



VILLAGE OF THIENSVILLE
Historic Preservation Commission
AGENDA

DATE: Tuesday, March 5, 2024

LOCATION: 250 Elm Street, Thiensville, WI

TIME: 6:00 PM

I. CALL TO ORDER

II. ROLL CALL

CHAIR:	JESSE DAILY
COMMISSIONERS:	ANGELINA APOSTOLOS PHILIP ECKERT NATHAN MATSON MARY GIULIANI JOSEPH MILLER LINDA UNKEFER
DIRECTOR OF COMMUNITY SERVICES/PUBLIC WORKS:	ANDY LAFOND

III. CITIZENS TO BE HEARD

A. Open to any resident or taxpayer on items not subject to a public hearing: Please be advised per §19.84(2), information will be received from the public. Village policy limits a three (3) minute time period per person, with time extension by the presiding official's discretion or a vote of 2/3 of the Board or Committee; be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments. Written comments on agenda items are encouraged to be sent and addressed to the intended body by noon on the day of the meeting. Comments received timely will be forwarded to all members of the body. If you wish to speak, you must pre-register by emailing the Village Clerk at clandisch@village.thiensville.wi.us by 4:00 PM on the day of the meeting or by signing in immediately prior to the meeting.

IV. DATE AND TIME OF NEXT MEETING

A. April 9, 2024 (if necessary)

V. APPROVAL OF MINUTES

A. February 6, 2024 (att)

VI. BUSINESS

A. Discussion and action on Certificate of Appropriateness to Raze existing single-family home and Construct a new single-family home, 127 S. Main Street, Michael and Linda Koepke (att)

B. Discussion and action on Historic Plaque, 161 Green Bay Road (att)

C. Discussion regarding location of new Historic Plaque

VII. STAFF REPORT

A. Staff Report (att)

VIII. ADJOURNMENT

Colleen Landisch-Hansen, Village Clerk

March 1, 2024

Please advise the Thiensville Municipal Hall, 250 Elm Street (262-242-3720) at least 24 hours prior to the start of this meeting if you have disabilities and desire special accommodations.



VILLAGE OF THIENSVILLE
Historic Preservation Commission
MINUTES

DATE: Tuesday, February 6, 2024

LOCATION: 250 Elm Street, Thiensville, WI

TIME: 6:00 PM

I. CALL TO ORDER

Chair Daily called the meeting to order at 6:00 PM

II. ROLL CALL

CHAIR:	JESSE DAILY
COMMISSIONERS:	ANGELINA APOSTOLOS PHILIP ECKERT NATHAN MATSON MARY GIULIANI JOSEPH MILLER LINDA UNKEFER ANDY LAFOND
DIRECTOR OF COMMUNITY SERVICES/PUBLIC WORKS:	

III. CITIZENS TO BE HEARD

A. Open to any resident or taxpayer on items not subject to a public hearing: Please be advised per §19.84(2), information will be received from the public. Village policy limits a three (3) minute time period per person, with time extension by the presiding official's discretion or a vote of 2/3 of the Board or Committee; be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments. Written comments on agenda items are encouraged to be sent and addressed to the intended body by noon on the day of the meeting. Comments received timely will be forwarded to all members of the body. If you wish to speak, you must pre-register by emailing the Village Clerk at clandisch@village.thiensville.wi.us by 4:00 PM on the day of the meeting or by signing in immediately prior to the meeting.

There were no citizens to be heard.

IV. DATE AND TIME OF NEXT MEETING

A. March 5, 2024 (if necessary)

V. APPROVAL OF MINUTES

A. January 2, 2024 (att)

MOTION by Commissioner Apostolos, **SECONDED** by Commissioner Eckert to approve the minutes of the January 2, 2024 meeting. **MOTION CARRIED UNANIMOUSLY.**

VI. BUSINESS

A. Consider appointing a temporary chair exclusively for Item B due to a conflict of interest

MOTION by Commissioner Giuliani, **SECONDED** by Commissioner Unkefer to appoint Commissioner Apostolos as temporary chair exclusively for Item B due to a conflict of interest. **MOTION CARRIED UNANIMOUSLY.**

B. Discussion and action on the request for a change to the approved building Certificate of Appropriateness for architectural panels, lighting, and projecting sign, 105 S. Main Street, cheel (att)

Director LaFond noted Village staff met with the property owners for a project update. There have been changes to the approved architectural panels, light fixtures and the sign. The Commission approved a projecting sign for the original cheel in 2014, but that was not included in the initial approval of the new building.

Co-owner Matt Buerosse noted the sign is the same one used on the original building. The lighting and panels intended to hide HVAC equipment were changed due to product availability. The already-installed lights will be shaded with black metal so the light illuminates the building rather than projecting outward.

MOTION by Commissioner Miller, **SECONDED** by Commissioner Unkefer to approve change to the approved building Certificate of Appropriateness for architectural panels, lighting and projecting sign, 105 S. Main Street, cheel.

Ayes: Commissioners Apostolos, Eckert, Matson, Giuliani, Miller and Unkefer

Naes: None

Abstain: Chair Daily

MOTION CARRIED.

VII. STAFF REPORT

There was no staff report.

VIII. ADJOURNMENT

MOTION by Commissioner Matson, **SECONDED** by Commissioner Miller to adjourn the Meeting at 6:18 PM. **MOTION CARRIED UNANIMOUSLY.**

Submitted by,

Gary Achterberg
Administrative Assistant

Signed by,

Andy LaFond
Director of Community Services/Public Works



Andy LaFond Director of Community Service 3/1/2024

To: The Village of Thiensville Historic Preservation Commission (HPC)

Subject: Certificate of Appropriateness (COA) for 127 S Main Street - Razing and Construction of a New Single-Family Home

I am writing to present this staff report for your consideration regarding the Certificate of Appropriateness (COA) for the proposed razing of 127 S Main Street, Thiensville, Wisconsin, and the subsequent construction of a new single-family home. The meeting is scheduled for Tuesday, March 5th, at 6 pm.

Background:

1. **Previous Historic Preservation Commission Meeting (November 1, 2022):** Mr. Michael Koepke sought input on razing the existing structures and presented plans for the new home. He will return with a formal application for razing and detailed plans for the new structure.
2. **Previous Plan Commission Meeting (September 13, 2022):** Director LaFond noted this as a consultation before an architect developed plans. The HPC favored the project but tabled the COA until detailed plans were provided.
3. **Previous Historic Preservation Commission Meeting (August 12, 2020):** Mr. Koepke discussed the exhaustion of resources to maintain the existing building and proposed razing it for a new structure.
4. **Historical Significance:** The property is one of 10 buildings in the Historic District recorded with the United States Department of the Interior National Register of Historic Places. Built in 1920, it is known as the Walter Bublitz residence.
5. **Previous Garage Approval:** The approval for the previous garage required the razing of the original garage, which is pending completion.
6. **New Structure Design:** The new structure reflects a modern farmhouse style. Staff notes a reduction in architectural features compared to previous versions, including dormers, a full front porch, and a second-story shed-style window awning.



Regulations and Compliance:

7. **Village Ordinances:** Sec 42-59 (b) regulates the demolition of historic buildings. The current exterior was deemed to lack significant architectural features, but preferences were expressed during the initial approval.
8. **State Historic Preservation Office Opinion:** No federal law is triggered. State statute 66.0413(3)(c) requires a 30-day notice for National Register-listed properties. Compliance involves notifying the Wisconsin State Historic Preservation Office 30 days before issuing a demolition permit.

Recommendations:

9. **Conditional Approval:** If the Commission approves the COA for Demolition and the new structure, staff recommends including language in the motion that prohibits the issuance of a raze COA or permit until the new structure gains approval from the Plan Commission, Zoning Administrator, Flood Plain Engineer, and the Wisconsin State Historic Preservation Office.

Conclusion:

Considering the history of consultations, the property's significance, and regulatory compliance, this staff report provides comprehensive information for the HPC's decision-making process. I am available to address any questions or provide further clarification during the upcoming meeting on Tuesday, March 5th, at 6 pm.

Sincerely,

Andy LaFond
Director of Community Service



250 Elm Street Thiensville WI, 53092

WWW.VILLAGE.THIENSVILLE.WI.US

Existing Residence





New Garage





Village of Thiensville

Historic Preservation

Certificate of Appropriateness

Property Address: 127 S. Main St., Thiensville WI 53092

Tax Key #

Property Owner

Michael Koepke

Name

127 S. Main Street

Address

Theinsville, WI 53092

Phone

414.313.3301

Email address

Current Zoning

Applicant ☒ Same as owner

Name

Address

Phone

mjkpps@gmail.com

Email address

Project description - Please describe your project in detail. Include details about height and dimensions, color, materials used and setbacks from the street and property lines. Describe exterior architectural feature affected, such as windows, roofs, porches, cornices or masonry. Briefly describe the feature or materials and give the approximate date it was constructed, if known. Describe in detail the proposed work and how it will impact the existing feature. If more space is needed, continue on a separate page.

Raze existing home and garage. Replace with new home. See attached plans. Let me know if you need anything prior to the meeting. Thank you.

Applicant's Signature

2-23-24

Date

A complete application shall be submitted by the deadline stated on the meeting schedule to the Village Clerk In order for an application to be considered complete, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. Owner, architect, builder or owner's representative must attend the Historic Preservation Commission meeting for action to be taken. See staff approval policy for projects that may not require commission approval. Some projects will require Plan Commission approval and paid and approved building permit. Projects not completed within 1 year of approval date must apply for renewal.



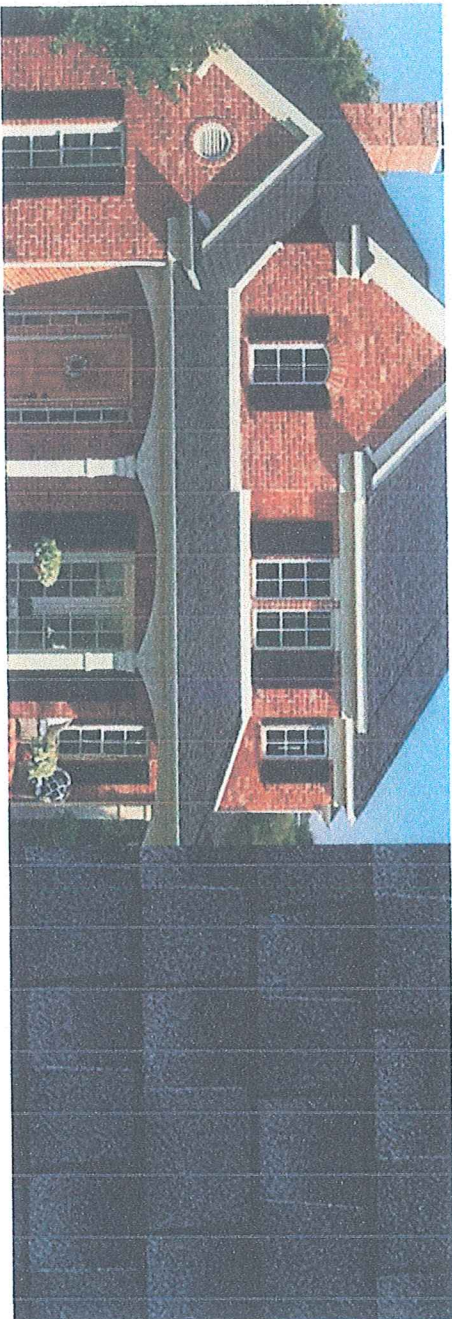
Roofing Materials > Residential Roofing Materials > Shingles > Timberline® AS II

Timberline® AS II

Timberline® AS II Shingles with UL 2218 Class 4 impact resistance give your roof a fighting chance in hail-prone areas and help protect it against wind and blue-green algae too.

★★★★★ 4.8 (370) [WRITE A REVIEW](#)

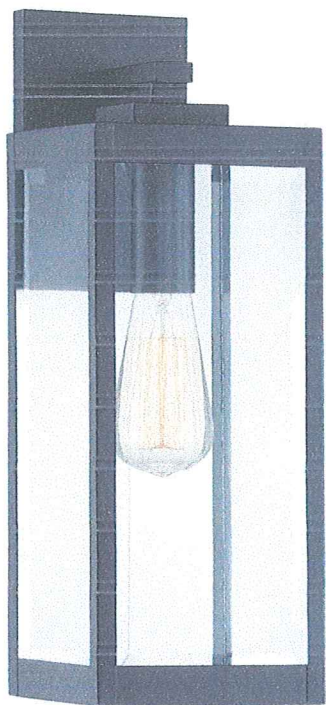
[Find a Contractor](#)



WVR8406EK

Westover Outdoor Lantern

Earth Black

QUOIZEL
LIGHTING**DETAILS**

Material: Steel

Glass/Shade Description: Clear Beveled Glass

Remote Included: No

LAMPING

Light Source: Incandescent

Bulb Included: No

Bulb Type: Medium Base

Bulb Quantity: 1

Watts per Bulb: 100

ELECTRICAL

Dimmable: Yes

Voltage: 120v

Wire Length: 0.5'

INSTALLATION

Location Rating: Wet

Install Position: Down

Sloped Ceiling Compatible: No

DIMENSIONS

Dimensions: 6" W x 17" H x 7.5" D

Backplate Dimensions: 7.00"H x 4.50"W

HCWO: 2.5"

Weight: 7.15 lbs

2 - EACH SIDE OF FRONT DOOR**2** - EACH SIDE OF REAR DOOR

We reserve the right to revise the design of components of any product due to parts availability or change in our Listed Mark standards without assuming any obligation or liability to modify any products previously manufactured and without notice. This literature depicts a product DESIGN that is the SOLE and EXCLUSIVE PROPERTY of Quoizel Inc. Compliance with U.S. COPYRIGHT and PATENT requirements, notification is hereby presented in this form that this literature, or this product depicts, is NOT to be copied, altered or used in any manner without the express written consent of, or contrary to the best interests of Quoizel Inc.

03/31/2013

Installation Instructions for

990P623_01-BRN

Barn Light Dome & Barn Light I Light Pendant**6236701, 6237401 | 1.0**

VISUAL COMFORT & Co.

STUDIO COLLECTION

GENERAL PRODUCT INFORMATION:

These fixtures are intended to be installed utilizing NEC compliant junction boxes.

This product is safety listed for damp locations.

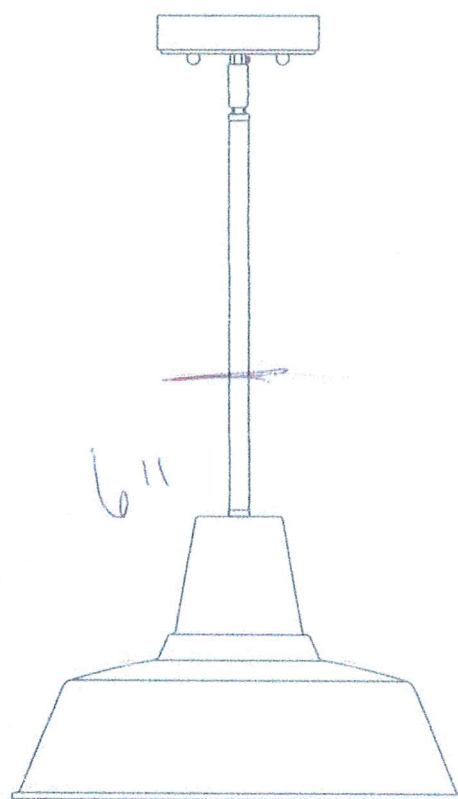
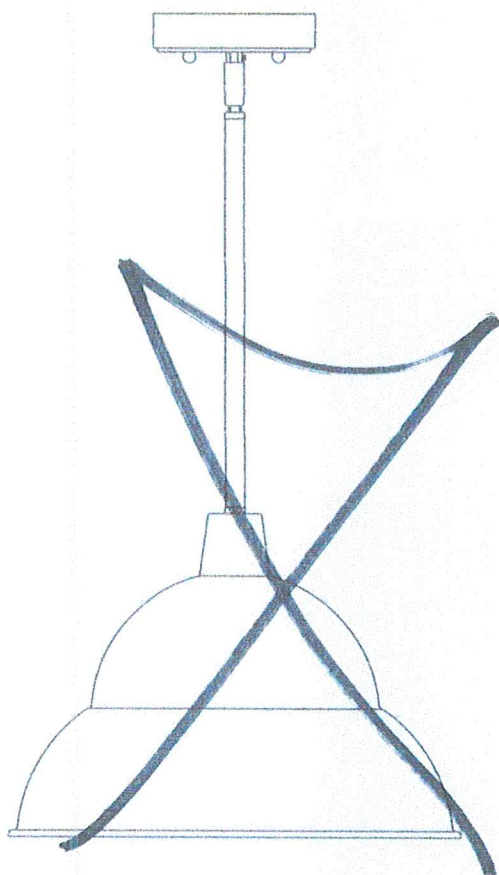
Incandescent version may be dimmed with a standard incandescent dimmer. LED version may be dimmed with a LED dimmer. Consult lamp manufacturer for additional information.

This instruction shows a typical installation.

CAUTION - RISK OF FIRE

This product must be installed in accordance with the applicable installation code by a person familiar with the construction and operation of the product and the hazards involved.

Use minimum 90°C supply conductors.

SAVE THESE INSTRUCTIONS!

VISUAL COMFORT & Co.

7400 Linden Ave., Skokie, IL 60077

T 847.610.1400 | F

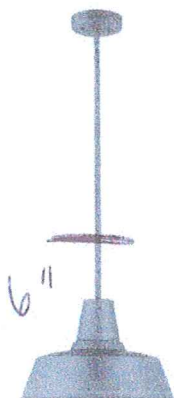
847.410.4500

www.visualcomfort.com

©2023 Visual Comfort & Co., All rights reserved. The Visual Comfort & Co. logo is a registered trademark of Visual Comfort & Co. Visual Comfort & Co. reserves the right to change specifications for product improvements without notification.

VISUAL COMFORT & Co.

6237401-12: One Light Outdoor Pendant



Dimensions:

Diameter: 14.0"
Height: 9.0"

Wire: 120" (color, Black)
Mounting Proc.: Cap Nuts
Connection: Mounted To Box

Bulbs:

1 - Medium A19 75.0w Max. 120v Not included

Features:

- Dark Sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.
- Easily converts to LED with optional replacement lamps
- Meets Title 24 energy efficiency standards
- Title 24 compliant if used with Joint Appendix (JA8) approved light bulbs listed in the California Energy Commission Appliance database.

Material List:

1 Body - Aluminium - Black
3 1/2" Stem - Steel - Black
1 6" Stem - Steel - Black

Safety Listing:

Safety Listed for Damp Locations

Instruction Sheets:

Trilingual (English, Spanish, and French) (990P623_01-BRN)

Collection: Barn Light

Featured in the decorative Fredricksburg collection

1 A19 Medium 100 watt light bulb

Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.

Easily converts to LED with optional replacement lamps

Sloped ceiling mounting hardware included

UPC #: 785652097690

Finish: Black (12)

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Canopy	1.12			5.0		

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Frt. Class	UPS Ship
Individual	6237401-12	1	785652097690	16.1	16.4	11.9	1.82	4.5	0	Yes
Master Pack	6237401-12	0	10785652097697							No
NJ Pallet		40		48.0	40.0	78.0	86.67	180.0		No
NV Pallet		40		48.0	40.0	78.0	86.67	180.0		No

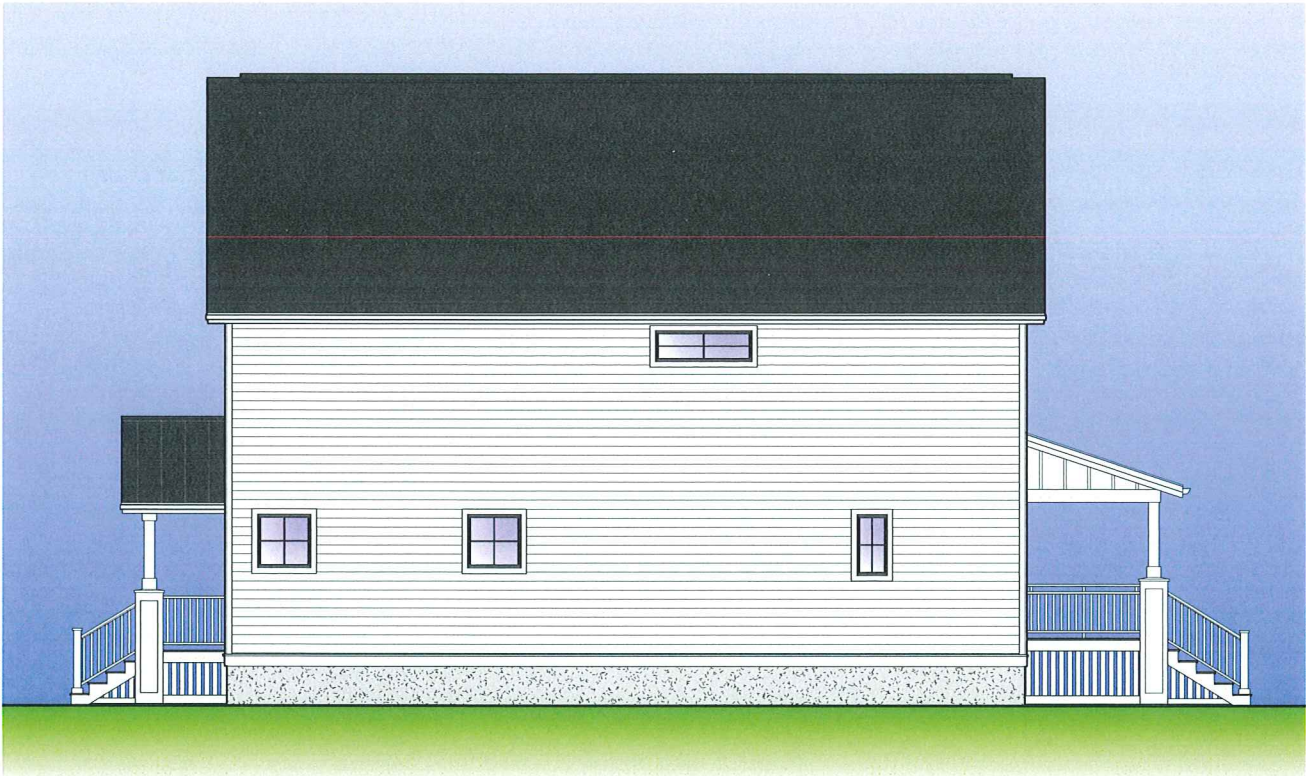
Visual Comfort & Co. reserves the right to revise the design of components of any product due to parts availability or change in safety listing standards without assuming any obligation or liability to modify any products previously manufactured and without notice. This literature depicts a product design that is the sole and exclusive property of Visual Comfort & Co., in compliance with U.S. copyright and patent requirements, notification is hereby presented in this form that this literature, or the product it depicts, is not to be copied, altered or used in any

MAIN STREET RESIDENCE

127 SOUTH MAIN STREET
THIENSVILLE, WISCONSIN 53029



1 EAST ELEVATION
0.0 FRONT 3/16" = 1'-0"



2 NORTH ELEVATION
0.0 RIGHT SIDE 3/16" = 1'-0"



3 SOUTH ELEVATION
0.0 LEFT SIDE 3/16" = 1'-0"



4 WEST ELEVATION
0.0 REAR 3/16" = 1'-0"

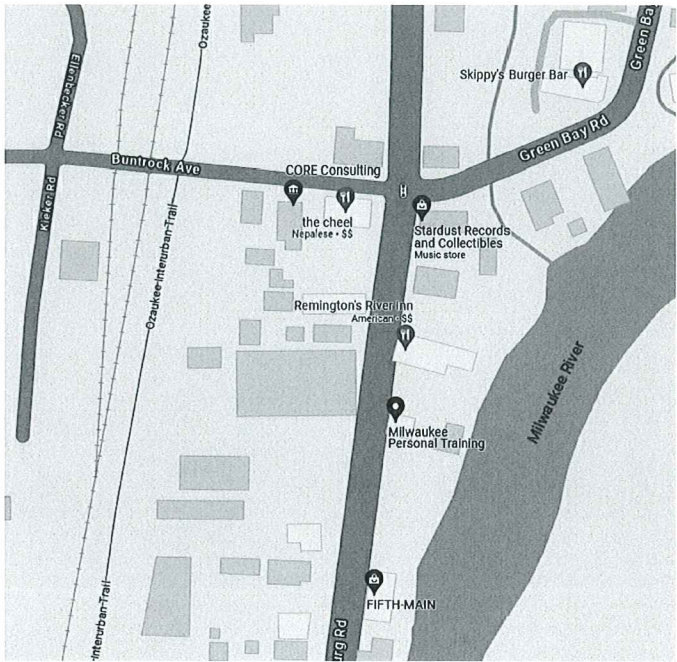
Sheet Index:

