



VILLAGE OF THIENSVILLE
Plan Commission
AGENDA

DATE: Tuesday, June 13, 2023

LOCATION: 250 Elm Street, Thiensville, WI

TIME: 6:00 PM

I. CALL TO ORDER

II. ROLL CALL

CHAIRMAN:	VAN MOBLEY
COMMISSIONERS:	MIKE DYER
	RICK GATTONI
	JEFF HERSHBERGER
	REBECCA HOLYOKE-ODEJA
	KEN KUCHARSKI
	JOE NELSON
PLANNER:	JON CENSKY
DIRECTOR OF	ANDY LAFOND
COMMUNITY	
SERVICES/PUBLIC	
WORKS:	

III. CITIZENS TO BE HEARD

A. Open to any resident or taxpayer on items not subject to a public hearing: Please be advised per §19.84(2), information will be received from the public. Village policy limits a three (3) minute time period per person, with time extension by the presiding official's discretion or a vote of 2/3 of the Board or Committee; be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments. Written comments on agenda items are encouraged to be sent and addressed to the intended body by noon on the day of the meeting. Comments received timely will be forwarded to all members of the body. If you wish to speak, you must pre-register by emailing the Village Clerk at clandisch@village.thiensville.wi.us by 4:00 PM on the day of the meeting or by signing in immediately prior to the meeting.

IV. BUSINESS

A. New Commission Members: Welcome and Introductions

B. Approval of Minutes

1. March 21, 2023 (att)

C. Review and action regarding Shed, Ross Grenfell, 425 Alta Loma Drive (att)

D. Review and action regarding Shed, Michael Smith, 301 Crescent Lane (att)

E. Review and action regarding Parking Lot Site Plan Approval, Shully's Events LLC, Scott and Beth Shully, 139-141 Green Bay Road (att)

F. Review and action regarding Framed Screen Porch, Linda D. Speed, 208 Vernon Avenue (att)

V. STAFF REPORT

A. June 2023 (att)

VI. ADJOURNMENT

Colleen Landisch-Hansen, Village Clerk

June 9, 2023

Please advise the Thiensville Municipal Hall, 250 Elm Street (262-242-3720) at least 24 hours prior to the start of this meeting if you have disabilities and desire special accommodations.



VILLAGE OF THIENSVILLE
Plan Commission
MINUTES

DATE: Tuesday, March 21, 2023

LOCATION: 250 Elm Street, Thiensville, WI

PUBLIC HEARING

TIME: 6:00 PM

I. CALL TO ORDER

Chairman Mobley called the meeting to order at 6:00 PM.

II. ROLL CALL

CHAIRMAN:	VAN MOBLEY
COMMISSIONERS:	DOUGLAS CHIMENTI
	MIKE DYER (EXCUSED)
	RICK GATTONI (EXCUSED)
	CAROL GENGLER
	JEFF HERSHBERGER
	KEN KUCHARSKI
PLANNER:	JON CENSKY
DIRECTOR OF	ANDY LAFOND
COMMUNITY	
SERVICES/PUBLIC	
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There was no communication received or citizens present to be heard.

IV. PUBLIC HEARING - THE APPLICANT, QUARRY DEVELOPMENT LLC, 601 NORTH

MAIN STREET, WILLIAM CONLEY, IS SEEKING A CONDITIONAL USE PERMIT FOR A TEMPORARY LUMBER YARD OPERATION AT 601 NORTH MAIN STREET

A. Motion To Open Public Hearing

1. Applications and reports related to this public hearing can be found under V. Business items B. and C. in this agenda.

MOTION by Commissioner Kucharski, **SECONDED** by Commissioner Chimenti to open public hearing. **MOTION CARRIED UNANIMOUSLY.**

B. Director Of Community Services/Public Works Andy LaFond To Read And Explain Notice

Director LaFond read the Notice of Public Hearing related to an application for a Conditional Use Permit application from Quarry Development, LLC, 601 N. Main Street, for temporary use as a lumberyard and sawmill. Notice was mailed to the 68 property owners within 300 feet of the property lines. A legal notice was published in the News Graphic on March 7, 2023 and March 14, 2023. The notice was posted on the community bulletin boards at Village Hall and the Thiensville Post Office.

