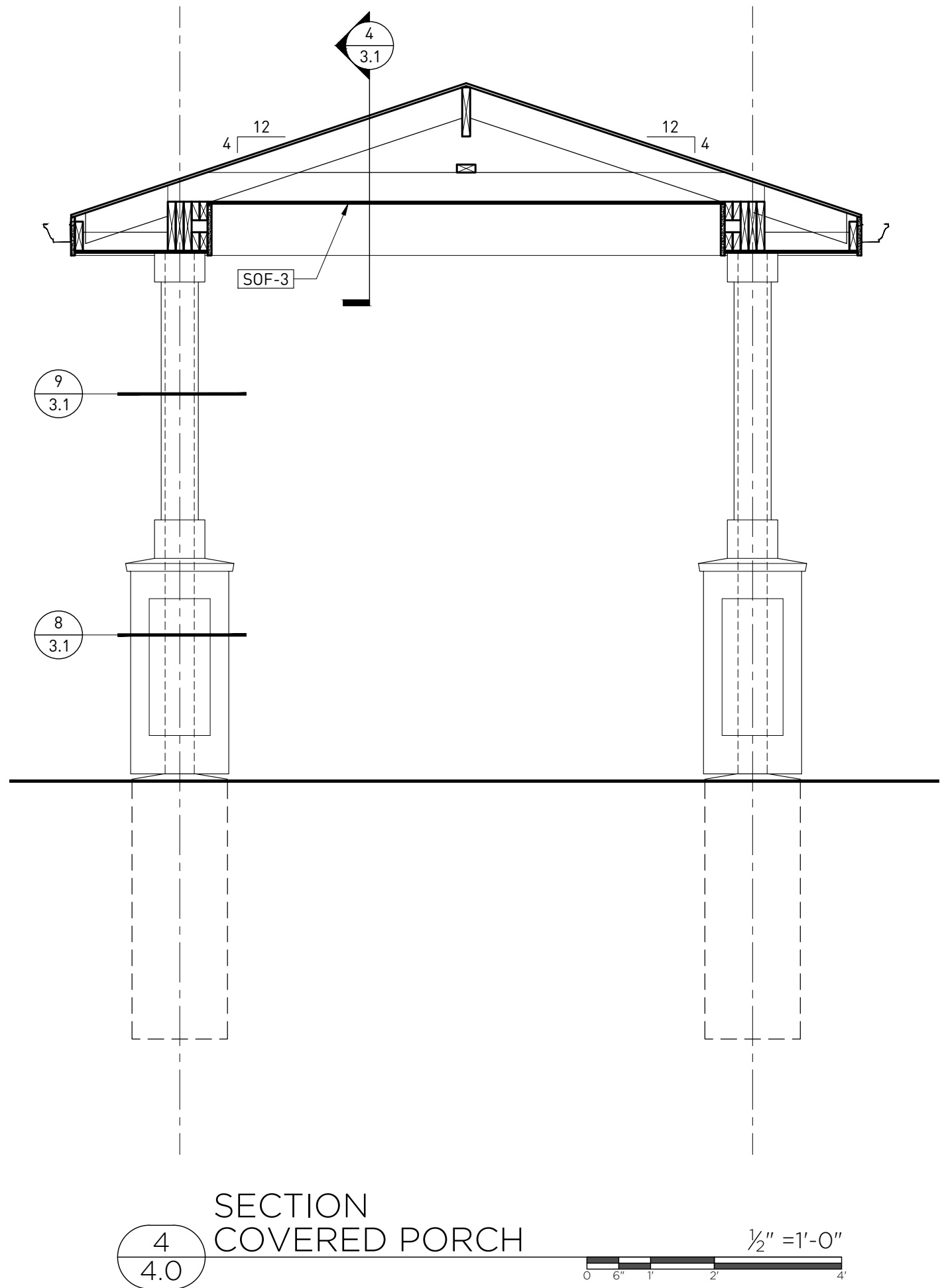
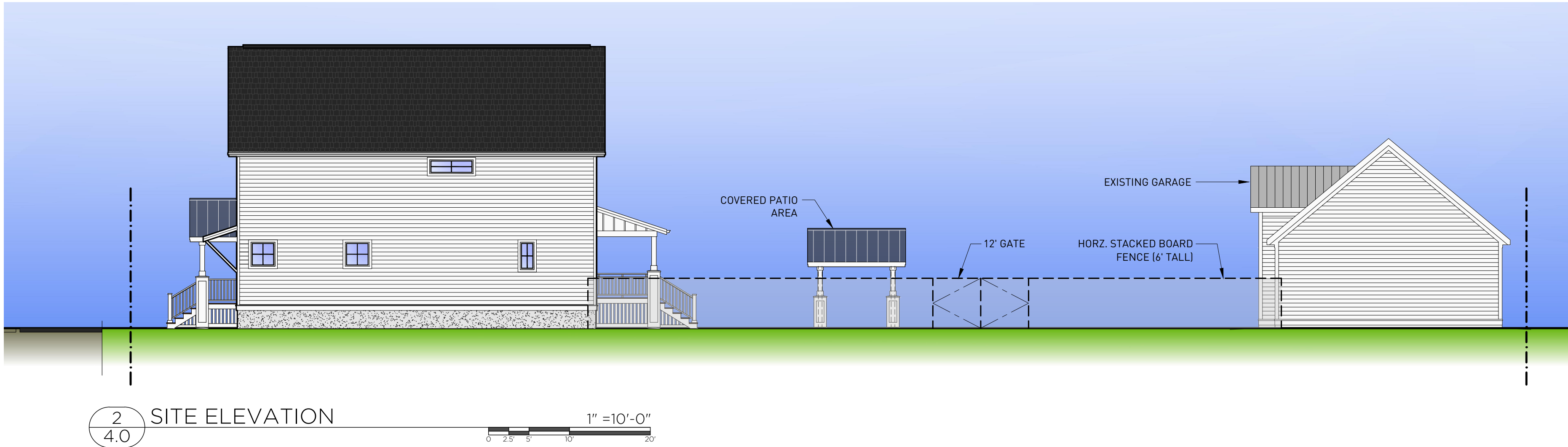