0.0	COVER SHEET
1.0	EXTERIOR ELEVATIONS
1.1	EXTERIOR ELEVATIONS
2.0	FOUNDATION PLAN
2.1	FIRST FLOOR PLAN
2.2	SECOND FLOOR PLAN
3.0	BUILDING SECTIONS
3.1	DETAILS
4.0	ARCHITECTURAL SITE LAYOUT

REAL design
tangible ideas
2987 South Howell Ave.
Milwaukee, WI 53207
414-202-3858
PROJECT NAME
MAIN STREET RESIDENCE

PROJECT INFO
Linda and Mike Koepke
127 S. Main Street
Thiensville, WI 53092
e: mjkpps@gmail.com

RD PROJECT No.
023100



5 LOCATION MAP
0.0 n.t.s

ISSUED HISTORY

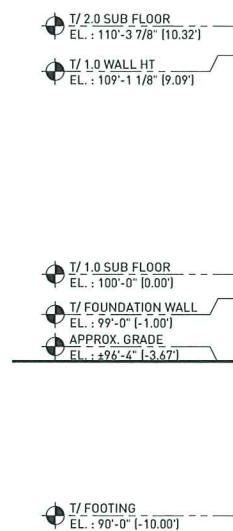
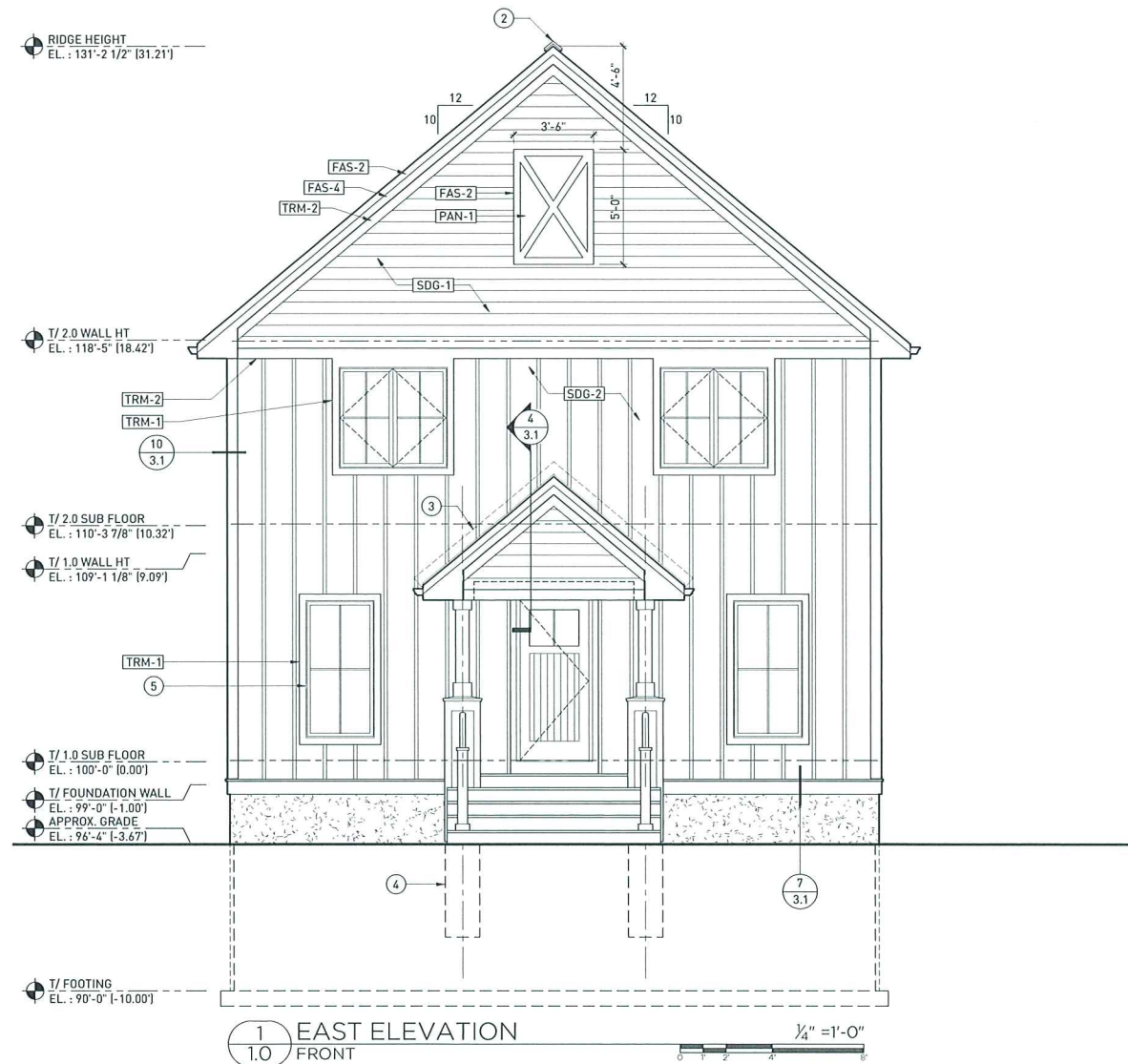
SET TYPE
H.P.C. REVIEW
SUBMISSION

DATE
02-23-24

SHEET TITLE
COVER SHEET

SHEET NUMBER

0.0



2 NORTH ELEVATION
1.0 RIGHT SIDE

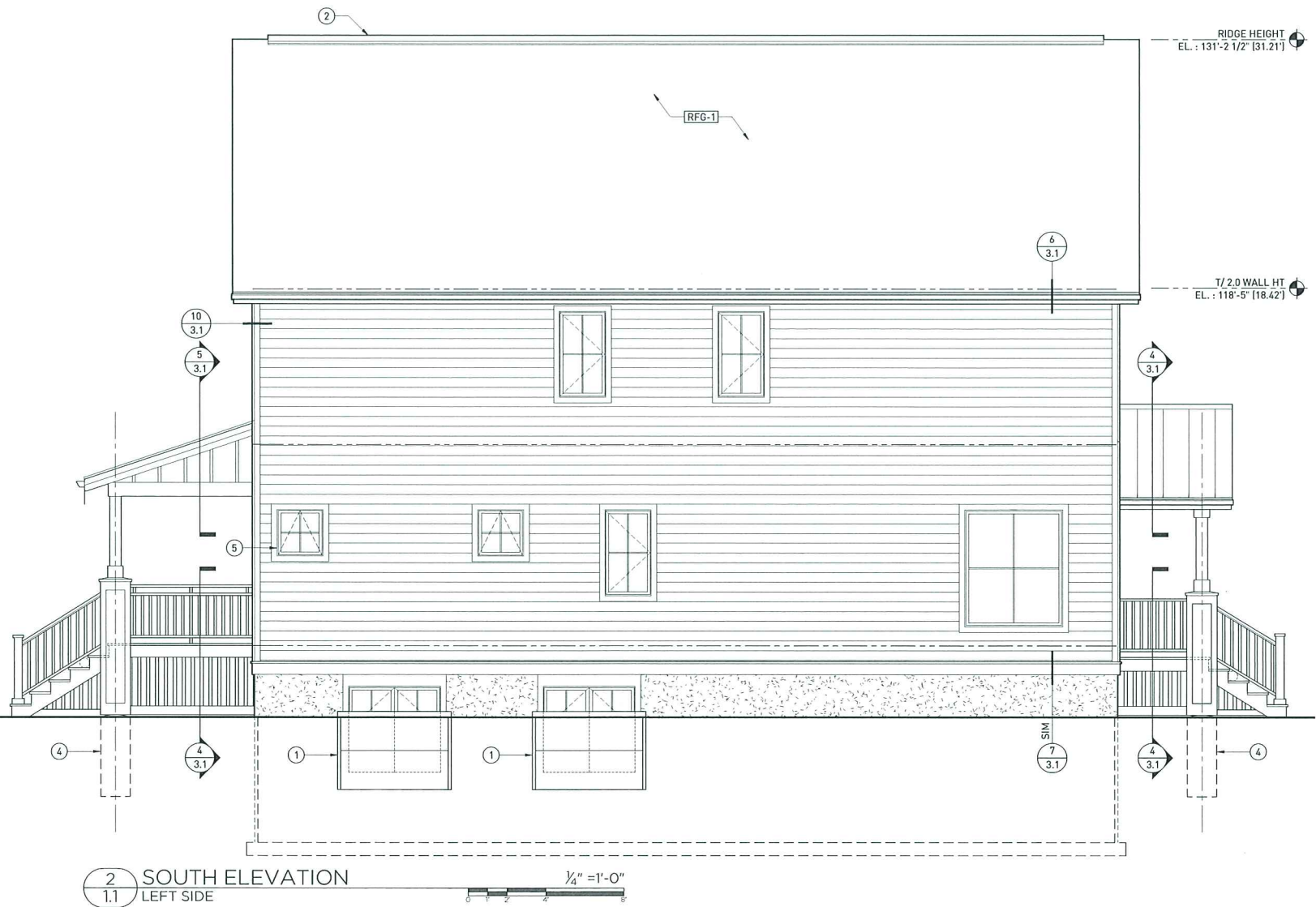
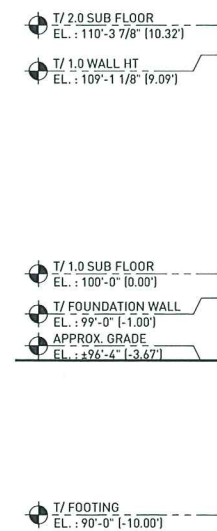
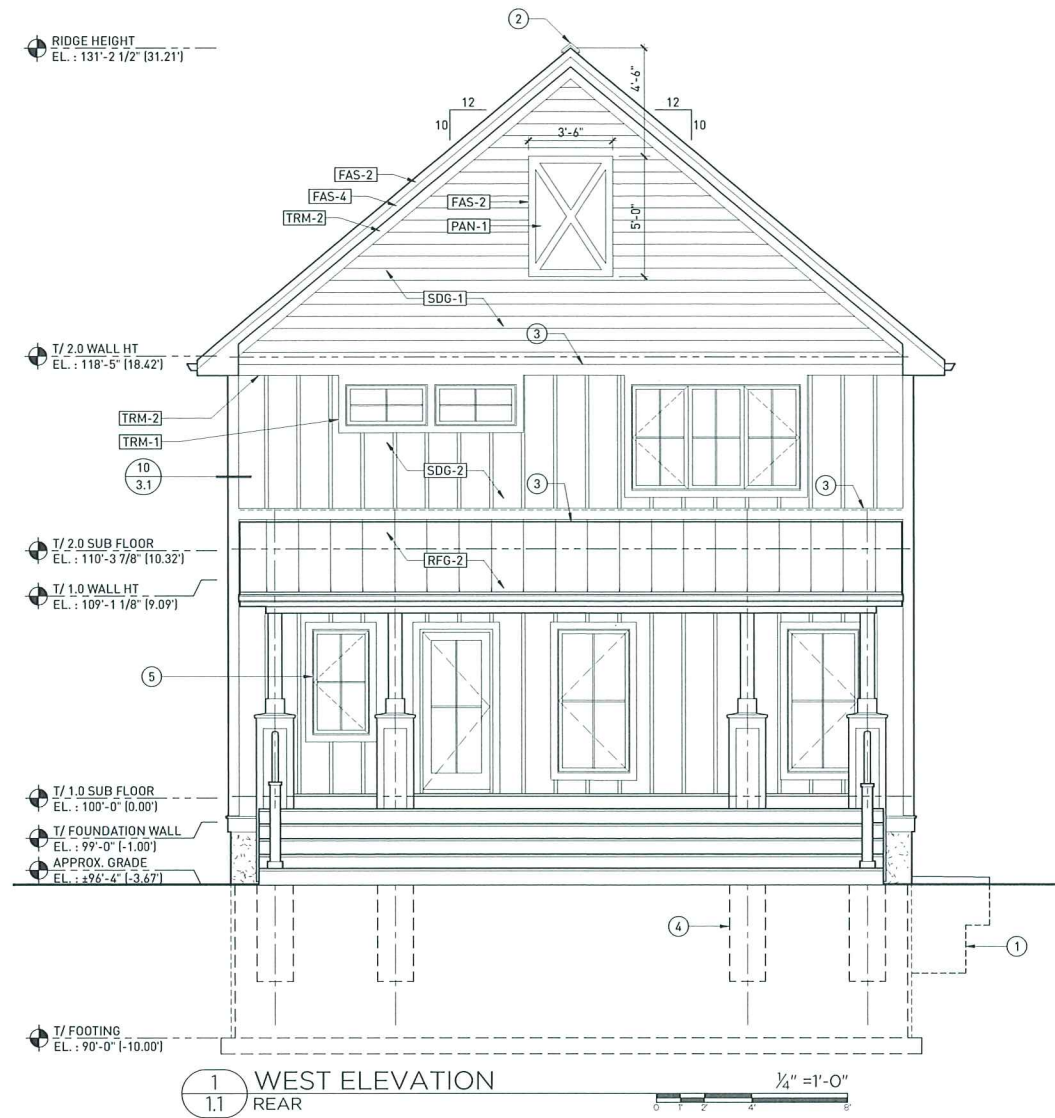
Exterior Notes:

CONSTRUCTION NOTES:

- 1 - WINDOW WELL
- 2 - CONTINUOUS RIDGE VENT
- 3 - METAL FLASHING, UP 4" VERTICAL FACE MIN.
- 4 - 18" Ø CONCRETE FOOTING WITH COLUMN BASE PLATE, 4'-0" BELOW GRADE MIN.
- 5 - COMPOSITE WINDOW, ANDERSEN 100 BASIS OF DESIGN, COLOR: BLACK
- 6 - FIREPLACE VENT

Exterior Material Identification:

- RFG-1 - 30 YR. MIN. DIMENSIONAL ASPHALT SHINGLES
- RFG-2 - STANDING SEAM METAL ROOFING, COLOR: BLACK
- SDG-1 - 6" REVEAL LAP LP SMART SIDING, TEXTURE: CEDAR, COLOR: SNOW WHITE
- SDG-2 - 16" w. LP VERTICAL SMART SIDING W/ 1x2 TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
- PAN-1 - LP SMART SIDING PANEL, TEXTURE: CEDAR, COLOR: SNOW WHITE
- GUT - K-STYLE ALUMINUM GUTTER, COLOR: SNOW WHITE
- SOF-1 - 16" VENTED LP SOFFIT PANEL, TEXTURE: CEDAR, COLOR: SNOW WHITE
- SOF-2 - 12" SOLID LP SOFFIT PANEL, TEXTURE: CEDAR, COLOR: SNOW WHITE
- SOF-3 - PORCH SOFFIT
- FAS-1 - 1x2 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
- FAS-2 - 1x4 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
- FAS-3 - 1x6 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
- FAS-4 - 1x8 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
- TRM-1 - 5/4x4 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
- TRM-2 - 5/4x6 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
- TRM-3 - 5/4x8 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
- DEK-2 - PORCH DECKING
- RAL-1 - TOP RAILING
- BAL-2 - PICKET
- RAL-2 - BOTTOM RAIL



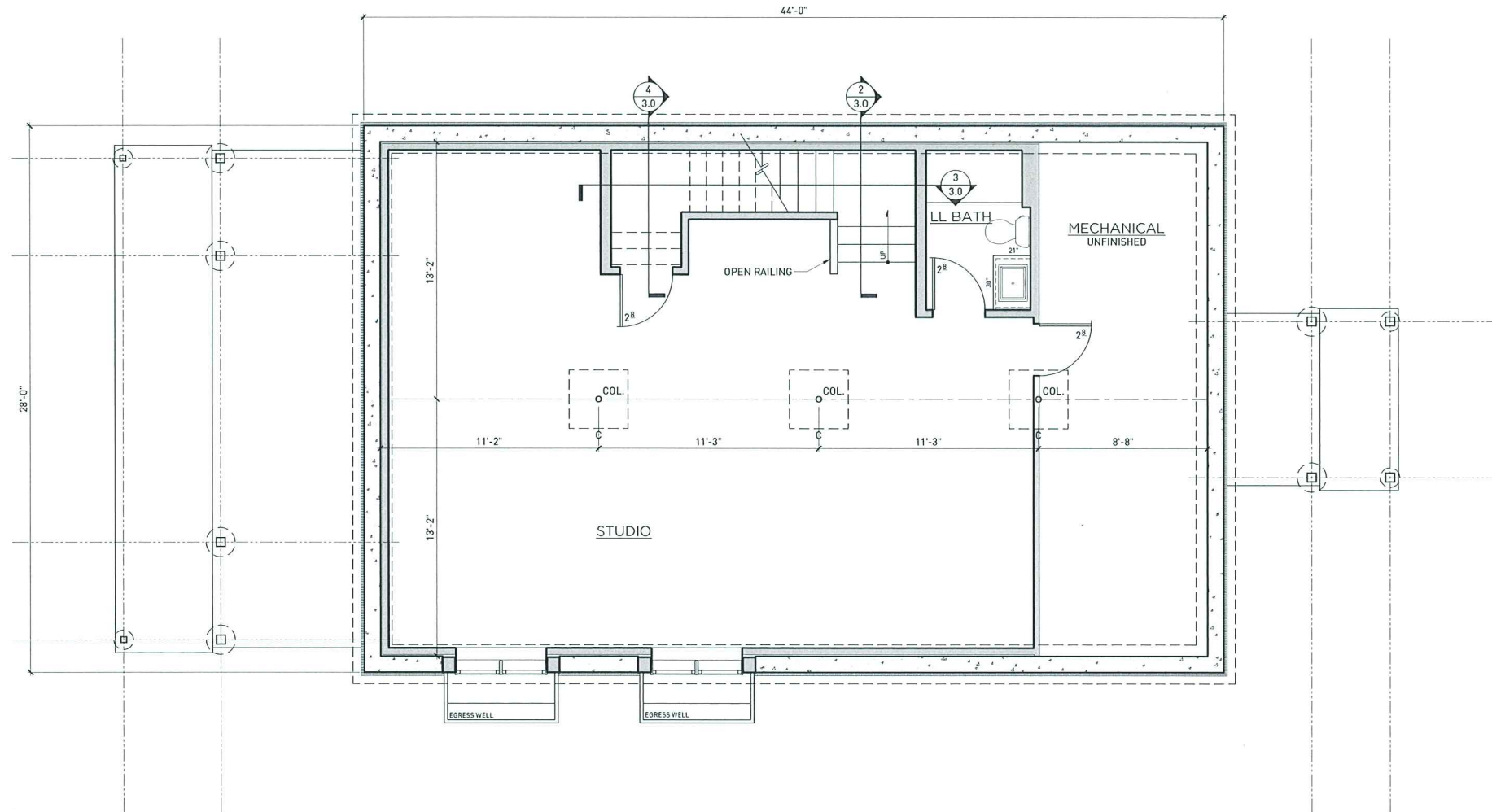
Exterior Notes:
CONSTRUCTION NOTES:
1 - WINDOW WELL
2 - CONTINUOUS RIDGE VENT
3 - METAL FLASHING, UP 6" VERTICAL FACE MIN.
4 - 18" Ø CONCRETE FOOTING WITH COLUMN BASE PLATE, 4'-0" BELOW GRADE MIN.
5 - COMPOSITE WINDOW, ANDERSEN 100 BASIS OF DESIGN, COLOR: BLACK
6 - FIREPLACE VENT

Exterior Material Identification:
RFG-1 - 30 YR. MIN. DIMENSIONAL ASPHALT SHINGLES
RFG-2 - 5" REVEAL LAP LP SMART SIDING, TEXTURE: CEDAR, COLOR: SNOW WHITE
SDG-1 - 6" w. LP VERTICAL SMART SIDING W/ 1x2 TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
SDG-2 - 16" w. LP SMART SIDING PANEL, TEXTURE: CEDAR, COLOR: SNOW WHITE
PAN-1 - LP SMART SIDING PANEL, TEXTURE: CEDAR, COLOR: SNOW WHITE
GUT - K-STYLE ALUMINUM GUTTER, COLOR: SNOW WHITE
SOF-1 - 16" VENTED LP SOFFIT PANEL, TEXTURE: CEDAR, COLOR: SNOW WHITE
SOF-2 - 12" SOLID LP SOFFIT PANEL, TEXTURE: CEDAR, COLOR: SNOW WHITE
SOF-3 - PORCH SOFFIT
FAS-1 - 1x2 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
FAS-2 - 1x4 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
FAS-3 - 1x6 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
FAS-4 - 1x8 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
TRM-1 - 5/4x4 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
TRM-2 - 5/4x6 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
TRM-3 - 5/4x8 LP TRIM, TEXTURE: CEDAR, COLOR: SNOW WHITE
DEK-2 - PORCH DECKING
RAL-1 - TOP RAILING
BAL-2 - PICKET
RAL-2 - BOTTOM RAIL

REAL design
tangible ideas
2987 South Howell Ave.
Milwaukee, WI 53207
414-202-3858
PROJECT NAME
MAIN STREET RESIDENCE
PROJECT INFO
Linda and Mike Koepke
127 S. Main Street
Thiensville, WI 53092
e: mjkpps@gmail.com

RD PROJECT No.
023100

ISSUED HISTORY
SET TYPE
H.P.C. REVIEW
SUBMISSION
DATE
02-23-24
SHEET TITLE
ELEVATIONS
SHEET NUMBER
1.1



1 LOWER LEVEL PLAN
2.0 FLOOR AREA: 1,256 SQ. FT.
1/4" = 1'-0"

ISSUED HISTORY

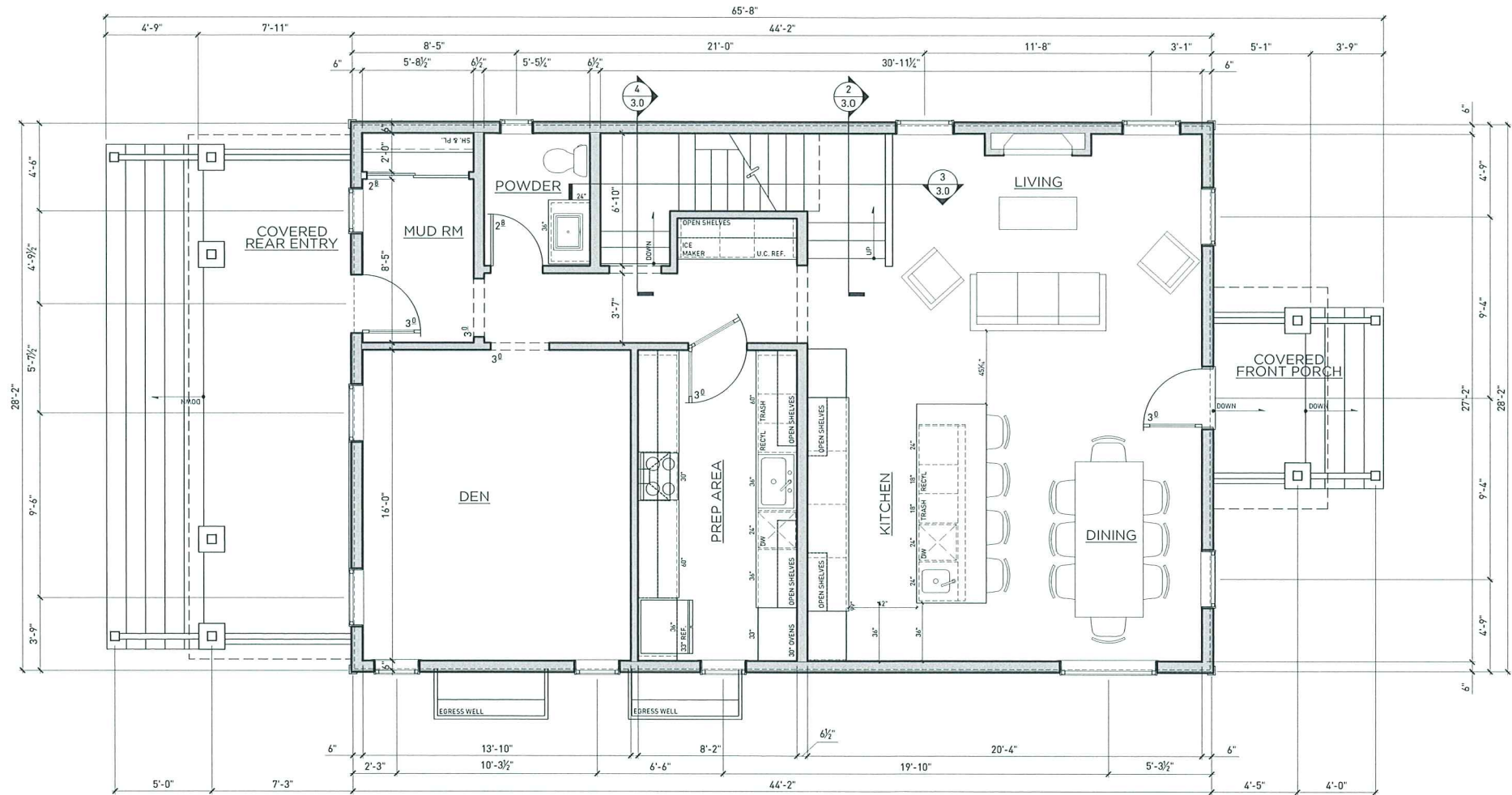
SET TYPE
H.P.C. REVIEW
SUBMISSION

DATE
02-23-24

SHEET TITLE
FLOOR PLANS

SHEET NUMBER

2.0



2 FIRST FLOOR PLAN
2.0 FLOOR AREA: 1,256 SQ. FT.
1/4" = 1'-0"

ISSUED HISTORY

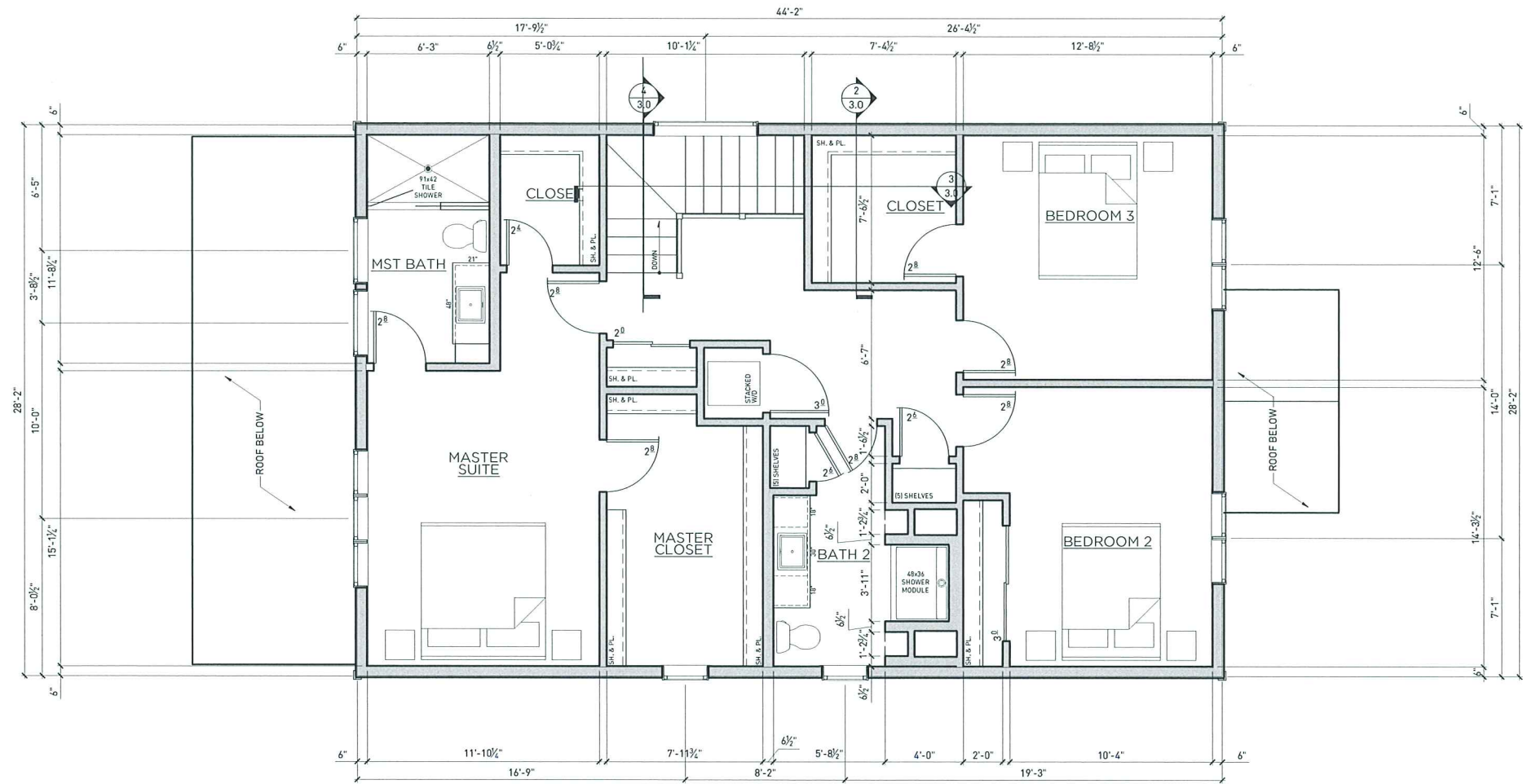
SET TYPE
H.P.C. REVIEW
SUBMISSION

DATE
02-23-24

SHEET TITLE
FLOOR PLANS

SHEET NUMBER

2.1



3 SECOND FLOOR PLAN
2.0 FLOOR AREA: 1,256 SQ. FT.
1/4" = 1'-0"

ISSUED HISTORY

SET TYPE
H.P.C. REVIEW
SUBMISSION

DATE
02-23-24

SHEET TITLE
FLOOR PLANS

SHEET NUMBER

2.2

- ROOF CONSTRUCTION
- 30 YR. MIN DIMENSIONAL ASPHALT SHINGLES
 - ICE AND WATER SHIELD
 - 15# BLDG. FELT
 - 1/2" O.S.B. DECKING, METAL CLIPS AS NEEDED
 - CONTINUOUS RIDGE VENTING
 - STATE APPROVED WOOD TRUSSES (VERIFY LAYOUT AND SPACING WITH PROVIDER)
 - PROVIDE UPLIFT PROTECTION AT EA. SIDE OF EA. TRUSS
 - R-49 MIN. INSULATION (PROVIDE BID ALTERNATES)
 - 6 MIL. VAPOR RETARDER
 - 5/8" GYPSUM BOARD CEILING FINISH

T/ 2.0 WALL HT
EL.: 118'-5" [18.42]

- SECOND FLOOR WALL CONSTRUCTION
- LP SMART SIDING - SEE ELEVATIONS
 - 1" INSULATED EXTERIOR STRUCTURAL ZIP SHEATHING WITH TAPED SEAMS
 - 2x6 WOOD WALL FRAMING AT 16" O.C.
 - R-21 MIN. WALL INSULATION (PROVIDE BID ALTERNATES)
 - 6 mil VAPOR RETARDER
 - 1/2" GYPSUM BOARD FINISH

- SECOND FLOOR FLOOR CONSTRUCTION
- VERIFY FINISH FLOORING
 - 3/4" T&G PLYWOOD SUB-FLOORING
 - CLEAT AND DROP SUB-FLOOR AS NEEDED IN TILED AREAS
 - 14" WOOD FLOOR TRUSSES (VERIFY LAYOUT, SPACING, AND DEPTH WITH PROVIDER)
 - R-19 INSULATION AT BOX SILL
 - 1/2" GYPSUM BOARD FINISH

T/ 2.0 SUB FLOOR
EL.: 110'-3 7/8" [10.32]

T/ 1.0 WALL HT
EL.: 109'-1 1/8" [9.09]

- FIRST FLOOR WALL CONSTRUCTION
- LP SMART SIDING - SEE ELEVATIONS
 - 1" INSULATED EXTERIOR STRUCTURAL ZIP SHEATHING WITH TAPED SEAMS
 - 2x6 WOOD WALL FRAMING AT 16" O.C.
 - R-21 MIN. WALL INSULATION (PROVIDE BID ALTERNATES)
 - 6 mil VAPOR RETARDER
 - 1/2" GYPSUM BOARD FINISH

- FIRST FLOOR FLOOR CONSTRUCTION
- VERIFY FINISH FLOORING
 - 3/4" T&G PLYWOOD SUB-FLOORING
 - CLEAT AND DROP SUB-FLOOR AS NEEDED IN TILED AREAS
 - 11 7/8" WOOD I-JOISTS (VERIFY LAYOUT AND SPACING WITH PROVIDER)
 - R-19 INSULATION AT BOX SILL

T/ 1.0 SUB FLOOR
EL.: 100'-0" [0.00]

T/ FOUNDATION WALL
EL.: 99'-0" [-1.00]

- FOUNDATION CONSTRUCTION
- SILL SEALER
 - ANCHOR BOLTS PER CODE
 - 2" RIGID INSULATION BELOW GRADE (R-10 min.)
 - BACKPLASTER AND WATER PROOFING
 - 10" w. POURED CONCRETE WALL
 - 24x12" CONT. CONC. FOOTING
 - FORM-A-DRAIN WITH BLEEDERS PER CODE

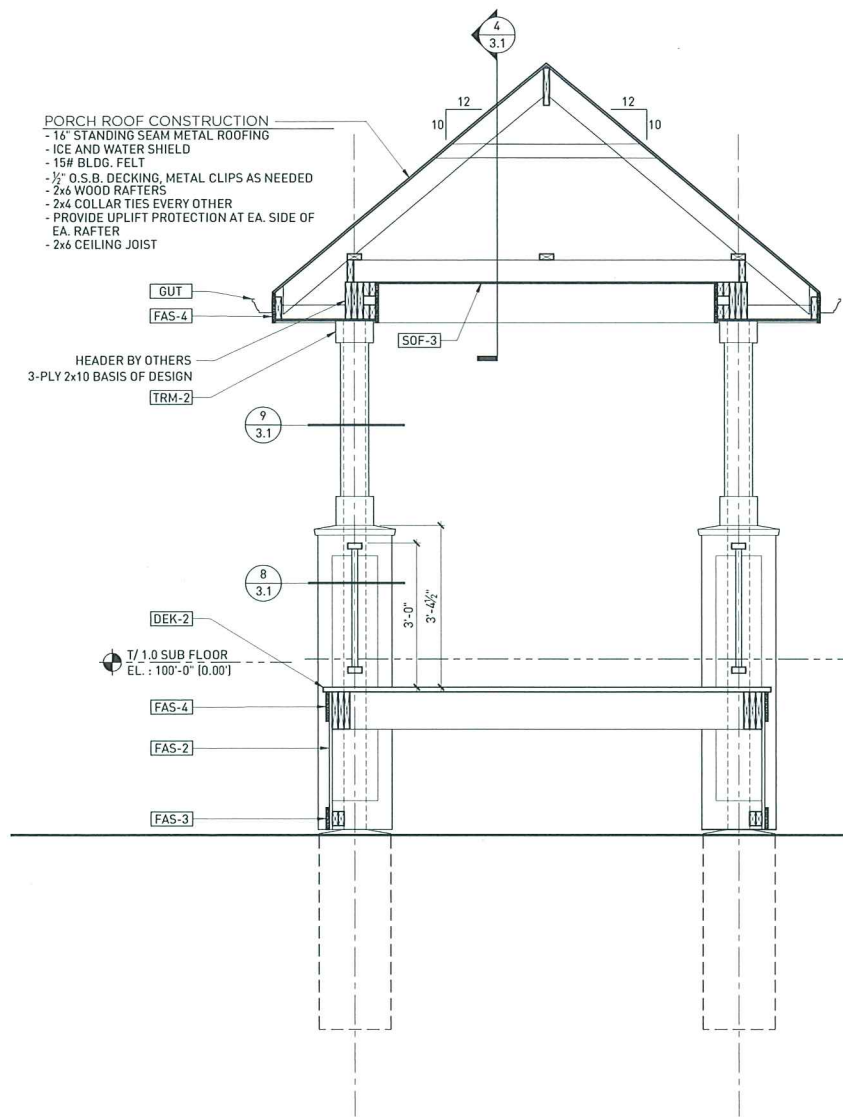
T/ FOOTING
EL.: 90'-0" [-10.00]

1
3.0 TYPICAL WALL SECTION 1/2" = 1'-0"

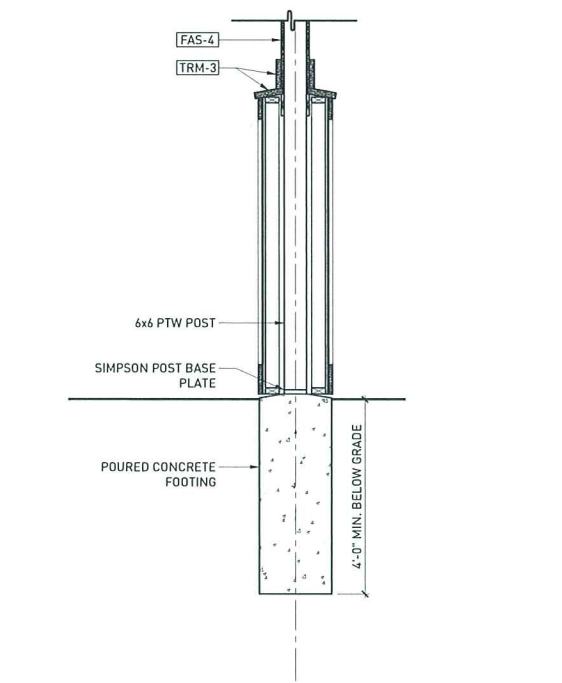
2
3.0 STAIR SECTION 1/2" = 1'-0"

3
3.0 PARTIAL SECTION PORCH COLUMN BASE 1/2" = 1'-0"

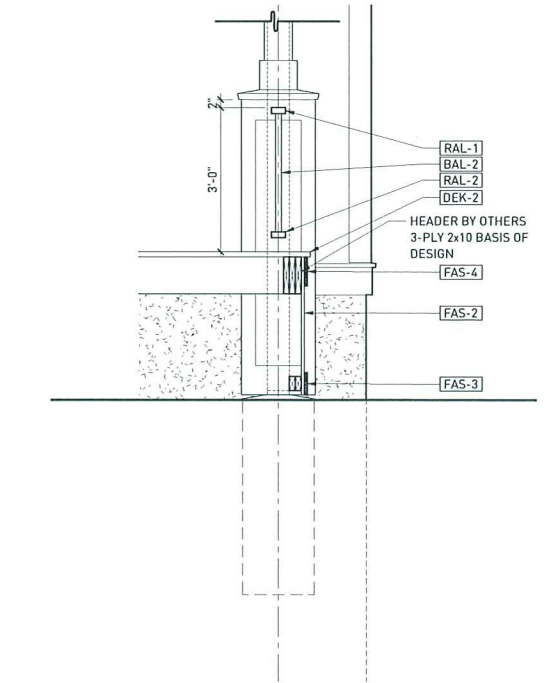
4
3.0 STAIR SECTION 1/2" = 1'-0"



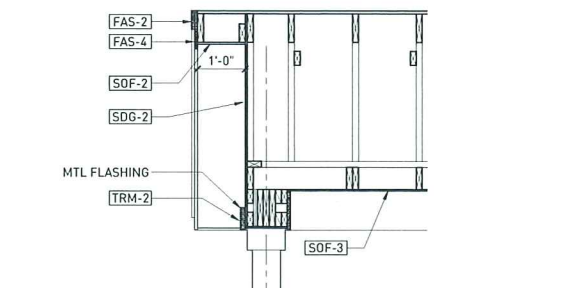
1
3.1
SECTION FRONT PORCH
1/2" = 1'-0"



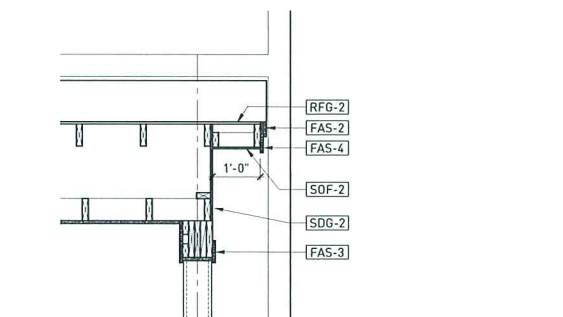
3
3.1
SECTION PORCH COLUMN
1/2" = 1'-0"



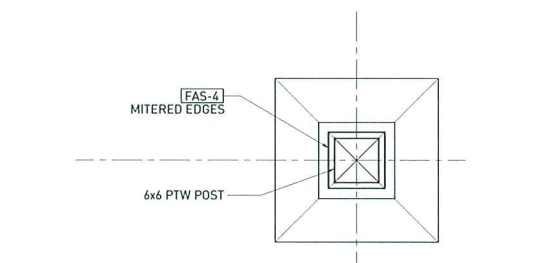
3
3.1
PARTIAL SECTION PORCH RAILING
1/2" = 1'-0"



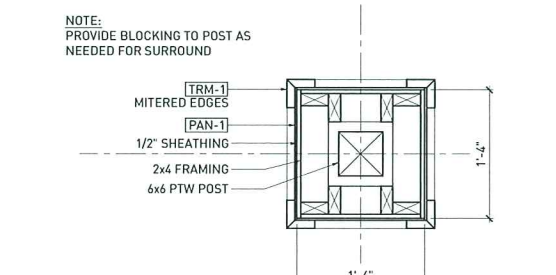
4
3.1
PARTIAL SECTION PORCH GABLE OVERHANG
1/2" = 1'-0"



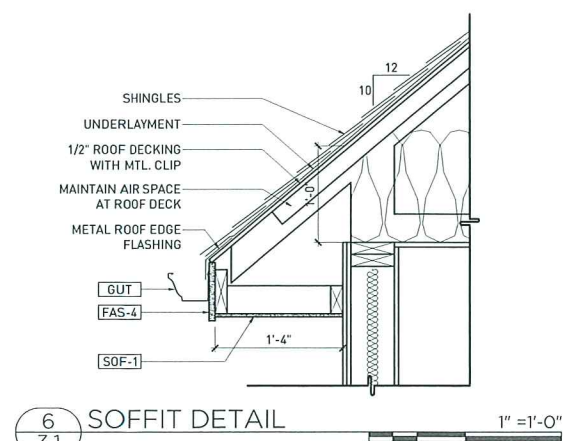
5
3.1
PARTIAL SECTION PORCH GABLE OVERHANG
1/2" = 1'-0"



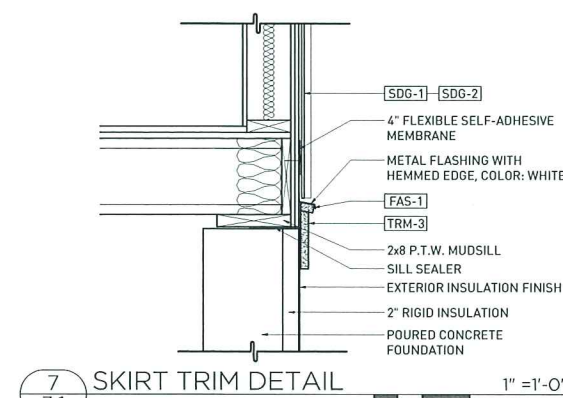
9
3.1
PORCH COLUMN DETAIL
1" = 1'-0"



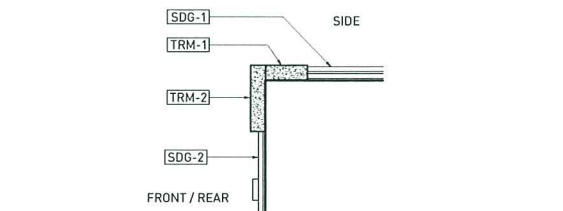
8
3.1
POST BASE PLAN DETAIL
1" = 1'-0"



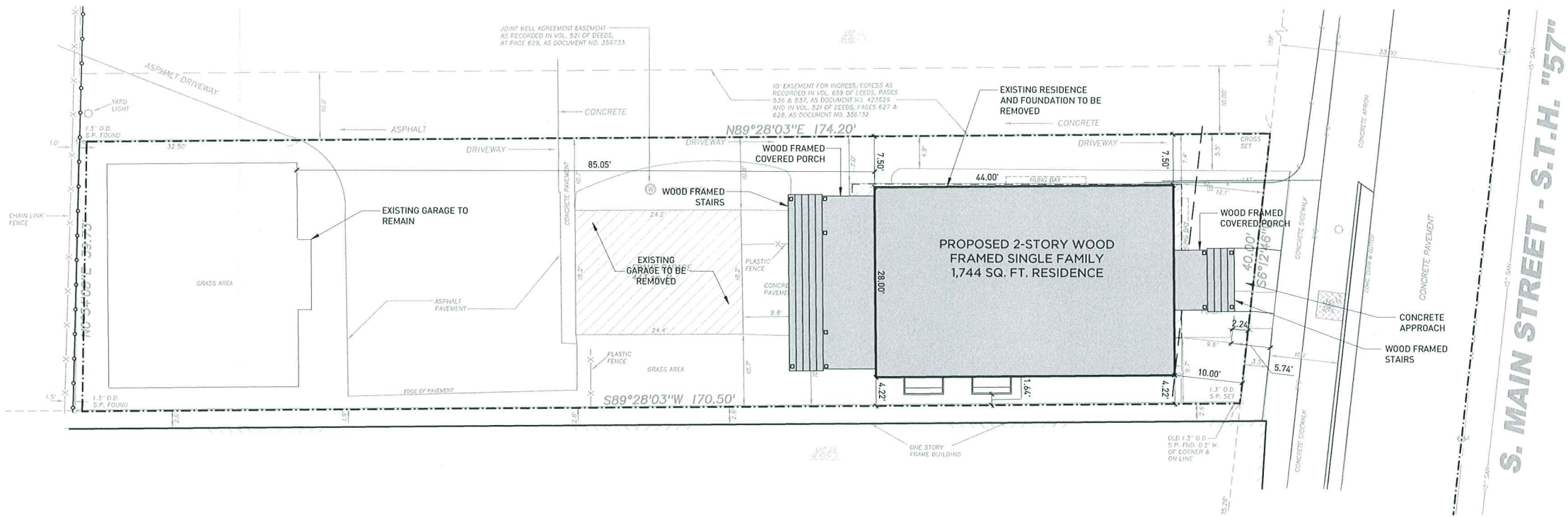
6
3.1
SOFFIT DETAIL
1" = 1'-0"



7
3.1
SKIRT TRIM DETAIL
1" = 1'-0"



10
3.1
CORNER BOARD DETAIL
1 1/2" = 1'-0"



1
4.0 ARCHITECTURAL SITE LAYOUT 1" = 10'-0"

ISSUED HISTORY

SET TYPE
H.P.C. REVIEW
SUBMISSION

DATE
02-23-24

SHEET TITLE
SITE LAYOUT

SHEET NUMBER

4.0

Sec. 42-59. - Construction, reconstruction, exterior alteration and demolition.