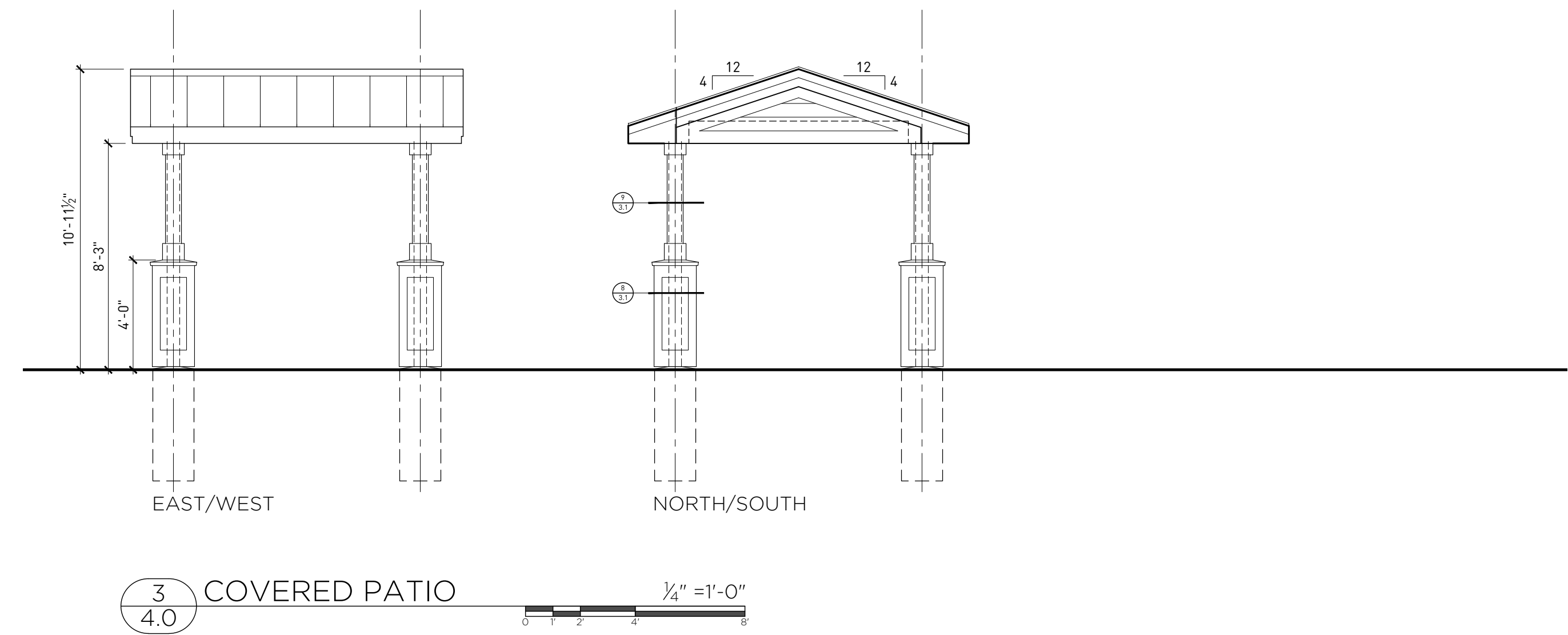
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