(a) *Regulation of construction, reconstruction and exterior alteration.* Construction, reconstruction and exterior alteration shall be regulated as follows:

- (1) Any application for a building or sign permit involving the exterior of a designated historic landmark site or structure within a historic district shall be referred to the commission.
- (2) No owner of a historic landmark site or structure, or any property within a historic landmark district, shall reconstruct or alter all or any part of the exterior of such property or construct any improvement upon such property or cause or permit any such work to be performed upon such property unless a certificate of appropriateness has been granted by the commission. Unless such certificate has been granted by the commission, no permit for any such work shall be issued.
- (3) Upon filing of any such application the Historic Preservation Commission shall promptly determine:
 - a. Whether, in the case of a designated historic landmark structure or site, the proposed work would detrimentally change, destroy or adversely affect any exterior architectural feature of the improvement upon which the work is to be done;
 - b. Whether, in the case of the construction of a new improvement upon a historic landmark site, the proposed improvement would substantially and adversely affect the historic value of the site;
 - c. Whether the exterior of such improvement would adversely affect or conflict with the external appearance of other neighboring improvements on such site; and
 - d. Whether, in the case of any property located in a historic landmark district, the proposed construction, reconstruction or exterior alteration is inconsistent with the objectives and design criteria of the historic preservation plan for such district.
- (4) If the commission determines subsections (c)(1)—(c)(3) of this section in the negative, it shall issue the certificate of appropriateness. Upon the issuance of such certificate, the building permit shall then be issued by the building inspector or other authority responsible therefor. Should the commission refuse to issue a certificate of appropriateness because of the failure of a proposal to conform to the above guidelines, the applicant may appeal such decision to the village board, which may grant the certificate by a vote of two-thirds of its members, and then only upon a clear showing of economic hardship by the applicant. In addition, if the commission fails to issue a certificate of appropriateness, the commission shall, at the request of the applicant, cooperate and work with the applicant in an attempt to comply with the guidelines of this chapter.

(b) *Regulation of demolition.* Demolition shall be regulated as follows:

- (1) No permit to demolish all or part of a historic landmark structure, or improvement in a historic landmark district, shall be issued without first receiving the written approval of the commission.
- (2) Every application for a permit to demolish such property shall be referred to the commission. Upon receipt of any such application, the commission may refuse to grant such written approval for a period of up to ten months from the time of such application, during which time the commission and the applicant shall undertake serious and continuing discussions for the purpose of finding a method to save such property. During such period, the applicant and the commission shall cooperate in attempting to avoid demolition of the property. At the end of this ten-month period, if no mutually agreeable method of saving the subject property bearing a reasonable prospect of eventual success is underway, or if no formal application for funds from any governmental unit or nonprofit organization to preserve the subject property is pending, the commission shall authorize the issuance of the permit to demolish the subject property. If such mutually agreeable method for saving the subject property is not successful or no such funds to preserve the subject property have been obtained and available for disbursement within a period of two months following the end of such ten-month period, the commission shall authorize the issuance of the permit to demolish the subject property.

- (3) In determining whether to issue a certificate of appropriateness for any demolition, the commission shall consider and may give weight to any or all of the following:
- a. Whether the building or structure is of such architectural or historic significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the village and the state;
 - b. Whether the building or structure, although not itself a designated historic structure, contributes to the distinctive architectural or historic character of the historic district as a whole and therefore should be preserved for the benefit of the people of the village and the state;
 - c. Whether demolition of the subject property would be contrary to the purpose and intent of this chapter as set forth in section 42-1 and to the objectives of the historic preservation plan for the applicable district as duly adopted by the village board;
 - d. Whether the building or structure is of such old and unusual or uncommon design, texture and/or material that it could not be reproduced, or be reproduced only with great difficulty and/or expense;
 - e. Whether retention of the building or structure would promote the general welfare of the people of the village and the state by encouraging study of American history, architecture and design, or by developing an understanding of American culture and heritage;
 - f. Whether the building or structure is in such a deteriorated condition that it is not structurally or economically feasible to preserve or restore it, provided that any hardship or difficulty claimed by the owner which is self-created or which is the result of any failure to maintain the property in good repair cannot qualify as a basis for the issuance of a certificate of appropriateness;
 - g. Whether any new structure proposed to be constructed or change in use proposed to be made is compatible with the buildings and environment of the district in which the subject property is located.
- (4) An appeal from the decision of the commission to grant or deny a certificate of appropriateness may be taken to the village board by the applicant for the demolition permit, whether the determination is made:
- a. Upon receipt of the application for a demolition permit;
 - b. At the end of the one-year period in a case where action on the application has been suspended; or
 - c. To suspend action on a demolition application.

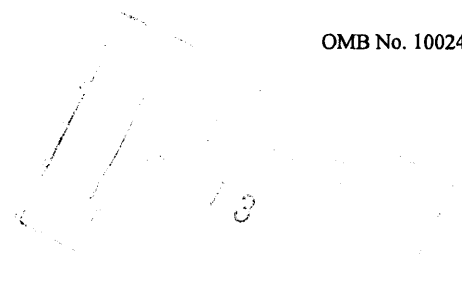
Such appeal shall be initiated by filing a petition to appeal, specifying the grounds therefor, with the village clerk within ten days of the date the final decision of the commission is made. The village clerk shall file the petition to appeal with the village board. After a public hearing, the village board may by a vote of two-thirds of its members, reverse or modify the decision of the commission if, after balancing the interest of the public in preserving the subject property and the interest of the owner in using it for his own purposes, the village board finds that, owing to special conditions pertaining to the specific piece of property, demolition will preclude any and all reasonable use of the property and/or will cause serious hardship for the owner, provided that any self-created hardship shall not be a basis for reversal or modification of the commission's decision.

- (c) *Documentation.* The commission may condition the issuance of any certificate of appropriateness upon the satisfactory documentation of the site, structure or district by means of photography, architectural or other renderings, designs, plans, any evaluation of the foregoing, or any other method the commission deems appropriate, and may, but need not, undertake such documentation at its expense. All required documentation shall become the property of the village and shall be properly indexed, archived and maintained for such purposes as the village board may decide.

- (d) *Recognition of historic structures and historic sites.* At such time as a historic landmark structure or site has been properly designated in accordance with section 42-58, the commission may cause to be prepared and erected on such property, at public expense, a suitable marker such as a plaque or other monument declaring that such property is a historic landmark structure or site. Such marker shall be so placed as to be easily visible to the public. In the case of a historic landmark structure, the plaque or monument shall state the accepted name of the structure, the date of its construction, and other information deemed proper by the commission. In the case of a historic landmark site which is not the site of a historic structure, such plaque or monument shall state the common name of the site, and such other information deemed appropriate by the commission.

(Ord. No. 1991-01, § 26.05, 1-21-91)

1279



United States Department of Interior
National Park Service

National Register of Historic Places
Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in *How to Complete the National Register of Historic Places Registration Form* (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900A). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

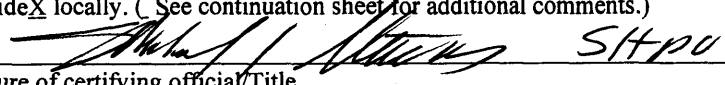
historic name Main Street Historic District
other names/site number N/A

2. Location

street & number	101 North Main Street, 105-130 South Main Street, 101 Green Bay			N/A	not for publication
	Road and 107 West Buntrock Avenue				
city or town	Thiensville			N/A	vicinity
state	Wisconsin	code	WI	county	Ozaukee
				code	089
				zip code	53092

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this X nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property X meets _ does not meet the National Register criteria. I recommend that this property be considered significant _ nationally statewide X locally. (See continuation sheet for additional comments.)

 SHPO 10/7/04
Signature of certifying official/Title Date

State or Federal agency and bureau

In my opinion, the property _ meets _ does not meet the National Register criteria.
(See continuation sheet for additional comments.)

Signature of commenting official/Title Date

State or Federal agency and bureau

Main Street Historic District

Ozaukee

Wisconsin

Name of Property

County and State

4. National Park Service CertificationI hereby certify that the property is:
☒ entered in the National Register.☐ See continuation sheet.☐ determined eligible for the
National Register.☐ See continuation sheet.☐ determined not eligible for the
National Register.☐ See continuation sheet.☐ removed from the National
Register.☐ other, (explain:)*Edson Beall**11/26/04**hau*

Signature of the Keeper

Date of Action

5. Classification**Ownership of Property**
(check as many boxes as
as apply)☒ private☒ public-local☐ public-State☐ public-Federal**Category of Property**
(Check only one box)☐ building(s)☒ district☐ structure☐ site☐ object**Number of Resources within Property**
(Do not include previously listed resources
in the count)

contributing

10

noncontributing

buildings

sites

structures

objects

10

0 total

Name of related multiple property listing:(Enter "N/A" if property not part of a multiple property
listing.)

N/A

Number of contributing resources**is previously listed in the National Register**

0

6. Function or Use**Historic Functions**

(Enter categories from instructions)

DOMESTIC/single dwelling

GOVERNMENT/city hall

COMMERCE/general store

Current Functions

(Enter categories from instructions)

DOMESTIC/single dwelling

VACANT

COMMERCE

7. Description**Architectural Classification**

(Enter categories from instructions)

LATE VICTORIAN/Queen Anne

Late 19TH & Early 20TH CENTURY AMERICAN MOVEMENTS**Materials**

(Enter categories from instructions)

Foundation concrete

walls

brick

roof

weatherboard

asphalt

other

wood

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets.)

Main Street Historic District
Name of Property

Ozaukee County
County and State

Wisconsin

8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for the National Register listing.)

- ☒ A Property is associated with events that have made a significant contribution to the broad patterns of our history.
- ☐ B Property is associated with the lives of persons significant in our past.
- ☐ C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- ☐ D Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- ☐ A owned by a religious institution or used for religious purposes.
- ☐ B removed from its original location.
- ☐ C a birthplace or grave.
- ☐ D a cemetery.
- ☐ E a reconstructed building, object, or structure.
- ☐ F a commemorative property.
- ☐ G less than 50 years of age or achieved significance within the past 50 years.

Areas of Significance

(Enter categories from instructions)

Commerce

Period of Significance

1895-1954

Significant Dates

N/A

Significant Person

(Complete if Criterion B is marked)

N/A

Cultural Affiliation

N/A

Architect/Builder

unknown

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

Main Street Historic District
 Name of Property

Ozaukee County
 County and State

Wisconsin

9. Major Bibliographic References

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous Documentation on File (National Park Service):

- preliminary determination of individual listing (36 CFR 67) has been requested
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic landmark
- recorded by Historic American Buildings Survey #
- recorded by Historic American Engineering Record #

Primary location of additional data:

- X State Historic Preservation Office
- Other State Agency
- Federal Agency
- Local government
- University
- Other

Name of repository:

10. Geographical Data

Acreage of Property 2.75 acres

UTM References (Place additional UTM references on a continuation sheet.)

1 16 420108 4786634
 Zone Easting Northing

2 _____
 Zone Easting Northing

3 _____
 Zone Easting Northing

4 _____
 Zone Easting Northing

☐ See Continuation Sheet

Verbal Boundary Description (Describe the boundaries of the property on a continuation sheet)

Boundary Justification (Explain why the boundaries were selected on a continuation sheet)

11. Form Prepared By

name/title	Traci E. Schnell/Architectural Historian, Brian J. Faltinson/Project Historian		
organization	Heritage Research, Ltd.		
street & number	N89 W16785 Appleton Avenue	date	May 2003
city or town	Menomonee Falls	telephone	262.251.7792
	state WI	zip code	53051

Main Street Historic District

Ozaukee County

Wisconsin

Name of Property

County and State

Additional Documentation

Submit the following items with the completed form:

Continuation Sheets

Maps

A USGS map (7.5 or 15 minute series) indicating the property's location.

A sketch map for historic districts and properties having large acreage or numerous resources.

Photographs

Representative black and white photographs of the property.

Additional Items (Check with the SHPO or FPO for any additional items)

Property Owner

Complete this item at the request of SHPO or FPO.)

name/title various

organization

date

street&number

telephone

city or town

state

WI

zip code

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reduction Projects, (1024-0018), Washington, DC 20503.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section 7 Page 1

Main Street Historic District
Thiensville, Ozaukee County, WI

GENERAL DESCRIPTION

The Main Street Historic District exists within the commercial center of the Village of Thiensville, Ozaukee County, Wisconsin. Consisting of nine parcels possessing ten contributing buildings, the district is centered on the prominent intersection of Main Street, Green Bay Road and W. Buntrock Avenue. The streetscape consists of a combination of commercial and residential structures that are separated from the roadway only by sidewalk. No significant vegetation is present. The buildings were constructed between 1895 and 1927 and consist of the Craftsman, Queen Anne, Twentieth-Century Commercial, as well as vernacular interpretations of popular styles. Ten buildings are located within the district, all are considered to be contributing.

DESCRIPTION OF BUILDINGS

116-122 S. Main Street
Maas-Bublitz Residence
1898

This two-and-one-half story, Queen Anne style residence rises from a fieldstone foundation and is sheathed with clapboard. The house has a rectangular, hipped-roof core and features projecting gabled wings and roof dormers; the peaks are sheathed with decorative wooden shinglework. A wraparound porch stretches across both the west and south facades, as well as partially wraps around to the north. It consists of turned wooden supports, a spindled balustrade, as well as a spindled frieze. An additional spindled balustrade lines the second level. Windows throughout the home are one-over-one-light sashes and are generally arranged singly; however, a tripartite grouping is situated within the primary west gabled peak. A pair of brick chimneys rises from the hip-roofed core. Since 1907, the interior has been divided for multiple-family use; the home currently has four apartments units.

The house was built in 1898 by August & Minnie Maas. Minnie Maas was the daughter of Ferdinand Duwe, who operated a wagon works in Thiensville as early as 1866. In 1907, the home was purchased by Otto Bublitz. Bublitz and his family occupied the first floor, while he rented out the upper level, which he had divided into at least two living quarters. For at least a time from at least 1910 to circa 1913, an upper unit was utilized as a home and residence of physician Dr. Kenney. The house remained in the Bublitz family until 1989, when it was purchased by the current owner Tom Montaine.¹

¹ "Duwe-Maas Family History," Typed manuscript by Harvey Maas, dated 1991, On file at the Mequon Historical Society, Mequon, WI; Bublitz Family, Genealogical and biographical information, In possession of Dawn Holyoke, great-granddaughter of Otto Bublitz, Thiensville, WI; Tax Rolls, Town of Mequon, 1849-1910, On file at the Mequon Historical Society, Mequon, WI; Historic postcard view (Maas-Bublitz Residence), dated 1913, In possession of Dawn Holyoke; 1910 census information, handwritten in minutes of the Village of Thiensville, On file at the Thiensville Municipal Center, Thiensville, WI; Tom Montaine, Current owner of 106-108 and 116-122 S. Main Street, Conversation with Traci E. Schnell, May 2003, Notes on file at Heritage Research Ltd., Menomonee Falls, WI.

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Continuation Sheet**

Section 7 Page 2

Main Street Historic District
Thiensville, Ozaukee County, WI

105 S. Main Street
Commercial House Hotel
1895

This two-and-one-half story, Queen Anne style structure rises from a cut limestone foundation and is variously sheathed with aluminum, clapboard, as well as decorative shinglework. Oriented to the corner of S. Main Street and W. Buntrock Avenue, the building is dominated by a three-story tower, the pyramidal roof of which has since been removed. The first level of the tower is fitted with a modern door, while the second floor retains a series of four tall and narrow, rectangular, double-hung sash windows. The third level displays a series of four round-arched, double-hung windows, as well as carved wooden brackets along the roof's eave. The first level of the structure features a circa 1960s window alteration, as well as aluminum siding, while the second floor is sheathed with clapboard and consists of irregularly placed sash windows. A gabled roof dormer is located along both the east and north facades and displays a single, double-hung sash window near the peak, which is surrounded by decorative shinglework. A small pent is located above each peak window and is underscored by wooden trim and small, carved wooden brackets. A two-story addition extends from the main block to the west, is sheathed with clapboard and features only two sash windows along its north facade. A one-story, concrete block addition is located off of the southwest corner and appears to have served as a garage.

In 1895, Nic Wilson purchased this property from Mr. Ernst Alten and erected the subject structure, naming it the Commercial House Hotel. The opening took place on November 16th and 17th of that year, and it was said that it was a grand affair, with "the lagar (sic) flowing freely and a lunch served that was elegant." Wilson also ran the grain elevator that was located to the west, along the railroad line. Wilson sold the hotel to Alvin Riemer, who continued to run the establishment under the same name. Riemer then sold to William Heusler, who in turn, sold it to William Stevens. The building continuously served as a tavern into the 1970s, at which time it functioned as Moy's China Dragon Restaurant. After serving for a short time as a Mexican restaurant, the building is now serving Chinese food again, now under the name of Canton Garden.²

101 N. Main Street
Oscar Bublitz Grocery Store
1920

This two-story, Craftsman-influenced building rises from a poured concrete foundation, features iron beam construction and is faced with brick. The hipped roof features wide, overhanging and slightly flared eaves, as well as a pair of hip-roofed dormers along the south façade. The structure's primary entrance is canted and is located at the southeast corner of N. Main Street and W. Buntrock Avenue. A modern glass door provides entry to the structure, while a carved wooden bracket accents the entry beneath the line of the second floor. A second,

² Newsbriefs (re: Commercial Hotel), *Cedarburg News*, 29 August, 6 and 20 November 1895; *Wisconsin State Gazetteer and Business Directory* (Chicago: R.L. Polk & Co., 1895); Gretchen Mohr, ed., *History of Thiensville* (Cedarburg, WI: News Graphic, Inc., 1976), 11.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section 7 Page 3

Main Street Historic District
Thiensville, Ozaukee County, WI

this time recessed, entrance is located near the north end of the structure, along the east façade. Modern, plate-glass display windows are located between the two doorways, as well as along a portion of the south elevation. A wooden cornice divides the first floor from the second at the southeast corner. The remainder of the first level is comprised of randomly placed six-over-one light sashes with concrete sills. The second floor features a pair of bay window projections (one each to the south and east) that are sheathed with board siding; a pair of carved brackets accents the south projection. Windows along the second level are arranged singly and variously grouped and consist largely of eight-over-one-light sashes. An open porch with a carved, wooden balustrade is located at the southwest corner of the upper floor.

This building was built in 1920 as a grocery store for Oscar Bublitz, who was a leading businessman in Thiensville (see Section 8, Page 4 for a thorough discussion of Oscar Bublitz and the Bublitz family). The cost of the building was just over \$22,500 and it was built with what were considered modern techniques and conveniences including a poured concrete foundation, iron-beam construction, as well as a central vacuum system in the second floor quarters. Bublitz retired in 1955 and died the following year. Sometime thereafter, the structure was purchased by current owner, Schmit Ford-Mercury and is now used as an office and storage.³

107 W. Buntrock Avenue
Ervin Reimer Residence
1915

Rising two stories, this American Foursquare home is completely sheathed with orange-tone brick and is topped with a steeply pitched, hipped roof. A single, hipped-roof dormer with wooden shingle sheathing rises from the north plane of the roof and carries a pair of three-over-one-light, double-hung sashes. Oriented to the north, the primary façade features an enclosed, hipped-roof porch with three-over-one-light windows and a central doorway that consists of sidelights and a solid wooden door with a pointed-arch window near the center. A semi-circular overhang (dating from a later remodeling) extends over the entrance. The second floor carries a tripartite window arrangement, as well as a single sash opening. The east elevation features a side entrance with a small overhang, as well as a nearly central bay projection that is also topped with a small overhang. Windows along this elevation are arranged in pairs, tripartite and quad groupings. A large, lighted sign hangs over the side entrance and reads, "The Leather Strop."

This house was built circa 1915 by Ervin Reimer. Reimer was the son of Alvin Reimer who had run the neighboring Commercial House Hotel at 105 S. Main Street by no later than 1919 to at least 1927. Ervin followed in his father's footsteps and, by no later than 1935, he purchased the tavern formerly known as the Thiensville Recreation Parlor, located at 128-130 S. Main Street. Reimer re-named the business Reimer's Recreation Tavern and Bowling Alleys. Returning to the subject structure, alterations were made to the interior of the Reimer home in 1949 for its conversion for funeral home use—then owned by Ervin Reimer and Peter

³ Bublitz Family, Genealogical and biographical information; Tax Rolls, Village of Thiensville, 1911-1965, On file at the Ozaukee County Courthouse, Port Washington, WI.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section 7 Page 4

Main Street Historic District
Thiensville, Ozaukee County, WI

Hatzinger. The structure continues to be used for commercial purposes and is known as The Leather Strop.⁴

128-130 S. Main Street
Thiensville Recreation Parlor
1927

This one-story structure rises from a concrete foundation and is sheathed with common brick along three elevations, while the primary (west) façade features face brick. The central, recessed entrance is accessed via four concrete stairs and is covered by a large, rectilinear overhang with modest detailing. A single plate-glass window is located to either side of the entry and is accented by stone quoining and topped with a solid stone lintel. The space above each window displays a brickwork rectangle comprised of soldier brick and is accented at each corner by a square stone. The curvilinear shaped parapet is topped with stone coping; the central portion of which features an incised stone letter "G." The area immediately beneath features a circular stone inset incised with the date "1927." Windows along the remainder of the structure are variously grouped and consist of double-hung sashes.

As the incised datestone indicates, this building was constructed in 1927. Indeed, an announcement notes the bar and bowling alley's opening date as 14 May 1927. Paul Gruenwald was the owner/proprietor of what was then known as the Thiensville Recreation Parlor, while Elmer Hensel served as the manager. By no later than 1935, the business was purchased by Ervin Riemer. Although the structure has changed hands over the years, it continues to serve as a tavern today, known as Remington's River Inn.⁵

101 Green Bay Road
Thiensville Village Hall and Fire Department
1914

Sheathed with cream city brick, the former Thiensville Village Hall and Fire Station is located at the northeast corner of N. Main Street and Green Bay Road. The structure is dominated by a 60-foot, brick hose tower that is topped with a wooden, open belfry; a single wooden door topped with a transom provides access on the first level. The primary (west) façade features a paneled, wood-and-glass, overhead door, while the second floor carries a central paired grouping and a single opening to either side. Windows are one-over-one-light sashes that are underscored by a concrete sill and topped with a double row of header brick set in a segmental arch. A stone inset trimmed with brick reads "THIENSVILLE VILLAGE HALL & F.D." is located directly beneath the stepped parapet roofline. Although currently vacant, the first floor consists of a garage area, a restroom, as well as a jail, while the upper level is divided into office spaces.

⁴ Tax assessor's records, Village of Thiensville, Available at the Thiensville Municipal Center; Mohr, ed., *History of Thiensville*, 11; *Wisconsin State Gazetteer and Business Directory* [1919-1920], 1182; [1927-1928], 982; Newspaper clippings, Thiensville Memorabilia Album, Located at the Mequon Historical Society, Mequon, WI.