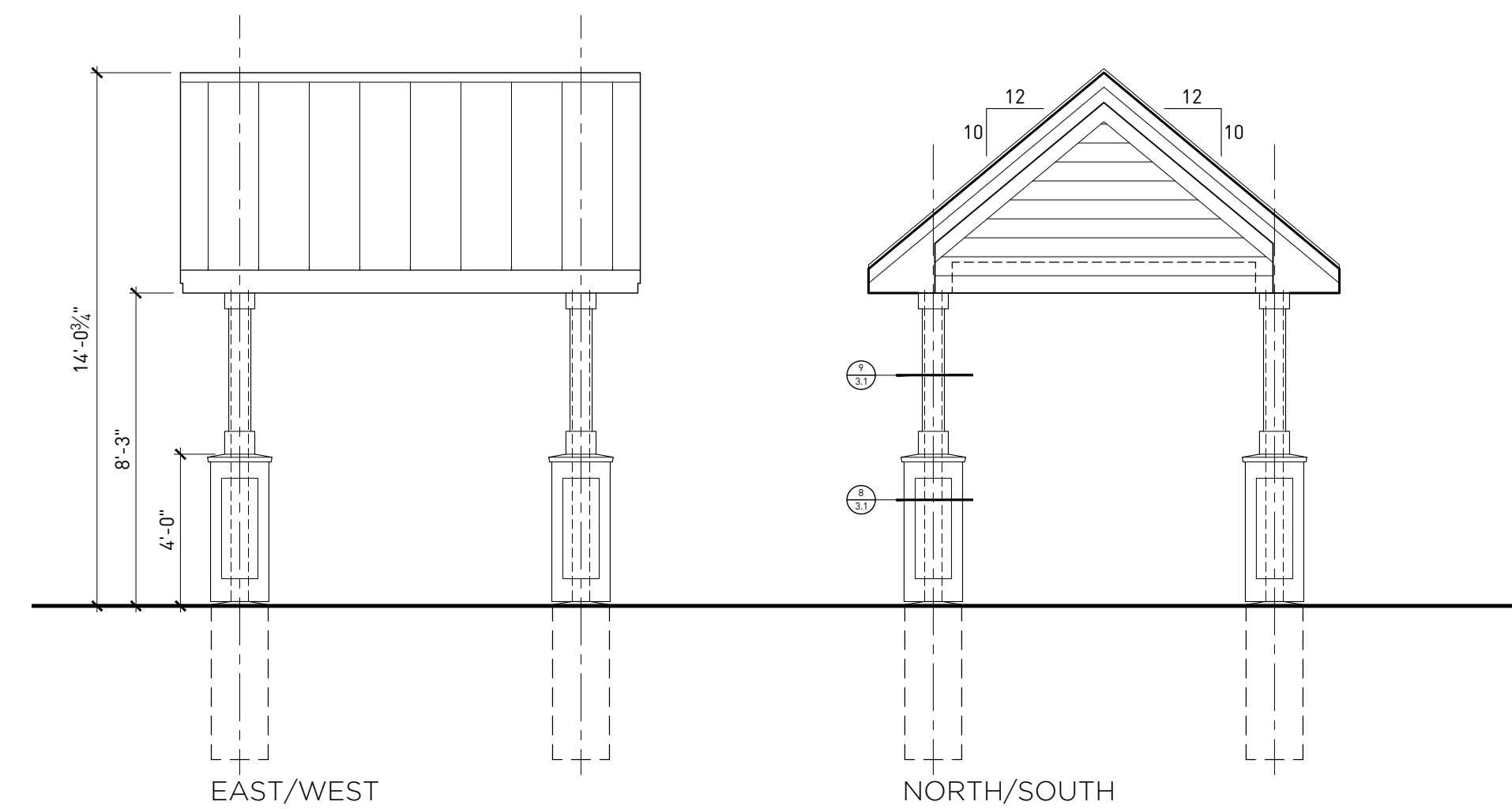
STAIR SECTION