⁵Thiensville Memorabilia Album.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section 7 Page 5

Main Street Historic District
Thiensville, Ozaukee County, WI

The Thiensville Village Hall and Fire Department building was designed by Milwaukee architect Byron S. Scheiderer and erected by Cedarburg builder John Vollmar in 1914. In 1913, the Fire Engine Company donated land for a village hall and contributed \$1,000 to help with the cost of construction. By June 1914, excavations had begun; the cornerstone was laid in August. A number of card parties were held that fall by the Ladies Cinch Club, with proceeds going to the new fire station. The structure was noted as nearing completion in October and in January 1915 the fire bell was installed. That same month, the annual meeting of the Fire Engine Co. was held in the new fire station. The building was utilized until the completion of the new municipal center at 250 Elm Street in 1974.⁶

106-108 S. Main Street
Otto Bublitz Investment Property/L.F. Bartelt Co.
1913

This two-story, gabled, frame building rises from a concrete foundation and the walls are sheathed with clapboard. The primary (west) façade features a recessed entrance to the north, which consists of two wood-and-glass doors, each of which is topped with a transom. The remainder of the west elevation features display windows, all topped with prism glass transoms. The second floor carries a central pair of replacement, double-hung sashes that are flanked by a single sash to either side. Finally, the peak displays a Palladian window grouping. A pent entry overhang shelters the doorway along the north side of the building, while a new, two-story open porch runs along the south elevation. Sash windows are irregularly placed throughout the remainder of the structure. The interior consists of two commercial spaces on the first floor, while the upper level contains two apartments. A historic photograph indicates that this building originally featured a false parapet front; however, at some point it was removed.

Also included on the property is a five-stall garage structure that is sheathed with shiplap siding and topped with a gambrel roof. A single wooden door is situated at the north end of the west façade and a single window rests to the south, immediately adjacent to the five stalls. A wall dormer is located over stalls one and two and carries a sash window. A brick chimney rises from the roof. This structure was used to house the hearse for the funeral home. This structure is a contributing element in the district.

The subject structure was built as an investment property by Otto Bublitz in 1913. The building's first tenant was the L.F. Bartelt Co., a furniture and undertaking business. Otto's brother Walter joined Bartelt and his then partner Walter Kirmsse. That partnership eventually dissolved and Bartelt joined a funeral business in Milwaukee and the firm name was changed to Walter A. Bublitz, Inc. Walter remained in the funeral home business until retirement in circa 1941, when he turned the business over to his son-in-law Peter Hatzinger. The funeral home business eventually moved to 107 W. Buntrock in 1949, however, the subject building remained

⁶ *Cedarburg News* (re: fire station/village hall construction), 24 June, 12 August, 2 September, 7 October, 14 October, 28 October 1914 and 7 January 1915; Mohr, ed., *History of Thiensville*, 56.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section 7 Page 6

Main Street Historic District
Thiensville, Ozaukee County, WI

in Otto Bublitz's possession until 1955 (See Section 8, Page 4 for a thorough discussion of the Bublitz Family).⁷

121-123 S. Main Street
John Bublitz & Son General Store
1896

This two-and-one-half story, front-gabled building rises from a fieldstone foundation and is sheathed with narrow wood siding, except for the gabled peak which features decorative shinglework. Oriented to the east, the first floor features a recessed entrance flanked by storefront windows, while a secondary entrance is situated at the north end of the east façade. A cloth awning shelters the entry. The second floor carries two windows consisting of four, multiple-light casement openings each. An historic photograph of this building indicates that the two original window openings featured a larger central window (possibly with a stained- or leaded-glass upper pane) and flanking sashes. The peak of the primary elevation carries a rectangular Palladian motif window consisting of multiple-light panes. The primary feature along the south façade is a projecting, second-story, gabled wall dormer with carved wooden bracket detailing. The replacement windows throughout the remainder of the building are arranged singly and in pairs and consist of multiple-light panes. A gabled garage addition extends from the rear of the structure.

This building was constructed as a grocery store by local carpenter Fred Linden for John Bublitz in 1896 (see Section 8, Page 4 for a thorough discussion of John Bublitz and the Bublitz Family). The store operated as J. Bublitz & Son, General Store until circa 1910 when John retired and his two sons Oscar and Otto renamed the concern Bublitz Bros., General Merchants. Four years after Oscar purchased Otto's interest in the store in 1916, Oscar built a new grocery store at 101 N. Main Street and the subject structure was sold to Harry Mollier, who maintained the building as a grocery store for many years.⁸

127 S. Main Street
Walter Bublitz Residence
1920

This simple, two-story, Craftsman-influenced residence rises from a rusticated concrete block foundation and is sheathed with asbestos shingle (or slate) siding. The primary, clipped-gable elevation faces east and the first floor features a series of four sash windows, as well as an entrance—all of which is trimmed with board-and-batten siding. The small, open and gabled porch features flared supports and a closed railing, both of which are

⁷ The subject building is noted as "from plans" on a 1913 fire insurance map, Sanborn Map Company, *Sanborn Fire Insurance Maps—Thiensville, Wis.* (New York: Sanborn Map Company, 1913); Thiensville Memorabilia Album; Ruth Hatzinger, Longtime Thiensville Resident and daughter of Walter Bublitz, Conversation with Traci E. Schnell, 2 June 2003.

⁸ Mohr, ed., *History of Thiensville*, 4-5; *Wisconsin State Gazetteer and Business Directory* [1909-1910], 1237; [1919-1920], 1182; Bublitz Family, Genealogical and biographical information, In possession of Dawn Holyoke, great-granddaughter of Otto Bublitz, Thiensville, WI.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section 7 Page 7

Main Street Historic District
Thiensville, Ozaukee County, WI

covered with board-and-batten sheathing. The upper level carries a paired grouping of one-over-one-light sashes at the center while a single square opening is located to either side. The north elevation features a rectangular bay projection with a shed roof and a tripartite grouping of windows. A pair of sashes are located to the west of the bay, while a pair of smaller openings rest within the clipped-gable wall dormer along the second floor.

This residence was erected by Walter Bublitz in 1920 (see Section 8, Page 4 for a thorough discussion of Walter Bublitz and the Bublitz Family). In 1920, Walter and his wife Josephine (Steffen) and daughter Ruth moved into the subject residence. After just three years, they sold the house to the L.F. Bartelt and then moved into the quarters above the funeral home located at 106-108 S. Main Street.⁹

BUILDING INVENTORY

<u>Address</u>	<u>Name</u>	<u>Style</u>	<u>Date of Construction</u>	<u>Status</u>
107 W. Buntrock Avenue	Ervin Reimer Residence	American Foursquare	1915 ¹⁰	C
101 Green Bay Road	Thiensville Village Hall and Fire Department	20 th C Commercial	1914 ¹¹	C
101 N. Main Street	Oscar Bublitz Grocery Store	Craftsman	1920 ¹²	C
105 S. Main Street	Commercial House Hotel	Queen Anne	1895 ¹³	C

⁹ Mohr, ed., *History of Thiensville*, 4-5; Newsbrief (re: firm name change) *Cedarburg News*, 18 January 1928; Bublitz family, Geneological and biographical information; Abstract of title for 127 S. Main Street, In possession of current owner Madaline Reddy, Thiensville, WI; Ruth Hatzinger, Daughter of Walter Bublitz, Conversation with Traci E. Schnell, 2 June 2003.

¹⁰ Tax assessor's records.

¹¹ Newsbrief (re: fire station/village hall construction), 24 June 1914, 28 October 1914.

¹² Tax Rolls, Village of Thiensville, 1911-1965.

¹³ Newsbrief (re: Commercial House Hotel), 29 August, 6 and 20 November 1895.

Wisconsin Word Processing Format (Approved 1/92)

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section 7 Page 8

Main Street Historic District
Thiensville, Ozaukee County, WI

106-108 S. Main Street	Otto Bublitz Investment Property	Queen Anne Commercial	1913 ¹⁴	C
	Garage/Carriage House	Astylistic Utilitarian	Ca. 1915 ¹⁵	C
116-122 S. Main Street	Maas-Bublitz Residence	Queen Anne	1898 ¹⁶	C
121-123 S. Main Street	John Bublitz & Son General Store	Queen Anne Commercial	1896 ¹⁷	C
127 S. Main Street	Walter Bublitz Residence	Craftsman vernacular	1920 ¹⁸	C
128-130 S. Main Street	Thiensville Recreation Parlor	20 th C. commercial	1927 ¹⁹	C

¹⁴ Sanborn Map Company, *Sanborn Fire Insurance Maps—Thiensville, Wis.*

¹⁵ Ibid.; Observation.

¹⁶ "Duwe-Maas Family History."

¹⁷ Mohr, ed., *History of Thiensville*, 4.

¹⁸ Abstract of Title for 127 S. Main Street.

¹⁹ Thiensville Memorabilia Album; Datestone on building reads "1927."

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Continuation Sheet**

Section 8 Page 1 Main Street Historic District
Thiensville, Ozaukee County, WI

SIGNIFICANCE

The Main Street Historic District is nominated for the National Register of Historic Places under Criterion A in the area of commerce. Regarding Criterion A, this grouping of buildings stands as the principal commercial center of the Village of Thiensville. The buildings date from 1895 to 1927. The district is representative of small commercial districts throughout the state with its combination of business and residential buildings. The period of significance begins with the construction of the first building in the district in 1895 and ends in 1954, the end of the historic period. The district is nominated at the local level.

HISTORICAL BACKGROUND

The Village of Thiensville is situated in the historic Town of Mequon in southern Ozaukee County. The community primarily is on the west bank of the Milwaukee River, a region that was historically filled with oak, maple, beechwood and birch forests, and was transformed over time into a rich agricultural area.²⁰

The first inhabitants of what would become the Village of Thiensville were Indians who had a small village at the confluence of the Milwaukee River and Pigeon Creek. The area was inhabited by the Sac, Fox, Pottawatomie, and Menomonee tribes, who were drawn to the area's rich sources of game and fish, as well as the close proximity of Lake Michigan. In 1831, the first of a series of treaties began to turn the area over to white settlement and the process was completed in 1838 when the Indians had completely turned over their land rights.²¹

Beginning in 1832, the federal government surveyed the Green Bay Road from Milwaukee to Fort Howard (Green Bay) and it was completed through the Town of Mequon between 1836 and 1839. Within the town, the crude trail primarily ran along the Milwaukee River. Also during this period, the federal government surveyed the Town of Mequon. Between 1834 and 1836, the area was surveyed by John Weston and a Mr. Brink and Mr. Follett. The first known settlement occurred in the mid 1830s when a small group of settlers set up a cluster of shanties where Pigeon Creek joined the Milwaukee River. Soon thereafter, John Weston purchased the quarter section of land that would eventually become the Village of Thiensville. By 1840, Weston was the area's postmaster and operated out of his log cabin.²²

During this period, Peter Turck set up a sawmill along the Milwaukee River; however, it was a later mill that

²⁰Walter D. Corrigan, Sr., *History of the Town of Mequon, Ozaukee County, Wisconsin* (Cedarburg, WI: Cedarburg News Print, n.d.), 7.

²¹Corrigan, Sr., *History of the Town of Mequon*, 7.

²²Corrigan, Sr., *History of the Town of Mequon*, 8; Mohr, ed., *History of Thiensville*, 2.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section 8 Page 2 Main Street Historic District
Thiensville, Ozaukee County, WI

served as the catalyst for the formation of the Village of Thiensville. In 1842, John Henry Thien purchased Weston's land. Thien had emigrated from the Saxony region of Germany to Milwaukee the previous year. Soon after purchasing Weston's property, Thien constructed a substantial two-and-half-story, stone flour mill to provide for the township's growing farming population. The settlement that emerged took the name of Thiensville although the local post office was known as Mequon River for many years.²³

In 1871, the Wisconsin Central Railway completed a line to Thiensville and the community continued its evolution as an agricultural support center that supported the farmers of the Town of Mequon. Farmers utilized the rail line to ship wheat, flour and other farm produce. Economic life continued to revolve around Thien's mill, which was replaced in 1876 with a five-story, stone structure after a fire destroyed the original facility in 1874. By 1879, the settlement had a population of 150 and was served by a three general stores, a pair of hotels, saloons and shoemakers. Other businesses included Thien's flour mill, an agricultural implement maker, brewer, harnessmaker, physician, blacksmith, tinsmith, as well as a lumberyard. Many of these businesses emerged at locations along Main Street and Green Bay Avenue and formed the community's commercial center.²⁴

At the turn of the century, Thiensville remained a tight-knit cluster of residences and businesses located near the Milwaukee River. During this period, the community's population hovered between 250 and 300 people and the economy had diversified since the 1870s. In addition to the previously mentioned enterprises, Thiensville had become home to several meat markets, carpentry shops and wagonmakers. A barber, real estate agent and undertaker had also opened up business. And finally, local farmers benefited from the opening of a grain elevator. In 1907, The Milwaukee Northern Railway completed an electric interurban line from Milwaukee to Port Washington through Thiensville. This would later become a line within The Milwaukee Electric Railway & Light Company system. The initial stages of suburbanization were the result as Milwaukee commuters began to take up residence in Thiensville, as well as the surrounding Town of Mequon. However, in the early days of the interurban, the line brought many weekend vacationers from Milwaukee to Thiensville to enjoy recreational activities offered by the Milwaukee River and surrounding tracts of woods. Many of these vacationers stayed at Thiensville's local hotels or constructed summer cottages.²⁵

By 1910, the local economy had evolved to a point that a bank was needed. As a result, John F. Nieman, Otto Publitz and D.M. Rosenheimer founded the Thiensville State Bank, which soon after opening had deposits in

²³Mohr, ed., *History of Thiensville*, 14, 16-18, 54.

²⁴*History of the Town of Mequon*, 23; *Wisconsin State Gazetteer and Business Directory*, 1879 (Milwaukee: William Hogg, 1879), 485.

²⁵Mohr, ed., *History of Thiensville*, 4-9, 36, 134; *Wisconsin State Gazetteer and Business Directory* [1895-1896], 1023; [1903-1904], 1150; Joseph M. Canfield, *TM: The Milwaukee Electric Railway & Light Company* (Chicago: Gregg-Moore Lithographic Company, 1972), 294-300.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section 8 Page 3 Main Street Historic District
Thiensville, Ozaukee County, WI

excess of \$12,000. Other businesses in the community reflected the village's role as a thriving agricultural support center and included five saloons, four hotels, blacksmiths and general stores, three agricultural implement dealers, meat markets and carpenters as well as a pair of harness makers and physicians. Thiensville also enjoyed the services of the Thiensville Flour Mill, a lumberyard, shoemaker, hardware store, wagonmaker and barber.²⁶

On 23 July 1910, five local citizens--Reinhold Gerlach, Louis Kieker, Otto Bublitz, P.J. Kroehnke, and John E. Mueller--filed a petition for incorporating Thiensville as a village. The proposed incorporation boundary included 599 acres and 289 people. On 11 October 1910, the election was held at Holnagel's Hall and the residents voted 48 to 28 in favor of incorporation. The election of officials occurred on 29 November and John F. Gierach was elected as the village's first president. In 1913, the Thiensville Fire Department donated \$1,000 and a plot of land at the prominent corner of Green Bay Road and Main Street for the construction of a village hall and fire building. In 1920, Thiensville's population was recorded at 334.²⁷

After World War I, the village experience one of its fastest periods of growth by growing nearly 35 percent in a seven-year period. In 1927, Thiensville's population numbered 405. The community's business climate had changed somewhat with the addition of an automobile garage, concrete company and ice cream parlor. Also, due to Prohibition, two soft drink merchants replaced the several saloons that had once operated. Other significant events in Thiensville during the 1920s were the creation of its first park when the Thiensville Athletic Association purchased a fourteen-acre tract adjacent to the Milwaukee River. The other major occurrence was the emergence of the village's largest industry--the Gilbert Shoe Company--which operated out of a former school building between 1926 and 1978.²⁸

After World War II, suburbanization of Thiensville escalated rapidly after the village installed sanitary sewer lines and a sewage treatment plant in 1946. The immediate result was the platting of a number of subdivisions in the late 1940s and early 1950s. Also during this time, the surrounding Town of Mequon experienced tremendous suburbanization and incorporated as a city in 1957, an action that permanently fixed Thiensville's municipal boundaries. As a result of suburbanization, Thiensville gradually lost many of its farm-related businesses. In fact, the historic flour mill complex was torn down in 1956. In 1970, the village's population had reached 3,182, while the City of Mequon numbered over 12,000. In order to meet the demands of this growing population, many municipal services were initiated or expanded and a new village hall was constructed in 1974. During this entire period, Thiensville has evolved from a quiet village focused on supporting local

²⁶Mohr, ed., *History of Thiensville*, 82; *Wisconsin State Gazetteer and Business Directory* [1909-1910], 1237.

²⁷Mohr, ed., *History of Thiensville*, 72-74; *State of Wisconsin Bluebook*, 1929 (Madison, WI: State of Wisconsin, 1929), 634.

²⁸*Wisconsin State Gazetteer and Business Directory* [1927-1928], 982; Mohr, ed., *History of Thiensville*, 100-06.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section 8 Page 4 Main Street Historic District
Thiensville, Ozaukee County, WI
agriculture to a thriving, rapidly growing suburban community.²⁹

Bublitz Family

Between the mid-1890s and the 1920s, the Bublitz family was instrumental in bolstering the commercial growth of the village. The patriarch of the family was John Bublitz. Born in 1851, Bublitz was the son of Carl and Louise (Voelz) Bublitz. In 1875, John married Juliana Bruss and together they had seven children. John first worked at the family-owned, steam-powered sawmill, as well as ran a farm where he bred fine cattle. In 1896, he opened a grocery store along with his son Otto and it was known as J. Bublitz & Son, General Store, located at 121-123 S. Main Street. In circa 1910, John retired and son Oscar joined the business with brother Otto and the venture was known as Bublitz Bros., General Merchants. Four years after Oscar purchased Otto's interest in the store in 1916, Oscar built a new grocery store at 101 N. Main Street.³⁰

John and Juliana's eldest son Otto was born in 1876. Otto reportedly left the family farm at the age of seventeen and went to work at Thiernann's Store in Thiensville. After attending Milwaukee Business College, Otto came back to Thiensville and, in 1896, went into the grocery business with his father at 121-123 S. Main Street. In 1900, Otto married Helen (Ella) Kieker and together they had two children, Roy and Mabel. After Helen died, Otto married Ida Fishback. In 1907, Otto purchased the Queen Anne style residence at 116-122 S. Main Street from the August Maas family, the house of which remained in the Bublitz family until 1989. Otto was one of the three men that were instrumental in the 1910 establishment of the Thiensville State Bank and he was on its board of directors for forty-six years. Also in 1910, he was one of five men to petition for the incorporation of the Village of Thiensville and was the census enumerator that year. In 1913, Otto built the commercial structure at 106-108 S. Main Street as an investment property; he retained ownership of the building until circa 1955. In 1916, Otto sold his interest in the firm of Bublitz Bros., General Merchants, to his brother Oscar. Otto was also involved in real estate and was one of the investors of the Thiensville Realty Company. The business purchased the Ellenbecker, Alten and Kopp farms and either sold off the empty parcels or built homes on it and then subsequently sold the land. At one point, Otto also served as the Supervisor of the Village Board, the treasurer of the School Board, as well as the first engineer of the Thiensville Fire Department.³¹

Oscar Bublitz was born in 1882, the fourth child of John and Juliana (Bruss) Bublitz. Initially, Oscar worked in the family's general store--Bublitz & Son--on 121-123 S. Main Street; however, he went on to attend Concordia College and then worked at Stienmeyer's, a large dry goods store in Milwaukee. After his father retired in circa 1910, Oscar joined his brother Otto in the grocery business and it was renamed Bublitz Bros., General Merchants. In 1916, Oscar purchased brother Otto's interest in the store and built a new grocery store structure

²⁹ Mohr, ed., *History of Thiensville*, 22, 77-81; *State of Wisconsin Bluebook, 1971* (Madison, WI: State of Wisconsin, 1971), 218.

³⁰ Mohr, ed., *History of Thiensville*, 4-5; *Wisconsin State Gazetteer and Business Directory* [1909-1910], 1237; [1919-1920], 1182; Bublitz Family, Genealogical and biographical information.

³¹ Mohr, ed., *History of Thiensville*, 4-5, 72, 82; Bublitz family, genealogical and biographical information.

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Continuation Sheet**

Section 8 Page 5 Main Street Historic District
Thiensville, Ozaukee County, WI

in 1920 at 101 N. Main Street. In addition to his business concerns, Oscar also held the position of Village Treasurer at one point. He retired in 1955 and died the following year.

Finally, John and Juliana's youngest son Walter was born in 1889. He attended grade school in Thiensville and high school in Cedarburg. After attending Marquette's School of Engineering, and becoming a licensed electrical engineer, Walter worked for the Filter Manufacturing Plant in Milwaukee. While laid off from the job, he learned the barber trade. He then bought into the local furniture and undertaking business which was run by L.F. Bartelt & Walter Kirmsse and operated out of his brother Otto's investment property at 106-108 S. Main Street. He then learned the furniture business and became a licensed embalmer and funeral director. In 1920, Walter and his wife Josephine (Steffen) and daughter Ruth moved into a residence at 127 S. Main Street. After just three years, they sold the house to the Bartelts and then moved into the quarters above the funeral home at 106-108 S. Main Street. In January 1928, Bartelt left the firm and joined a funeral business in Milwaukee and the firm name was changed to Walter A. Bublitz, Inc. Walter and his family remained in the upper quarters of the funeral home until building a home on Riverview Drive, also in Thiensville, in 1940. Bublitz died just three years later.³²

ARCHITECTURE

The district's buildings exhibit a variety of architectural styles, as well as vernacular structures that retain a fair degree of integrity. The earliest buildings in the Main Street Historic District, those which date prior to 1900, are either representatives of, or show characteristics of, the Queen Anne style of architecture. The Queen Anne style was popular (in Wisconsin) from 1880 to 1910. Queen Anne was a late-Victorian era building style that is characterized by an irregular plan which is often evident through asymmetrical walls. A combination of various building materials ranging from shingles, clapboard and brick may be used on one structure, while typical details (on residential buildings) include large porches or verandas, turrets, bay windows and decorative patterns such as fish-scale and diamond shingles. Leaded or stained glass windows are often present.

The best example of a Queen Anne residence in the Village of Thiensville is the 1898 Maas-Bublitz home at 116-122 S. Main Street. This house features original clapboard siding, decorative shinglework, cutaway corners, carved wooden brackets and a significantly large, wraparound porch with turned post supports and a spindlework frieze. A commercial example of the Queen Anne style is the Commercial House Hotel, which was built in 1895 and is located at 105 S. Main Street. The structure's corner tower, shinglework, as well as partial clapboard siding still evoke the building's original styling despite the alterations to the first floor windows and sheathing, as well as the loss of the corner tower's roof.

Also influenced by the Queen Anne style are two similar commercial buildings. The first is the John Bublitz & Son General Store at 121-123 S. Main Street. Built in 1896 by local carpenter Fred Linden, the subject store

³² Mohr, ed., *History of Thiensville*, 4-5; Newsbrief (re: firm name change) *Cedarburg News*, 18 January 1928; Bublitz family, Genealogical and biographical information; Abstract of title for 127 S. Main Street; Hatzinger, Conversation with Schnell.

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Continuation Sheet**

Section 8 Page 6 Main Street Historic District
Thiensville, Ozaukee County, WI

features decorative shinglework within its upper half-story. The two-story building at 106-108 S. Main Street is a simple front-gabled building with a typical commercial storefront built in 1913 as an investment property. A Palladian window in the peak adds a degree of stylistic interest to the structure. Of note, however, is that the structure's original false parapet (or Boomtown) front has removed within the previous decade.

A pair of Craftsman-influenced buildings is located at 107 W. Buntrock Avenue and 101 N. Main Street which were built in 1915 and 1920, respectively. The Craftsman style of architecture was popular (in Wisconsin) from 1900 to 1920. The style derived from the English Arts & Crafts movement of the nineteenth century; the tenet of which was to counter the era of industrialization and to concentrate on the tradition of craftsmanship. Typical elements of the Craftsman style included broad gable or hipped roofs, dormers, decorative brackets or exposed rafters/rafter tails and prominent chimneys. The brick Ervin Riemer Residence, located at 107 W. Buntrock Avenue features a broad hipped roof, overhanging eaves with exposed rafters, as well as a front-facing roof dormer. A second, commercial example of the style is the Oscar Bublitz General Store, which is situated across the street from the Riemer home. Also sheathed with brick, this structure also exhibits a broad, hipped roof, a pair of hipped roof dormers, wooden bracket trim, as well as slightly flared and overhanging eaves. In addition, the Walter Bublitz Residence which was built in 1920 and is located at 127 S. Main Street features flared porch supports and a clipped gable roof—element of which are associated with the Craftsman style; however, the modern siding has likely covered any of the home's additional, original detailing.

An excellent example of an intact, twentieth century commercial building is the former Thiensville Recreation Parlor that is sited at 128-130 S. Main Street. The primary façade features a recessed entrance that is flanked to either side by a plate-glass display window. Each window is trimmed with stone (or cast concrete) blocks, while the entrance is sheltered by a flat, rectangular awning with Art Deco-inspired trim. The structure is topped with a shaped parapet that displays the initial of the building's first owner.

The most prominent and intact building of the historic district is the 1914 Thiensville Village Hall and Fire Department building at 101 Green Bay Road. Constructed of cream brick, this building is a utilitarian structure that is dominated by its 60-foot hose tower which has Prairie style tendencies in its design. Windows are simple sashes set within unadorned segmental-arch openings.

CONCLUSION:

The Main Street Historic District is nominated for the National Register of Historic Places under Criterion A in the area of commerce. This grouping of buildings stands as the principal commercial center of the Village of Thiensville with resources constructed between 1895 to 1927. This district represents the most intact collection of historic commercial buildings within the village of Thiensville. In the historic period these buildings housed local businesses, including stores, a hotel and a recreation parlor. The district also contains the historic village hall and fire station and several residential properties. Because of its proximity to the commercial core, one of the residences (at 107 W. Buntrock) was converted to use as a funeral parlor within the historic period.

Wisconsin Word Processing Format (Approved 1/92)

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section 8 Page 7 Main Street Historic District
Thiensville, Ozaukee County, WI

Preservation Activities: The community sponsored a professional survey and have acted on the findings by listing this district on the National Register of Historic Places.

Archaeological Potential: There is no visible evidence of either historic or prehistoric sites nor are there any reports on file with the Wisconsin Historical Society. However, there is no known systematic or detailed study of the district and therefore it is possible there were archaeological remains.

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Continuation Sheet**

Section 9 Page 1 Main Street Historic District
Thiensville, Ozaukee County, WI

BIBLIOGRAPHICAL REFERENCES

1910 census information. Handwritten in minutes of the Village of Thiensville. On file at the Thiensville Municipal Center, Thiensville, WI.

Abstract of Title for 127 S. Main Street. In possession of current owner Madaline Reddy, Thiensville, WI.

Bublitz Family, Genealogical and biographical information. In possession of Dawn Holyoke, great-granddaughter of Otto Bublitz, Thiensville, WI.

Canfield, Joseph M. TM: The Milwaukee Electric Railway & Light Company. Chicago: Gregg-Moore Lithographic Company, 1972).

Cedarburg News, 1890-1928. Various newsbriefs cited. See individual footnotes for specific citations.

Corrigan, Walter Sr. *History of the Town of Mequon, Ozaukee County, Wisconsin.* Cedarburg, WI: Cedarburg News Print, n.d.

"Duwe-Maas Family History." Typed manuscript by Harvey Maas, dated 1991. On file at the Mequon Historical Society, Mequon, WI.

Hatzinger, Ruth. Longtime Thiensville resident and daughter of Walter Bublitz. Conversation with Traci E. Schnell, 2 June 2003.

Historic postcard view (Maas-Bublitz Residence), dated 1913. In possession of Dawn Holyoke, Great granddaughter of Otto Bublitz, Thiensville, WI.

Mequon Historical Society, Mequon, WI. Thiensville Photo Albums #1-3 with index card file and Thiensville Memorabilia Album. See individual footnotes for specific citations.

Mohr, Gretchen, ed. *History of Thiensville.* Cedarburg, WI: News Graphic, Inc., 1976.

Montaine, Tom. Current owner of 106-108 and 116-122 S. Main Street. Conversation with Traci E. Schnell, May 2003. Notes on file at Heritage Research Ltd., Menomonee Falls, WI.

Sanborn Map Company. *Sanborn Fire Insurance Maps—Thiensville, Wis.* New York: Sanborn Map Company, 1893, 1900, 1913, 1929.

State of Wisconsin Blue Book, 1929. Madison, WI: State of Wisconsin, 1929.

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Continuation Sheet**

Section 9 Page 2 Main Street Historic District
Thiensville, Ozaukee County, WI

State of Wisconsin Blue Book, 1971. Madison, WI: State of Wisconsin, 1971.

Tax Assessor's Records. Village of Thiensville. Available at the Thiensville Municipal Center, Thiensville, WI.

Tax Rolls. Town of Mequon, 1849-1910. Located at the Mequon Historical Society, Mequon, WI.

Tax Rolls. Village of Thiensville, 1911-1965. Located at the Ozaukee County Courthouse, Port Washington, WI.

Wisconsin State Gazetteer and Business Directory (1876-1927). Various issues referenced, featuring different titles and publishers. See individual footnotes for specific citations.

Wyatt, Barbara, Ed. *Cultural Resource Management in Wisconsin.* Madison: State Historical Society of Wisconsin, 1986.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section 10 Page 1

Main Street Historic District
Thiensville, Ozaukee County, WI

GEOGRAPHICAL INFORMATION

Boundary Description:

The boundary of the Main Street Historic District is as follows: Beginning at the northwest corner of 101 N. Main Street (Point A), the line travels south along the west lot line of 101 N. Main Street (B), then turns east along the curb line corresponding to the property's southern lot line (C), then turns south and crosses W. Buntrock Avenue to join the west lot line of 107 W. Buntrock Avenue (D), then travels west along the north lot line of 121-123 S. Main Street (E), then moves south along the west lot lines of 121-123 and 127 S. Main Street (F), then extends east along the south lot line of 127 Main and across S. Main Street (G), then turns south along the west property line of 128-130 S. Main Street (H), then turns south and coincides with the south lot line of 128-130 S. Main Street (I), then travels northerly along the east lot lines of 128-130, 116-122 and 106-108 S. Main Street before extending across Green Bay Road (J), then moves northeast along the curb line corresponding to the southeast lot line of 101 Green Bay Road (K), then turns west along the north lot line of 101 Green Bay Road before extending across N. Main Street (L), then travels north along the curb line corresponding to the east lot line of 101 N. Main Street (M), then turns west along the north property line of 101 N. Main Street to the point of beginning (A).

Boundary Justification

The boundary was drawn to enclose the best concentration of historic residential and commercial architecture in the village's historic commercial core that make up the historic streetscapes with the fewest intrusions and non-contributing elements. The boundary was drawn in all directions to exclude altered, non-contributing buildings.

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Continuation Sheet**

Section photos Page 1 Main Street Historic District
Thiensville, Ozaukee County, WI

MAIN STREET HISTORIC DISTRICT, Thiensville, Ozaukee County, Wisconsin. Photos by Traci E. Schnell, June 2003. Negatives on file in the Historic Preservation Division of the Wisconsin Historical Society, Madison, Wisconsin.

MAIN STREET HISTORIC DISTRICT

View of the intersection of Main Street and Green Bay Road
Thiensville, Ozaukee County, WI
View to West
Photo #1 of 9

MAIN STREET HISTORIC DISTRICT

View of the intersection of Main Street and Green Bay Road
Thiensville, Ozaukee County, WI
View to North
Photo #2 of 9

MAIN STREET HISTORIC DISTRICT

Oscar Bublitz General Store/101 N. Main Street (right) and Commercial House Hotel/105 S. Main Street (left)
Thiensville, Ozaukee County, WI
View to Northwest
Photo #3 of 9

MAIN STREET HISTORIC DISTRICT

Thiensville Village Hall and Fire Department Building/101 Green Bay Road
Thiensville, Ozaukee County, WI
View to East Northeast
Photo #4 of 9

MAIN STREET HISTORIC DISTRICT

Otto Bublitz Investment Property/L.F. Bartelt Furniture and Undertaking/106-108 S. Main Street (left) and
Maas-Bublitz Residence/116-122 S. Main Street (right)
Thiensville, Ozaukee County, WI
View to Southeast
Photo #5 of 9

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Continuation Sheet**

Section photos Page 2 Main Street Historic District
Thiensville, Ozaukee County, WI

MAIN STREET HISTORIC DISTRICT

Garage at rear of the Otto Bublitz Investment Property/L.F. Bartelt Furniture and Undertaking/106-108 S. Main Street

Thiensville, Ozaukee County, WI

View to East

Photo #6 of 9

MAIN STREET HISTORIC DISTRICT

Walter Bublitz Residence/127 S. Main Street (left) and John Bublitz & Son General Store/121-123 S. Main Street (right)

Thiensville, Ozaukee County, WI

View to West

Photo #7 of 9

MAIN STREET HISTORIC DISTRICT

Thiensville Recreation Parlor/128-130 S. Main Street

Thiensville, Ozaukee County, WI

View to West

Photo #8 of 9

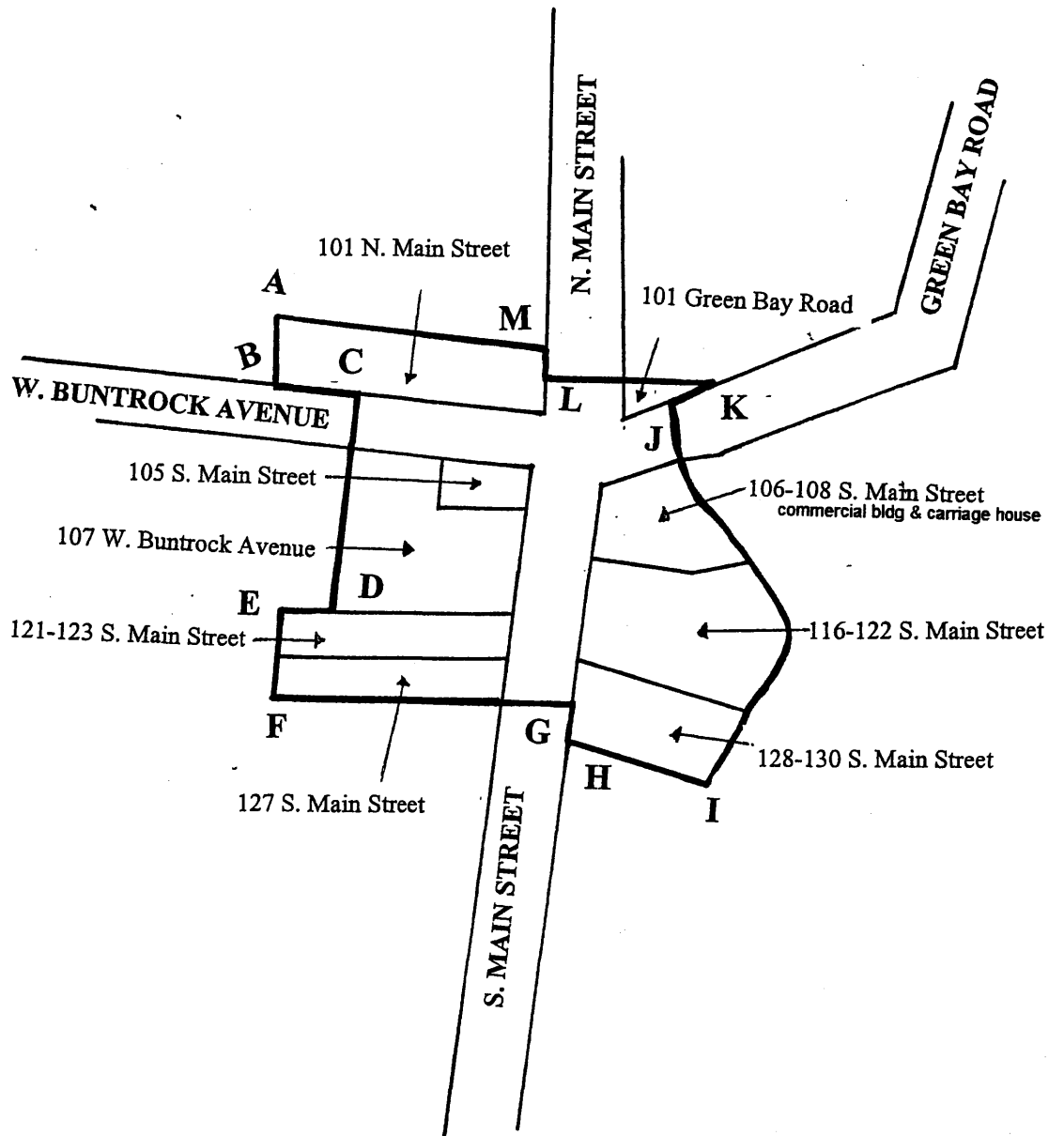
MAIN STREET HISTORIC DISTRICT

Ervin Reimer Residence/107 W. Buntrock Avenue

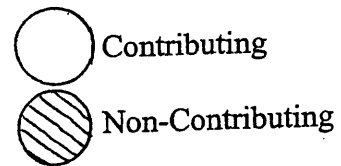
Thiensville, Ozaukee County, WI

View to West

Photo #9 of 9



**MAIN STREET HISTORIC DISTRICT
THIENSVILLE, OZAUKEE COUNTY, WI**



BOUNDARY

Main Street Historic District: District Boundary Map (not to scale)

Village of Thiensville - Andy Lafond

From: Jason L Tish <jason.tish@wisconsinhistory.org>
Sent: Friday, March 1, 2024 10:00 AM
To: Village of Thiensville - Andy Lafond
Subject: Re: COA for demolition

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe.

Hi Andy. There's no federal law that would be triggered in this case. There is a state statute [\(66.0413\(3\)\(c\)\)](#) that requires a 30-day period for properties that are listed in the National Register of Historic Places. It says this:

No historic building may be razed and removed nor the site restored to a dust-free and erosion-free condition for 30 days after the notice is given, unless a shorter period is authorized by the state historical society. If the state historical society authorizes a shorter period, however, such a period shall be subject to any applicable local ordinance. During the 30-day period, the state historical society shall have access to the historic building to create or preserve a historic record. If the state historical society completes its creation or preservation of a historic record, or decides not to create or preserve a historic record, before the end of the 30-day period, the society may waive its right to access the building and may authorize the person who intends to raze and remove the building, and restore the site to a dust-free and erosion-free condition, to proceed before the end of such period, except that such a person shall be subject to any applicable local ordinance.

In order to comply with this statute the city is required to notify our office 30 days before a demolition permit is issued. You can use the attached form to notify our office. Submit it to compliance@wisconsinhistory.org

-Jason

JASON TISH

CERTIFIED LOCAL GOVERNMENT COORDINATOR
PRESERVATION EDUCATION COORDINATOR

State Historic Preservation Office
816 State Street, Rm. 305
Madison, WI 53706
[608.264.6512](tel:608.264.6512)

From: Ask SHPO <askshpo@wisconsinhistory.org>
Sent: Wednesday, February 28, 2024 7:56
To: Jason L Tish <jason.tish@wisconsinhistory.org>
Subject: FW: COA for demolition

From: Village of Thiensville - Andy Lafond <alafond@village.thiensville.wi.us>

Sent: Tuesday, February 27, 2024 3:52 PM

To: Ask SHPO <askshpo@wisconsinhistory.org>

Subject: COA for demolition

Good afternoon. The property owner at 127 S Main street in the Village of Thiensville has submitted a COA request to raze the house and reconstruct a new house. He has stated various reasons including an opinion that the current structure would cost more to repair than replacing it. The structure is in The Village historic district as well as in a 10 structure district designated by the Department of the interior. We have local ordinances regarding our local district. In this case because of the national designation does the State of Wisconsin or the Department of the interior have any additional purview?

Regards,

Andy LaFond

Director of Community Services/Public Works

Village of Thiensville

262-242-3720 Village Hall

262-292-3373 Direct

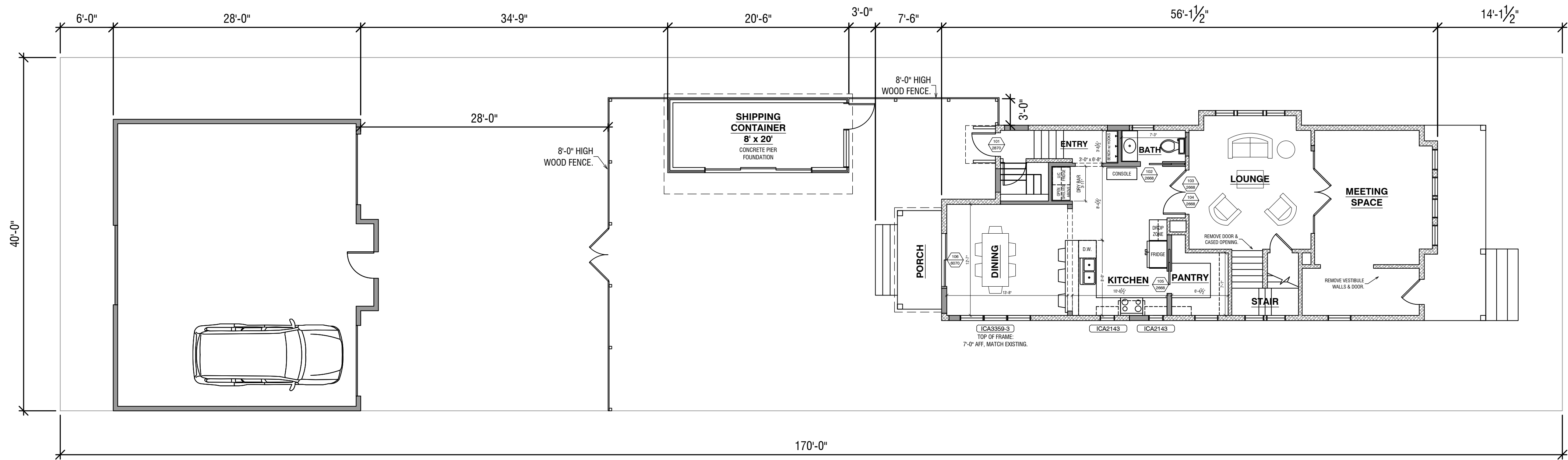
262-242-4743 Fax

www.Village.thiensville.wi.us

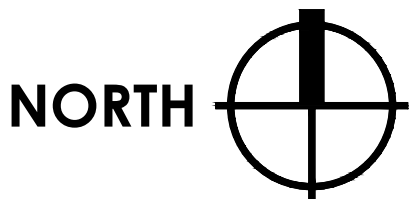


Sign up for The [Village Voice](#) electronic newsletter

REVISIONS	
REV. #	DATE REVISED
△	
△	
△	



LOT LAYOUT
SCALE: 1/8" = 1'-0"

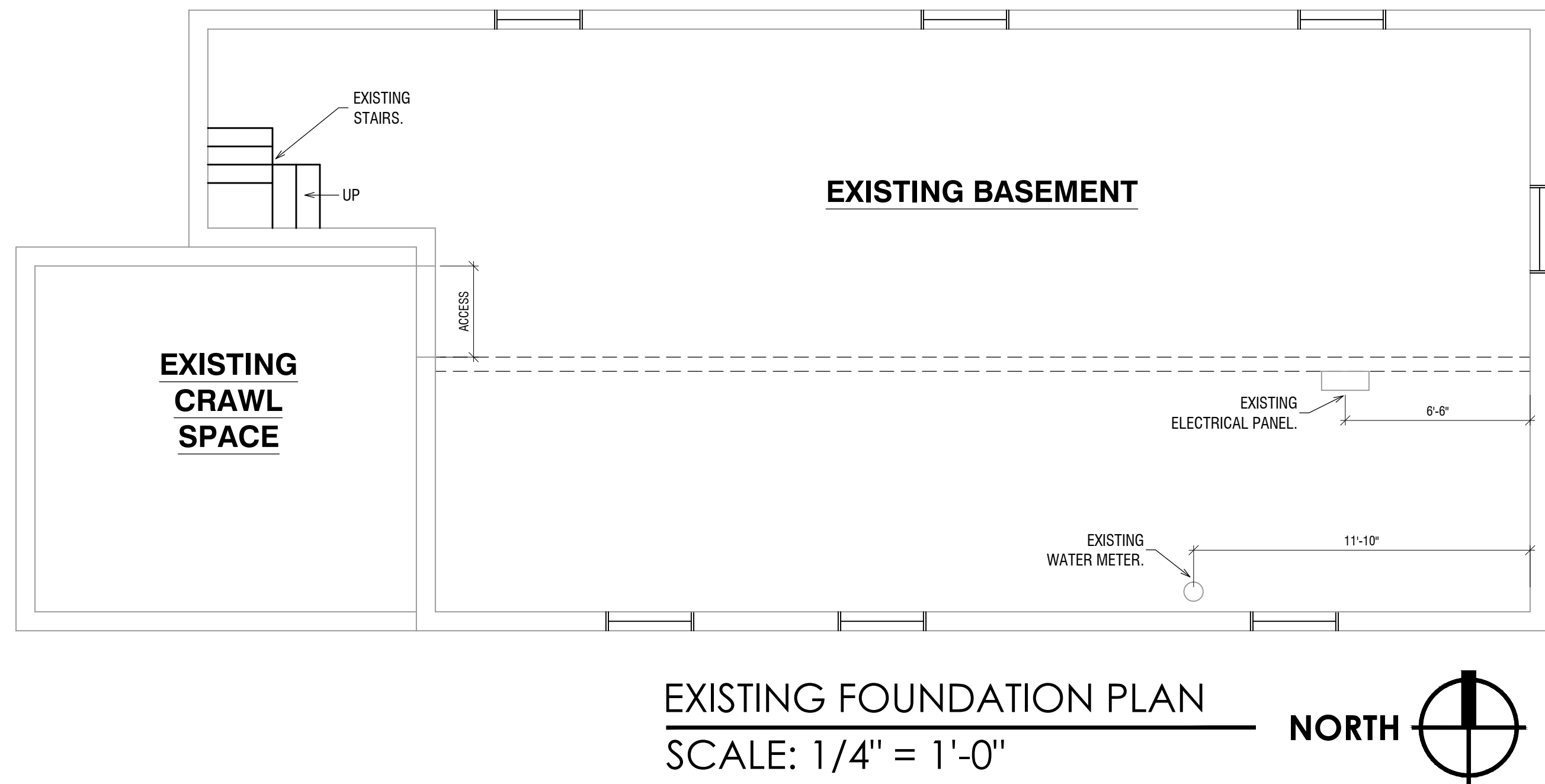
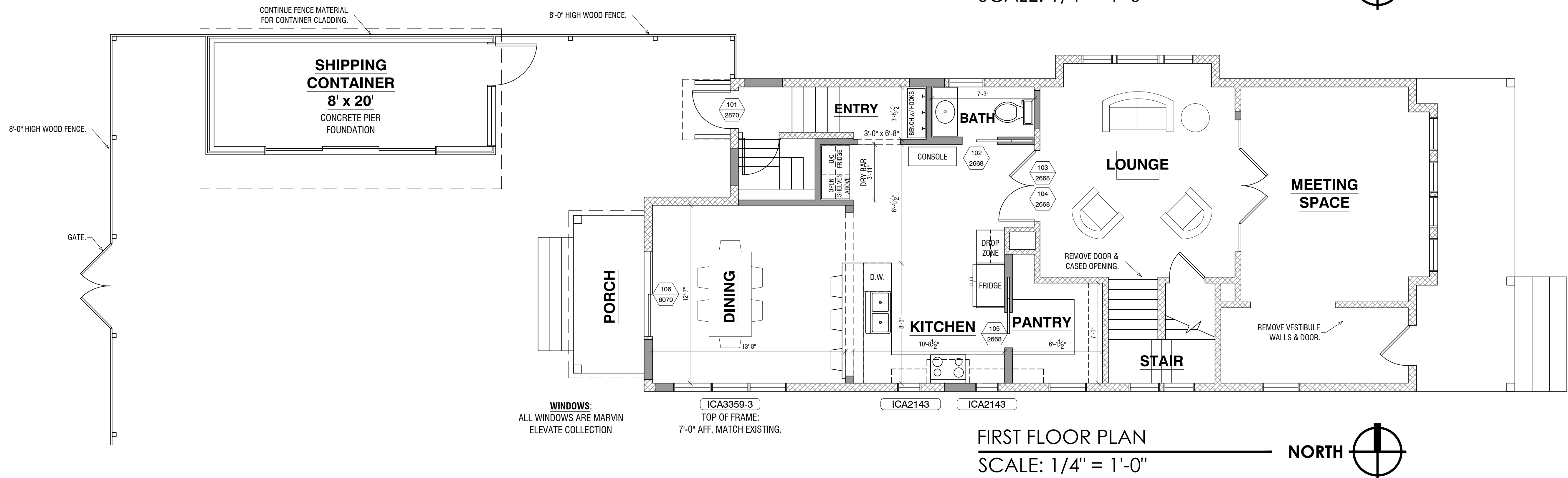