1/2" = 1'-0"

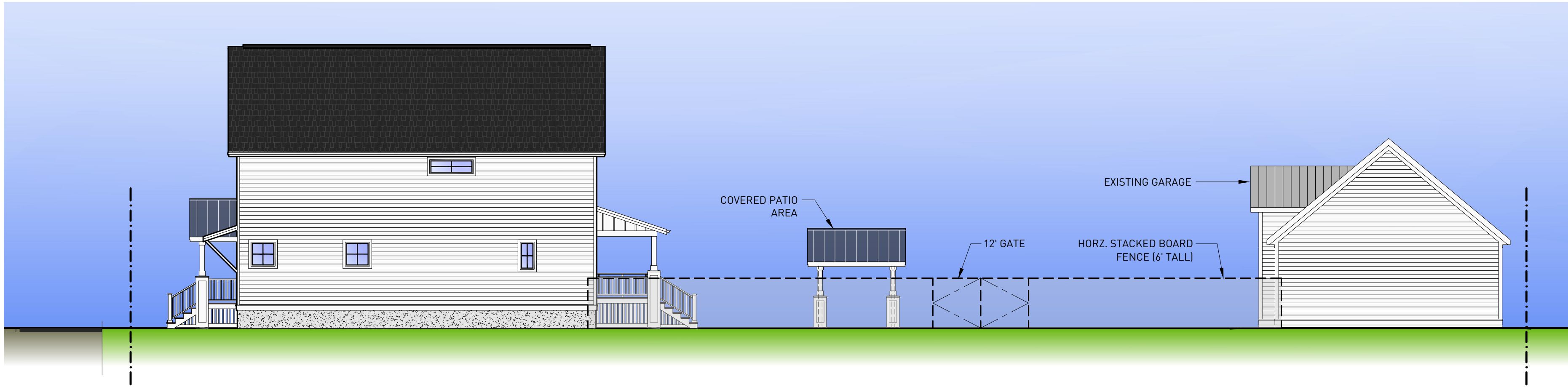




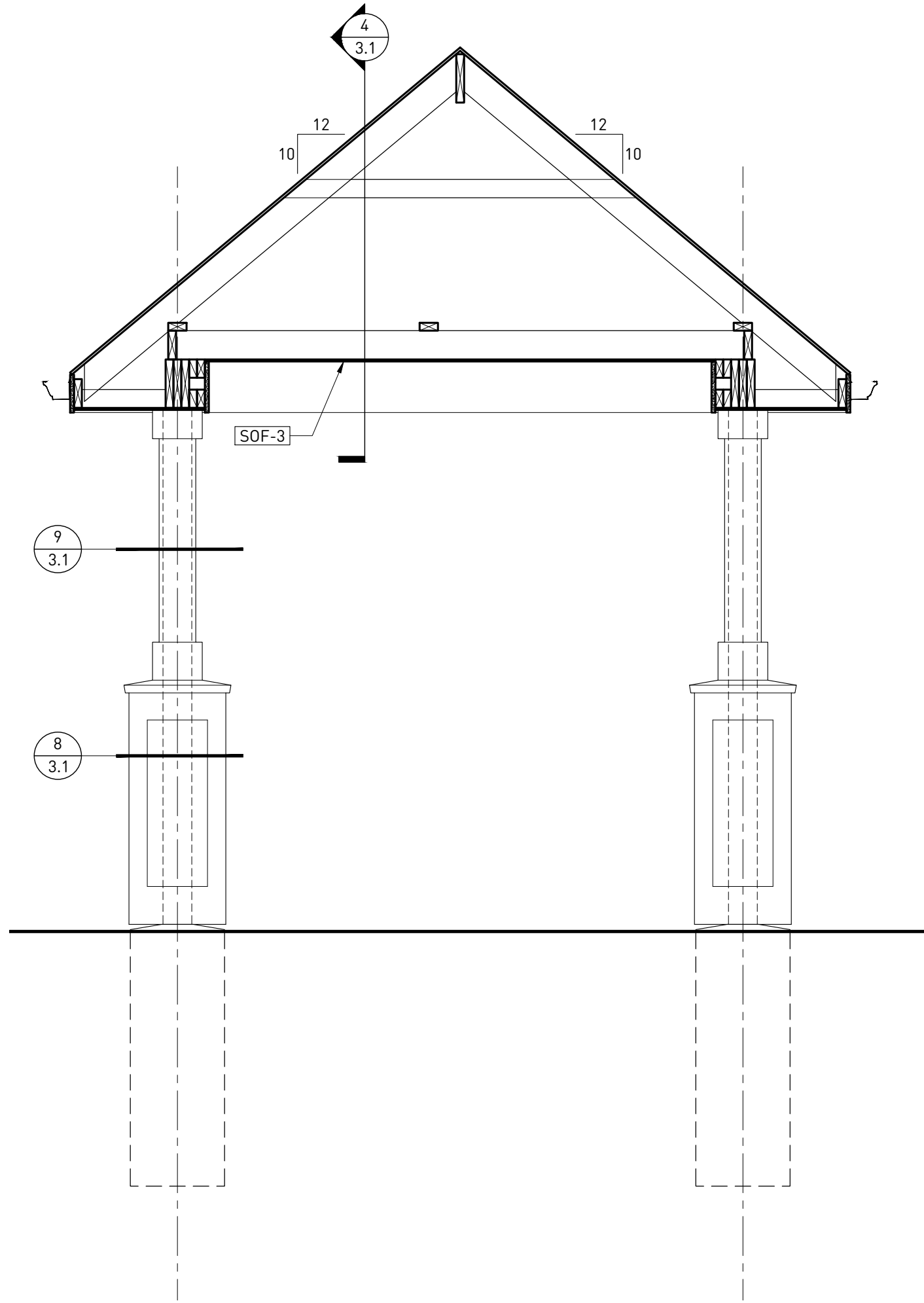




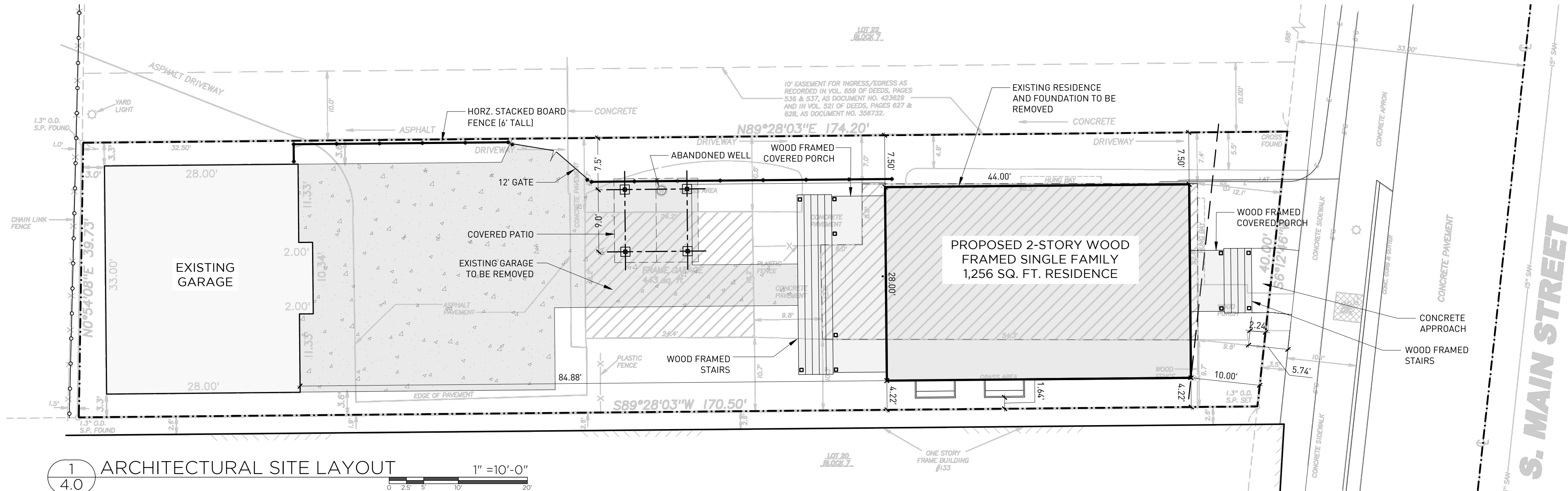
3
4.0 COVERED PATIO 1/4" = 1'-0"



2
4.0 SITE ELEVATION 1" = 10'-0"



4
4.0 SECTION COVERED PORCH 1/2" = 1'-0"



1
4.0 ARCHITECTURAL SITE LAYOUT 1" = 10'-0"

REVISED 4-9-24

HILGER HARDWARE

BUILT BY ANDREW HILGER IN 1895 AS A HARDWARE STORE AND COBBLER SHOP. THE HILGERS ALSO SOLD WOOD, COAL AND GASOLINE. THE POST OFFICE, RICHARD BERGIN SR.'S TIN SHOP, THE BETTY JOHNSON SHOPS AND OTHER BUSINESSES OCCUPIED THIS SPACE.

NOVEMBER 2024

(257 CHARACTERS)

BASE CHARGE FOR PLAQUES IS FOR 176 CHARACTERS – \$1 FOR EACH ADDITIONAL CHARACTER

Thiensville Historic Preservation Commission Staff Report - April 2024

Date	Address	Property Owner	Project
4/4/2024	163 S. Main Street	Bay's Nails	Certified Letter: Sign violations