PROJECT NAME
**KOEPKE RESIDENCE
127 SOUTH MAIN STREET
THIENSVILLE, WI**

**PRELIMINARY
NOT FOR
CONSTRUCTION**

DATE	04 november 2019
DRAWN BY	AMW
PROJECT NAME	koepke residence
SHEET DESCRIPTION	LOT LAYOUT
SHEET NUMBER	A1.1

REVISIONS	
REV. #	DATE REVISED
△	
△	
△	



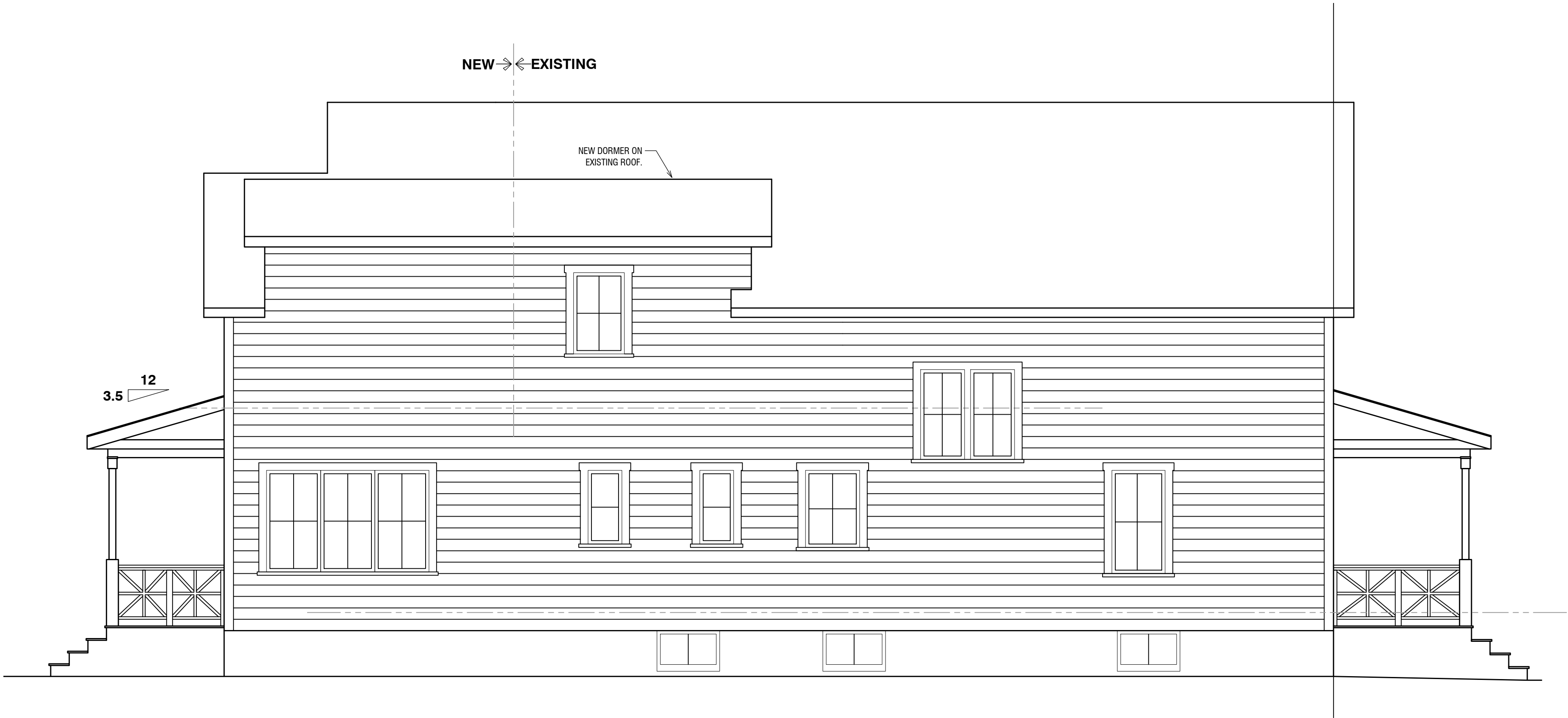
PROJECT NAME
KOEPKE RESIDENCE
127 SOUTH MAIN STREET
THIENSVILLE, WI

PRELIMINARY
NOT FOR
CONSTRUCTION

DATE	04 november 2019
DRAWN BY	AMW
PROJECT NAME	koepke residence
SHEET DESCRIPTION	FLOOR PLAN
SHEET NUMBER	
A2.1	
© COPYRIGHT 2019 - FINE LINE CARPENTRY, LLC. ALL RIGHTS RESERVED	



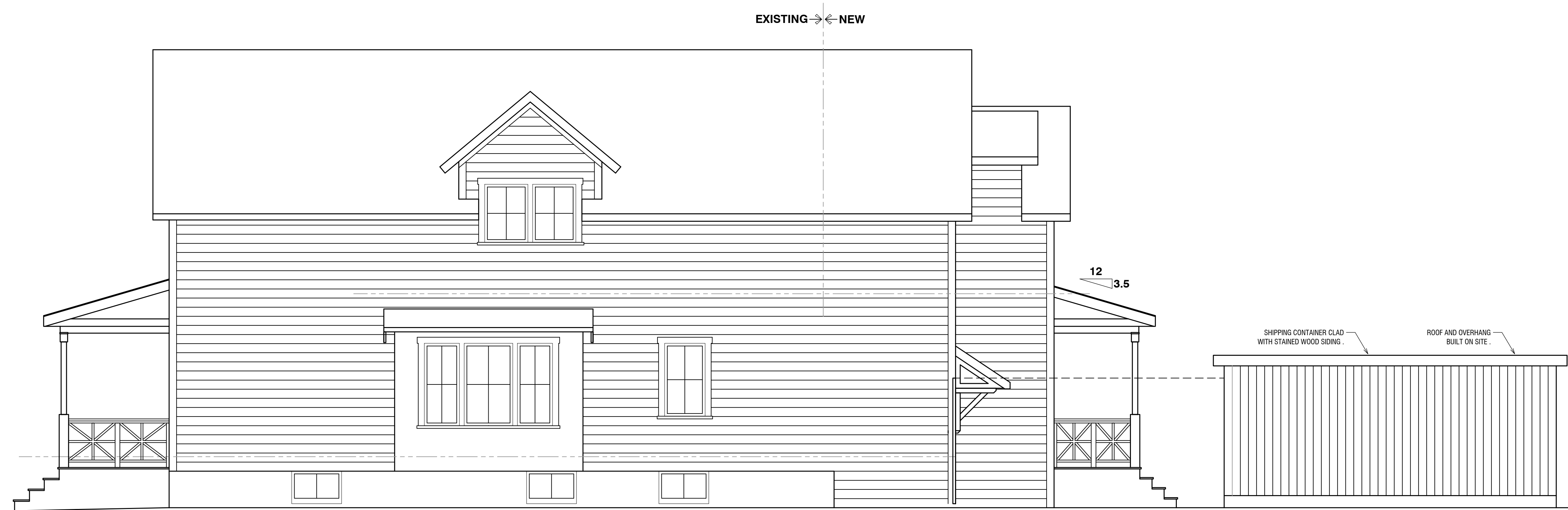
WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	
REV. #	DATE REVISED
△	
△	
△	

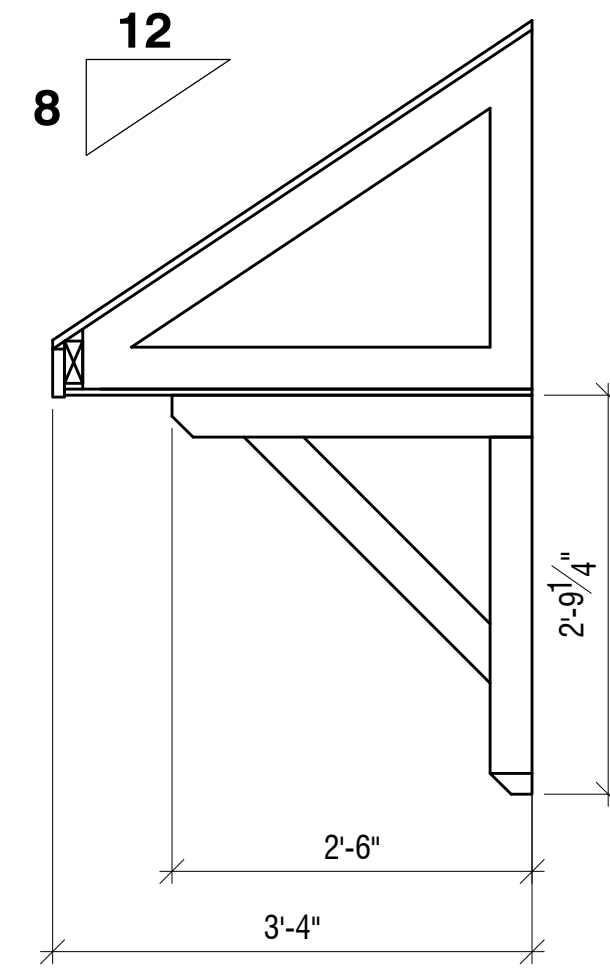
PROJECT NAME
KOEPKE RESIDENCE
127 SOUTH MAIN STREET
THIENSVILLE, WI

PRELIMINARY
NOT FOR
CONSTRUCTION

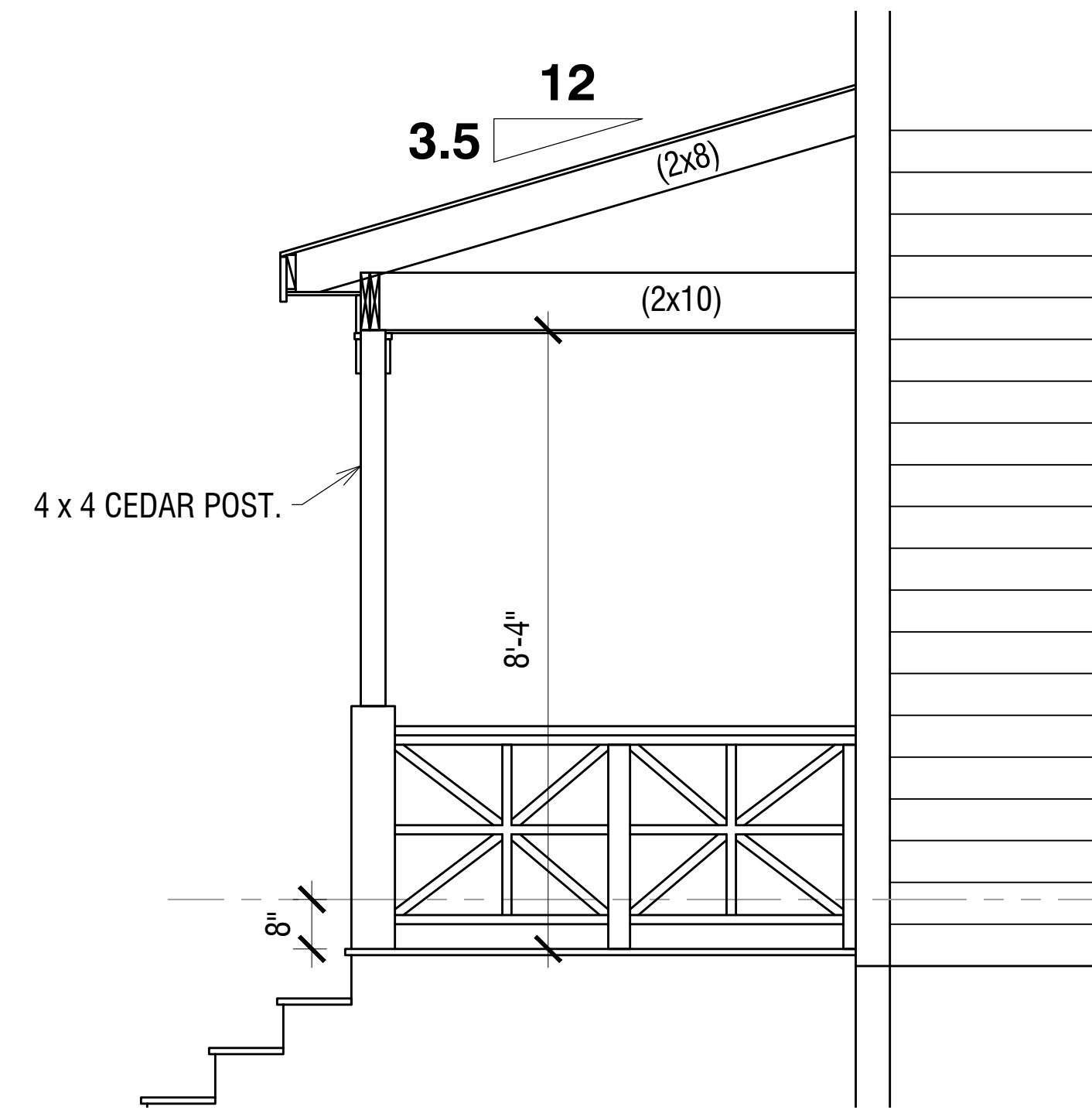
DATE	04 november 2019
DRAWN BY	AMW
PROJECT NAME	koepke residence
SHEET DESCRIPTION	ELEVATIONS
SHEET NUMBER	

A3.1

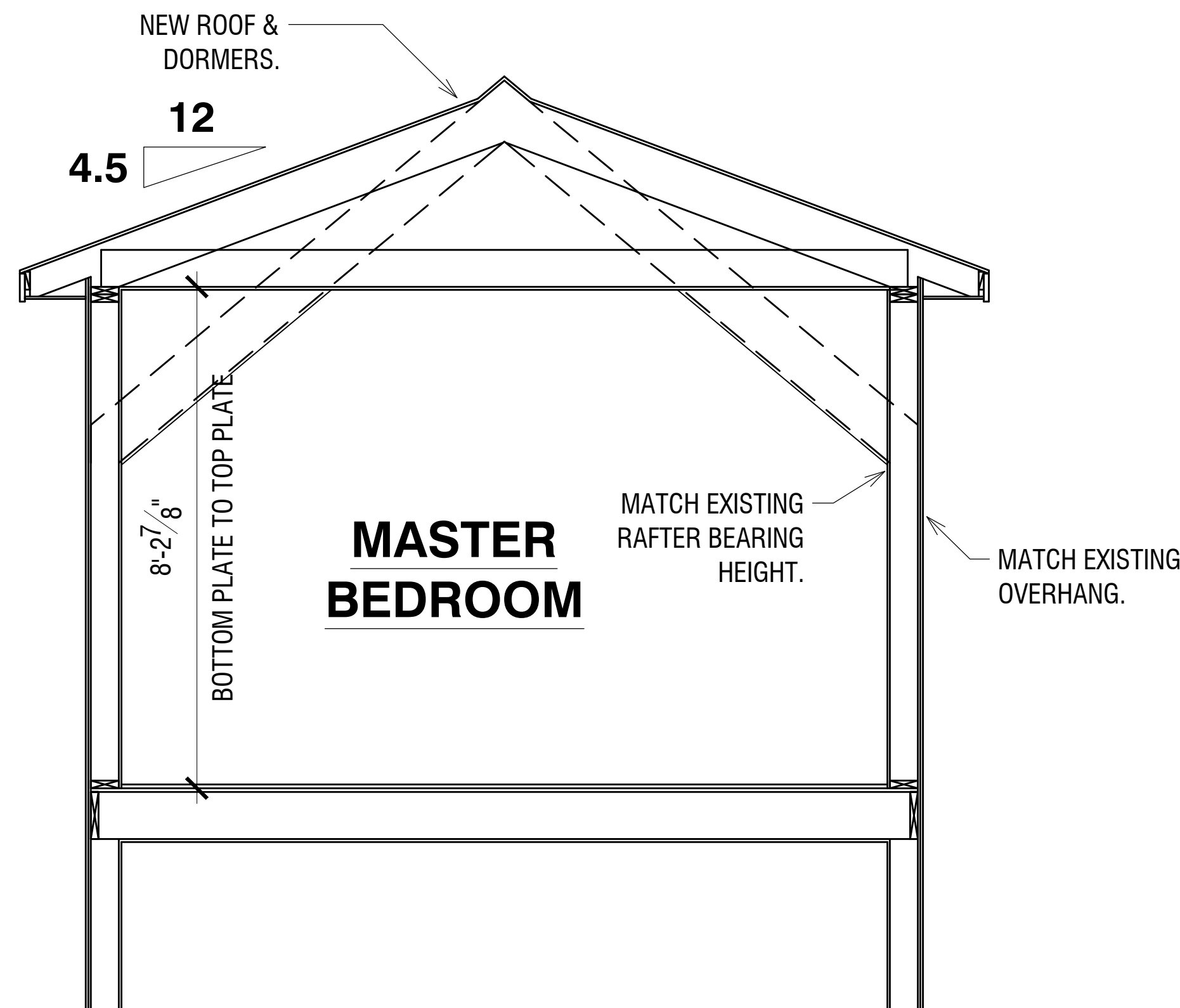
REVISIONS	
REV. #	DATE REVISED
△	
△	
△	



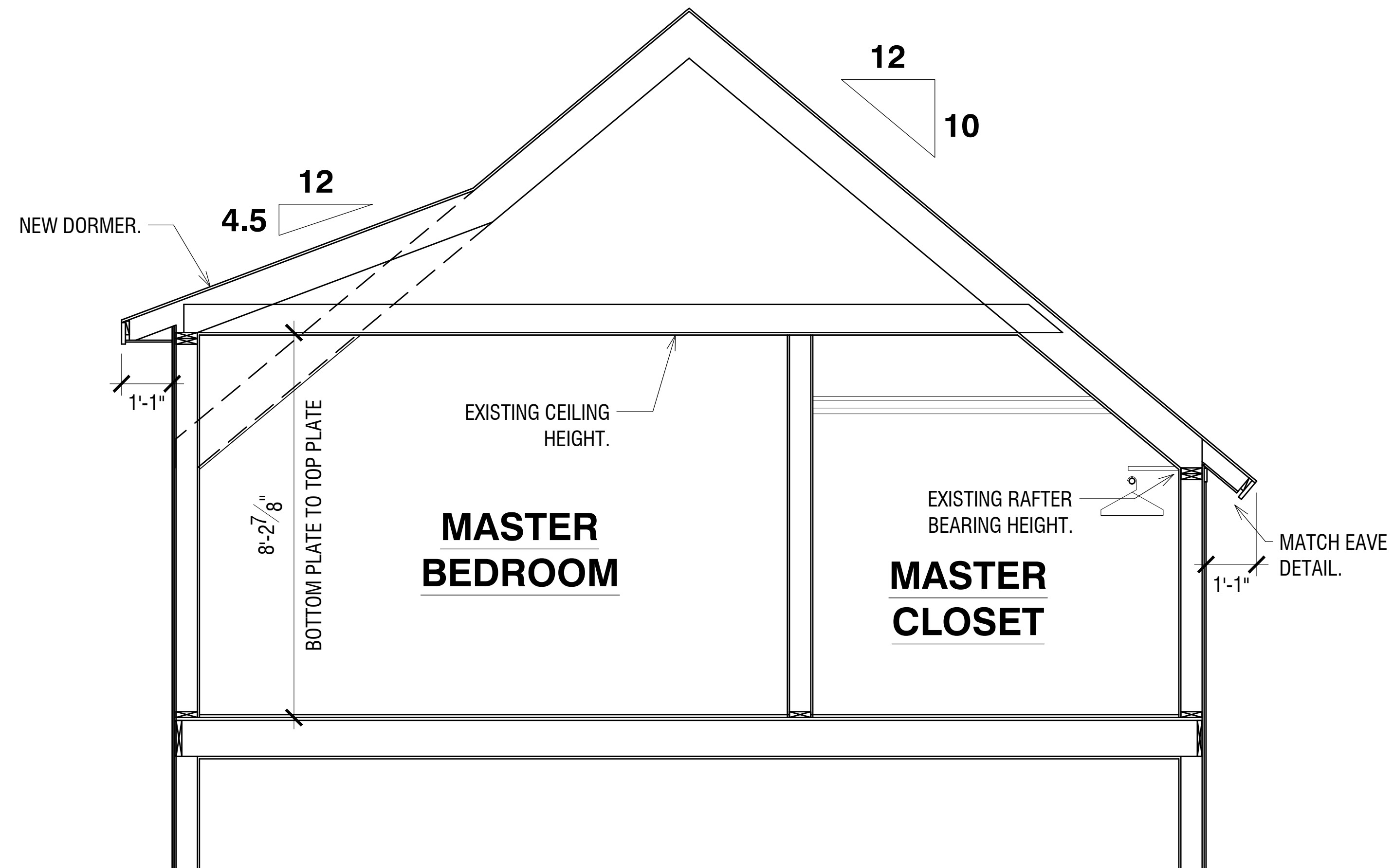
WINDOW AWNING DETAIL
SCALE: 3/4" = 1'-0"



PORCH SECTION
SCALE: 1/2" = 1'-0"



HOUSE MASTER BEDROOM SECTION
SCALE: 1/2" = 1'-0"



HOUSE MASTER BEDROOM / CLOSET SECTION
SCALE: 1/2" = 1'-0"

PROJECT NAME
KOEPKE RESIDENCE
127 SOUTH MAIN STREET
THIENSVILLE, WI

PRELIMINARY
NOT FOR
CONSTRUCTION

DATE	04 november 2019
DRAWN BY	AMW
PROJECT NAME	koepke residence
SHEET DESCRIPTION	FLOOR PLAN
SHEET NUMBER	A2.1



VILLAGE OF THIENSVILLE
Historic Preservation Commission
MINUTES

DATE: Tuesday, November 1, 2022

LOCATION: 250 Elm Street, Thiensville, WI

TIME: 6:00 PM

I. CALL TO ORDER

Chair Abraham called the meeting to order at 6:01 PM.

II. ROLL CALL

CHAIR:	JENNIFER ABRAHAM
COMMISSIONERS:	ANGELINA APOSTOLOS
	RONALD HEINRITZ (ARRIVED AT 6:22 PM)
	PHILIP ECKERT
	NATHAN MATSON
	MARY GIULIANI
	JOSEPH MILLER
DIRECTOR OF COMMUNITY SERVICES/PUBLIC WORKS:	ANDY LAFOND

III. CITIZENS TO BE HEARD

A. Open to any resident or taxpayer on items not subject to a public hearing: Please be advised per §19.84(2), information will be received from the public. Village policy limits a three (3) minute time period per person, with time extension by the presiding official's discretion or a vote of 2/3 of the Board or Committee; be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments. Written comments on agenda items are encouraged to be sent and addressed to the intended body by noon on the day of the meeting. Comments received timely will be forwarded to all members of the body. If you wish to speak, you must pre-register by emailing the Village Clerk at alanglois@village.thiensville.wi.us by 4:00 PM on the day of the meeting or by signing in immediately prior to the meeting.

There was no communication received or citizens to be heard.

IV. DATE AND TIME OF NEXT MEETING

A. Next meeting scheduled for Tuesday, December 6, 2022 at 6:00 PM (if needed)

V. APPROVAL OF MINUTES

A. October 4, 2022 (att)

Commissioner Matson noted his attendance at the October 4, 2022, meeting.

MOTION by Commissioner Apostolos, **SECONDED** by Commissioner Miller to approve the Amended October 4, 2022, Minutes with the Correction to Indicate Commissioner Matson's Attendance. **MOTION CARRIED UNANIMOUSLY.**

VI. BUSINESS

A. Discussion, review and possible action regarding Historic Plaque, Emily Reyes, Frank Oil Co., 185 South Main Street (att)

Chair Abraham has been in contact with Emily Reyes from Quick Care Auto. Ms. Reyes has reviewed the proposed language developed by the Commission for a historic plaque for Frank Oil Co. at 185 South Main Street. Ms. Reyes would like the Quonset hut in the back of the property and the installation of hydraulic lifts noted on the historic plaque. The Commission also received a school report completed years ago by a grandson of Earl Frank. There are some inconsistencies in dates with information supplied by the state. Chair Abraham will pursue details and bring back before the Commission.

B. Review and action regarding Certificate of Appropriateness, Raze House and Two-Car Garage, Michael Koepke, 127 South Main Street and Discussion Regarding Preliminary Building Design Concept (att)

Michael Koepke was present. Director LaFond noted Mr. Koepke has applied for a Certificate of Appropriateness to raze the house and two-car garage at 127 South Main Street with the intent to build a new structure with a similar design to a proposed remodel of the home previously approved by the Commission. Director LaFond supplied Commissioners with the Ordinance detailing items to be considered in the issuance of a raze permit. The principal structure on the property is the house. There is a new garage at the back of the property and an older two-car garage that was required to be razed when the new garage was built. The older garage has not been razed.

Mr. Koepke is seeking input on razing the structures and what the Commission would like to see in a new building. Chair Abraham inquired when the garage will be razed. Mr. Koepke replied the old garage will be razed with this project; the new garage will remain. The buildings would be razed and construction ideally would begin next spring, but the economy may affect the timing. The new building will be built on a similar footprint to the current home.

Commissioner Eckert clarified that only permission to raze the structures is being considered. Director LaFond confirmed that and added Commissioners should have an idea of what will be built. Mr. Koepke noted he does not want to spend money on plans for a building that cannot be built if razing the current structures is not approved.

MOTION by Commissioner Miller, **SECONDED** by Commissioner Eckert to approve Certificate of Appropriateness, Raze House and Two-Car Garage, Michael Koepke, 127 South Main Street.

Commissioner Matson noted he is concerned about approving the razing of the structure without a more-detailed presentation of what will replace it. Mr. Koepke is willing to wait and get approval for the design. Director LaFond confirmed the building design will be considered by the Historic Preservation Commission and Plan Commission.

Chair Abraham summarized that Commissioners generally are in favor of approving razing and like the preliminary plans for the new structure. The main concern is that what is built reflects the preliminary plans. Mr. Koepke will return with an application to raze the structures and plans for the new home at the same time.

MOTION withdrawn by Commissioner Miller, **SECONDED** by Commissioner Eckert.

C. Review and action regarding Certificate of Appropriateness, Garage Door and Garage Entry Door, Melanie Devorkin, 193 Green Bay Road (att)

Melanie Devorkin, 193 Green Bay Road, submitted a Certificate of Appropriateness for the garage door and entry door for the barn on the property. Ms. Devorkin noted decorative carriage handles and hinges have been added to the garage door. The garage is being used for inventory storage. Chair Abraham suggested painting the garage door white so it blends in with the building. Ms. Devorkin will look into the feasibility of painting the door. Director LaFond suggested Commissioners consider approving a white garage door with black accents. If that is possible, Ms. Devorkin will not have to return for additional approvals.

MOTION by Commissioner Apostolos, **SECONDED** by Commissioner Giuliani to approve Certificate of Appropriateness, White Garage Door and Entry Door With Black Accents, Melanie Devorkin, 193 Green Bay Road. **MOTION CARRIED UNANIMOUSLY.**

D. Wisconsin Historical Society 2022 Local History & Historic Preservation Conference Update

Chair Abraham attended several sessions of the Wisconsin Historical Society 2022 Local History & Historic Preservation Conference and noted an interesting presentation titled Hard Solutions: Demolition by Neglect. Some of the steps discussed involve adopting ordinances that would have fines associated with neglect of historic properties. This would involve transitioning from a consultative to more legislative body.

VII. STAFF REPORT

A. Staff Report (att)

Director LaFond reported the owner of 163 South Main Street was contacted after staff observed roof and gutter work without a Certificate of Appropriateness or building permit.

VIII. ADJOURNMENT

MOTION by Commissioner Apostolos, **SECONDED** by Commissioner Miller to adjourn the meeting at 6:55 PM. **MOTION CARRIED UNANIMOUSLY.**

Prepared by,
Gary Achterberg
Administrative Assistant

Submitted by,
Amy L. Langlois
Village Clerk/Deputy Treasurer



VILLAGE OF THIENSVILLE
Plan Commission
MINUTES

DATE: Tuesday, September 13, 2022

LOCATION: 250 Elm Street, Thiensville, WI

TIME: 6:00 PM

I. CALL TO ORDER

Chairman Mobley called the meeting to order at 6:00 PM.

II. ROLL CALL

CHAIRMAN:	VAN MOBLEY
COMMISSIONERS:	DOUGLAS CHIMENTI MIKE DYER RICK GATTONI CAROL GENGLER JEFF HERSHBERGER KEN KUCHARSKI
PLANNER:	JON CENSKY
DIRECTOR OF COMMUNITY SERVICES/PUBLIC WORKS:	ANDY LAFOND

III. CITIZENS TO BE HEARD

A. Open to any resident or taxpayer on items not subject to a public hearing: Please be advised per §19.84(2), information will be received from the public. Village policy limits a three (3) minute time period per person, with time extension by the presiding official's discretion or a vote of 2/3 of the Board or Committee; be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments. Written comments on agenda items are encouraged to be sent and addressed to the intended body by noon on the day of the meeting. Comments received timely will be forwarded to all members of the body. If you wish to speak, you must pre-register by emailing the Village Clerk at alanglois@village.thiensville.wi.us by 4:00 PM on the day of the meeting or by signing in immediately prior to the meeting.

Kristina Eckert, owner of glaze, 149 Green Bay Road, noted that the business displays a feather banner that costs approximately \$75 to \$100. The feather banner is put out when the business opens, is taken inside at the end of every day and is replaced every six to eight months due to fading. The 11-foot by 3-foot ice cream flag has had a positive impact

on sales. Ms. Eckert is not in favor of the added expense of adding her logo because the flag is clearly for the business it is placed in front of. Ms. Eckert believes flags also should not be banned in the historic district because there are many vital businesses in the district, nor should a sandwich board sign be prohibited if there is a flag. Ms. Eckert discussed the matter with other members of the Thiensville Business Association who agree with these views.

Jesse Daily, owner of the cheel and the baaree at 105 South Main Street and Daily Taco + Cantina at 105 West Freistadt Road, noted feather flags draw attention to businesses that are set back from the road. Mr. Daily agreed with the proposal to bring the flags in at night and ensuring that they are not worn or faded.

IV. BUSINESS

A. Approval of Minutes

1. August 9, 2022 (att)

MOTION by Commissioner Gengler, **SECONDED** by Commissioner Chimenti to approve the August 9, 2022, Minutes. **MOTION CARRIED UNANIMOUSLY.**

B. Review and action regarding Sign Code Waiver and Sign Plan, Boz's Clozet, Jill Goldberg/Lance McTrusty, 229 South Main Street, Relocated from 105 West Freistadt Road (att)

Jill Goldberg was present. Boz's Clozet has relocated to 229 South Main Street from 105 West Freistadt Road. Ms. Goldberg has requested moving the sign to the new location.

Planner Censky noted that the existing sign was previously approved. The Sign Code has changed; the sign meets size requirements but does not meet the requirements for interior lighting. The current Code requires that signs have a dark background where the light shines through the letters. The Plan Commission can consider a waiver.

MOTION by Commissioner Gengler, **SECONDED** by Commissioner Chimenti to approve Sign Code Waiver and Sign Plan, Boz's Clozet, Jill Goldberg/Lance McTrusty, 229 South Main Street, Relocated from 105 West Freistadt Road, Sign Was Previously Approved by the Plan Commission.

Ayes: Commissioners Chimenti, Gengler, Hershberger, Kucharski and Chairman Mobley

Naes: Commissioner Dyer

Abstain: Commissioner Gattoni

MOTION CARRIED.

C. Review and action regarding Free-Standing Monument Sign, Curated Home Decor,

Melanie Devorkin, 193 Green Bay Road (att)

Stephanie Lawhorn from Signarama was present. Ms. Devorkin is opening a home decor shop and is requesting a free-standing monument sign for that business and a tenant at 193 Green Bay Road. The sign will be externally illuminated.

Planner Censky noted the sign is attractive and meets all setback and size requirements. Director LaFond requested that any motion be contingent on approval by the Historic Preservation Commission at their next meeting scheduled for October 4, 2022.

MOTION by Commissioner Gattoni, **SECONDED** by Commissioner Dyer to approve Free-Standing Monument Sign, Curated Home Decor, Melanie Devorkin, 193 Green Bay Road, Contingent on Approval by the Historic Preservation Commission on October 4, 2022.

MOTION CARRIED UNANIMOUSLY.

D. Review and action regarding Free-Standing Monument Sign, Thiensville Professional Park, Sydney Koritzinsky, 210-216 Green Bay Road (att)

Stephanie Lawhorn from Signarama was present. Mr. Koritzinsky's current sign for the Thiensville Professional Park is approximately 20 years old. The proposed sign is similar.

Planner Censky noted the sign fully complies with Village Code.

MOTION by Commissioner Dyer, **SECONDED** by Commissioner Gattoni to approve Free-Standing Monument Sign, Thiensville Professional Park, Sydney Koritzinsky, 210-216 Green Bay Road. **MOTION CARRIED UNANIMOUSLY.**

E. Review and action regarding New Single-Family Home, Lot 2, 104 North Orchard Street (att)

Fred Bersch of Bonnilake Real Estate LLC presented plans for Lot 2 at 104 North Orchard Street. Lot 2 is adjacent to the church building and will be a model home. The home will have two bedrooms on the first floor. The home on Lot 2 is a bit wider than the home on Lot 3 because the lot is 6 feet wider at the front. It is anticipated that the homes on Lots 2 and 3 will be built at the same time.

MOTION by Commissioner Gattoni, **SECONDED** by Commissioner Chimenti, to approve New Single-Family Home, Lot 2, 104 North Orchard Street. **MOTION CARRIED UNANIMOUSLY.**

F. Review and action regarding New Single-Family Home, Lot 3, 106 North Orchard Street (att)

Fred Bersch of Bonnilake Realty LLC presented plans for Lot 3 at 106 North Orchard Street. Lot 3 will have three bedrooms on the first floor with an exposed lower level. Commissioner Kucharski inquired about the timeline to complete the homes. Mr. Bersch replied that each home would take about seven months to build. Commissioner Gengler

inquired about water runoff from the lots. Director LaFond noted the design intends that no water leaves the site and flows into storm drainage.

MOTION by Commissioner Gengler, **SECONDED** by Commissioner Chimenti to approve New Single-Family Home, Lot 3, 106 North Orchard Street. **MOTION CARRIED UNANIMOUSLY.**

G. Discussion and consultation regarding Razing House/Garage and Rebuilding, Michael Koepke, 127 South Main Street (att)

Michael Koepke was present and is seeking feedback from the Plan Commission about what would be permitted if he were to raze his house and garage at 127 South Main Street and rebuild. Mr. Koepke inquired what building code requirements must be followed because the building is partially a business.

Director LaFond noted this is a consultation prior to an architect developing plans. The building code provisions would be up to the architect to propose to the building inspector and the code reviewer. The property is in the B-1 Central Business District. The code recently was amended to require that 30% of first-floor space must be business; the previous requirement was 100%. All of the frontage must be business.

Planner Censky added the property is in the Historic District, which is critical to the Village. If this is approved, the new building should have some historic flavor. Director LaFond noted that the Historic Preservation Commission must issue a raze permit and Certificate of Appropriateness and approve a new design.

Mr. Koepke is considering a two-story farmhouse-style house. The existing garage would be demolished. The footprint of the new structure would be similar. Mr. Koepke wants to demolish the building because of the layout and the cost of remodeling would be more than new construction.

Commissioner Chimenti noted the new building would maintain the historic feel of the district in a new, energy efficient building. Commissioner Hershberger noted that it makes more sense to do what Mr. Koepke is proposing than to keep an old building that cannot be utilized in the way the owner wants. Commissioner Kucharski shared support of Mr. Koepke's plans, provided that the Historic Preservation Commission approves them. Chairman Mobley agreed that the plans first must be considered by the Historic Preservation Commission.

H. Review and recommendation to the Village Board to Amend the Sign Code to Regulate Feather and Flag Banners (att)

Director LaFond provided a fourth version of potential regulations of feather banners based on discussion at the previous Plan Commission meeting. This version adds feather banners to the list of prohibited signs. Feather banners would be allowed at special events and festivals without a permit and would be allowed from the start of an event and must be removed at the end of the last day of the event. Any action by the Plan Commission would be a recommendation to the Village Board.

Commissioner Gengler appreciated the remarks at the outset of the meeting from two business owners and inquired which version should be considered if the Commission wants to accommodate those requests. Director LaFond noted Version 1 treats feather banners in a similar manner to sandwich boards and would be allowed if the business has a permanent sign, receives a permit, the banners are brought in every night and are under the maximum size. There are other places in the Village Code that restrict banners to a certain number of days in a year.

Commissioner Gattoni favors the fourth version that prohibits feather banners except for special events. Commissioner Kucharski noted that Ms. Eckert made a good presentation regarding the ice cream sign attracting customers to glaze. Commissioner Kucharski prefers Version 4. Commissioner Chimenti has mixed feelings after hearing Ms. Eckert and Mr. Daily speak about how flag banners benefit their businesses. Commissioner Hershberger favored Version 1 which would permit feather banners. There are restrictions, such as having to take the banners in every night, that require a commitment from the business owner. Commissioner Gattoni noted allowing feather banners would place enforcement responsibility on the Village.

This item was tabled to be considered at the next meeting in October.

V. STAFF REPORT

A. Staff Report (att)

Director LaFond reported there were staff-approved fences at 217 Bel Aire Court and 513 Heidel Road. A non-complaint shed at 202 Woodside Lane will be considered by the Zoning Board of Appeals. Planner Censky noted the homeowners will have to prove a hardship in order to keep the shed in the existing location. Police handled complaints regarding long grass at 136 North Orchard Street and 214 Heidel Road, signs in the right-of-way at Main Street and Freistadt Road and the 100 block of West Freistadt Road and contacted a resident at 521 Laurel Drive regarding a boat stored on grass.

VI. ADJOURNMENT

MOTION by Commissioner Dyer, **SECONDED** by Commissioner Kucharski to adjourn the meeting at 7:06 PM. **MOTION CARRIED UNANIMOUSLY.**

Submitted by,

Gary Achterberg
Administrative Assistant

Signed by,

Amy L. Langlois
Village Clerk/Deputy Treasurer

**VILLAGE OF THIENSVILLE
HISTORIC PRESERVATION COMMISSION
MINUTES**

DATE: Wednesday, August 12, 2020

LOCATION: 250 Elm Street
Thiensville, WI
Board Room

TIME: 6:00 PM

I. CALL TO ORDER

Chairman Heinritz called the meeting to order at 6:00 PM.

II. ROLL CALL

Chairman:	Ron Heinritz	
Commissioners:	Jennifer Abraham	Mary Giuliani
	Robert Blazich	Joseph Miller (excused)
	Karin Flodstrom (resigned)	Thomas Streifender (excused)
Administrator:	Colleen Landisch-Hansen	

Chairman Heinritz stated that Karin Flodstrom had submitted her resignation. This was accepted by the Village Board on July 20, 2020. Chairman Heinritz would like to see Karin reappointed to the Historic Preservation Commission if her schedule allows as she lives in the District and serves as the Commission's secretary.

Commissioner Blazich shared communication from Commissioner Streifender stating he is available to attend meetings remotely and will not attend in person.

III. DATE AND TIME OF NEXT MEETING

- A.** Next meeting scheduled for Wednesday, September 9, 2020 at 6:00 PM

IV. APPROVAL OF MINUTES

- A.** Approval of Minutes
1. July 8, 2020

MOTION by Commissioner Blazich, **SECONDED** by Commissioner Abraham to approve the July 8, 2020 Minutes.
MOTION CARRIED UNANIMOUSLY.

V. BUSINESS

- A.** Review and approval of Certificate of Appropriateness for Maintenance of Building
(Painting West Side of Building), Timothy Broderick, 159-163 South Main Street

MOTION by Commissioner Abraham, **SECONDED** by Commissioner Blazich to approve Certificate of Appropriateness for Maintenance of Building (Painting West Side of Building), Timothy Broderick, 159-163 South Main Street. **MOTION CARRIED UNANIMOUSLY.**

- B. Review and approval of Certificate of Appropriateness for New Roof, Jesse Daily, Core, LLC, 107 Buntrock Avenue

MOTION by Commissioner Abraham, **SECONDED** by Commissioner Blazich to approve Certificate of Appropriateness for New Roof, Jesse Daily, Core, LLC, 107 Buntrock Avenue. **MOTION CARRIED UNANIMOUSLY.**

- C. Consultation with Michael Koepke Regarding Certificate of Appropriateness, 127 South Main Street

Michael Koepke, 127 South Main Street, shared that he has exhausted every possible resource to try to keep the building structurally intact, however, it is too expensive. Mr. Koepke would like to raze the building and put up a new structure and comply with the new codes. The plumbing and electrical need to be replaced; and to do this in the existing structure is very expensive. It is cheaper to replace the building than it is to try to preserve it. Mr. Koepke has tried everything he possibly knows to keep it but feels he has to start over. Mr. Koepke also has a wet basement that would be quite costly to repair as well. Mr. Koepke shared that there is nothing architecturally significant on the exterior and feels the best long-term solution is to build a new home.

Commissioner Blazich asked if the new structure would be the same bungalow style that is currently on the site. Mr. Koepke stated it will be very similar to the alterations approved at an earlier meeting – a modern farmhouse.

Chairman Heinritz shared that in order to proceed with a demolition permit, there is an existing garage that is required to be demolished and to demo a property, a site plan must be submitted and approved before moving forward. This would have to be approved by the Plan Commission. Also, Chairman Heinritz suggested Mr. Koepke meet with Andy LaFond, Director of Community Services/Public Works and Village staff regarding his plans.

Regarding the original existing garage, there was a demolition permit issued several years ago that has more than likely expired. Chairman Heinritz suggested moving forward with this request. As far as the building, this requires a site plan.

In regards to the cost of the building, there is a historic tax credit program through Federal and State and is very generous if you qualify – up to 40%. Mr. Koepke stated that he believes 40% is high. Chairman Heinritz shared that it is 20% from Federal and the State matches it. Mr. Koepke has applied, however, was denied because of the fiber cement on the exterior of the building and the windows were denied.

Mr. Koepke shared that he will be using the same site plan that was approved. This structure is 2 feet wider than the existing home. Mr. Koepke inquired of the Commission their thoughts on razing the home. Commissioner Blazich stated the main thing that they would like to know is what is going to be built and that there will not be an empty lot. Mr. Koepke submitted a conceptual drawing to Director LaFond.

Chairman Heinritz shared that the home sits in the historic center of town and in the Town Center Historic District which will be considered upon project submission. Chairman Heinritz suggested Mr. Koepke meet with Director LaFond and Village Planner Jon Censky.

Mr. Koepke does not have occupancy for his new garage. Mr. Koepke was told to close the opening to the west with a fixed wall made of 2x4's. The Village's Building Inspector did not approve this because there is no siding. Administrator Landisch-Hansen stated that this will be worked through at a meeting with Director LaFond and Planner Censky.

Historic Preservation Commission Minutes
August 12, 2020
Page three of four

Chairman Heinritz shared contact information regarding tax credits with Mr. Koepke.

Commissioner Blazich shared that the Historic Preservation Commission was at the point of agreement on Mr. Koepke's previous plan and the only item currently still out for discussion was the railing on the front porch. Commissioner Blazich stated that the Commission is probably in agreement with the overall design. Mr. Koepke shared there may be an elevation requirement that needs to be met.

Mr. Koepke stated he will be back.

The demo permit previously approved for the garage was issued many years ago and may have expired. Commissioner Giuliani inquired if the new footprint was 2' wider. Administrator Landisch-Hansen believes that the new footprint is 2' wider and there may be some setback issues. Meeting with Planner Censky will be helpful.

VI. OLD BUSINESS

VII. ITEMS BY CHAIRMAN

- A. Review historic research and language for possible plaque at 185 South Main Street, Frank Oil Co. Station

Chairman Heinritz has done some research regarding 185 South Main Street. The state has very little information. Commissioner Blazich stated that there is some information in the Walking Tour book. Commissioner Abraham will look into gathering some information regarding the Frank Oil Co. Station i.e. when the building was built, dates of operation, etc. The owner of the building is Andy Willms. Chairman Heinritz has contacted Mr. Willms regarding a possible plaque for 185 South Main Street. Mr. Willms is excited about the recognition. There was an addition in 1950 and there was at one time a leak that led to a lengthy remediation.

Administrator Landisch-Hansen shared that the Employee and Volunteer Appreciation Dinner will be after the November election, if it is held.

- B. Joseph DeRose, Certified Local Government Coordinator, State Historic Preservation Office, Announces His Retirement as of September 4, 2020

Chairman Heinritz shared that Joseph DeRose, Certified Local Government Coordinator, is retiring after 30 years.

- C. Review Sign Code

This item was laid over.

- D. Reference material: Window Installation

Chairman Heinritz shared a catalog from Marvin windows and a list of possible contractors to be used as a resource to those wishing to do updates to their property in the Historic District.

VIII. ITEMS BY COMMISSIONERS

A. Mequon/Thiensville Historical Society – Bob Blazich

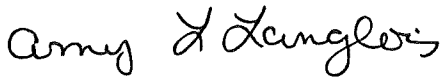
Commissioner Blazich shared that the stamp museum is open by appointment only allowing two people in at a time with masks required.

Also, the Mequon/Thiensville Historical Society will be working on cleaning up membership and will be having a membership drive.

IX. ADJOURNMENT

MOTION by Commissioner Giuliani, **SECONDED** by Commissioner Abraham to adjourn the meeting at 6:50 PM.
MOTION CARRIED UNANIMOUSLY.

Submitted by,

A handwritten signature in black ink that reads "Amy L. Langlois". The signature is written in a cursive, flowing style.

Amy L. Langlois
Village Clerk

HILGER HARDWARE

BUILT BY ANDREW HILGER IN 1895 AS A HARDWARE STORE AND COBBLER SHOP. THE HILGERS ALSO SOLD WOOD, COAL AND GASOLINE. THE HARDWARE STORE FLOURISHED FOR MANY YEARS UNDER OWNERSHIP OF HIS SONS. THE POST OFFICE AND NUMEROUS BUSINESSES ALSO OCCUPIED THE SPACE.

NOVEMBER 2024

(238 CHARACTERS)

BASE CHARGE FOR PLAQUES IS FOR 176 CHARACTERS – \$1 FOR EACH ADDITIONAL CHARACTER

Thiensville Historic Preservation Commission Staff Report - March 2024

Date	Address	Property Owner	Project
2/19/2024	116-122 S. Main St.	Thomas Montaine	New roof, Cedar shingles.
2/19/2024	116-122 S. Main St.	Thomas Montaine	Rebuild porch damaged by car