C. Comments From Anyone Present Requesting To Be Heard

Una Hull-Smith, 609 North Main Street, lives nearby. Much of the concern that has been voiced is unwarranted. The property owner's application should be approved. Ms. Hull-Smith has discussed Mr. Conley's plans with him. It is a temporary use.

Kathy Kirst, 608 Laurel Lake Road Unit 3, has concerns about the plans. It is unclear what the operation will entail and how long it will continue. Ms. Kirst has concerns about noise, dust and hours of operation. Ms. Kirst is neutral, but wants to know more about the plans.

Bill Conley, the property owner, noted that information disseminated over the past few days includes innuendos, exaggerations and untruths. Mr. Conley is building a historic timber-frame building in Cedarburg. Plans call for milling, sawing and carving the wood for the project on his property at 601 North Main Street. The saw slides on a track and is the size of a zero-turn lawnmower. Mr. Conley and his partners want to be responsive and decent neighbors.

Ms. Kirst noted that, based on Mr. Conley's presentation, there is no objection to the project.

Steve Pohle, 621 North Main Street, lives adjacent to the property. Mr. Conley has always been a good neighbor and has kept his word. The application should be approved.

Andrew Ticcioni, 105 Kieker Road, applauded the project and voiced support for its approval.

D. Director Of Community Services/Public Works Andy LaFond To Read Any Correspondence Received Related To The Request

Director LaFond noted one letter and three emails were received.

Bonnie, Ray and Amanda Heintskill, 307 Bel Aire Drive, asked in a letter why residents were not notified in a timely manner. Concerns include noise, vibration, heavy trucks causing street damage, disturbance to residents and sawdust.

Laura Debbink voiced concern in an email about noise, traffic and dust.

Kathleen Regan, 157 Linden Lane Unit 5, voiced concern in an email about truck damage to roads, noise, vibrations and interference with other events in the Village.

John Cerk, 619 North Main Street, is concerned about noise and sawdust and opposes a sawmill at the site.

E. Motion To Close Public Hearing

MOTION by Commissioner Chimenti, **SECONDED** by Commissioner Gengler to close the Public Hearing. **MOTION CARRIED UNANIMOUSLY.**

V. BUSINESS

A. Approval of Minutes

1. January 10, 2023 (att)

MOTION by Commissioner Gengler, **SECONDED** by Commissioner Chimenti to approve the January 10, 2023 Minutes. **MOTION CARRIED UNANIMOUSLY.**

B. Review and Action regarding making a determination pursuant to Zoning Code 17.0204(D) that sawmills and lumberyards are similar in character (att)

Director LaFond noted that Commissioners received a map of the area. The property and surrounding properties on North Main Street are zoned B-4 Highway District. Village Code allows lumberyards and a conditional use in the B-4 district. Planner Censky noted Commissioners are being asked to determine if a sawmill is similar to a lumberyard. Planner Censky's opinion is a lumberyard and sawmill are interchangeable. Trustee Kucharski noted that concerns raised by residents have been addressed. Trustee Kucharski voiced support as a temporary conditional use and added there should be a specific end date specified. Planner Censky noted the conditional use permit would be valid from the date of approval through August 21, 2023. The site must be returned to its former condition. Hours of allowed operation are 8:00 AM to 5:30 PM, Monday through Friday.

MOTION by Commissioner Chimenti, **SECONDED** by Commissioner Kucharski to make a determination pursuant to Zoning Code 17.0204(D) that sawmills and lumberyards are similar in character. **MOTION CARRIED UNANIMOUSLY.**

C. Review and Action regarding Conditional Use Application, Quarry Development LLC, 601 North Main Street, William Conley For a Temporary Lumberyard Operation (att)

MOTION by Commissioner Chimenti, **SECONDED** by Commissioner Kucharski to approve Conditional Use Application, Quarry Development LLC, 601 North Main Street, William Conley, for a Temporary Lumberyard Operation. **MOTION CARRIED UNANIMOUSLY.**

D. Review and Action regarding Gazebo, 317 Crescent Lane, Tom and Yvonne Eynon (att)

Applicants Tom and Yvonne Eynon, 317 Crescent Lane, were present. Yvonne Eynon noted they have had a gazebo in their backyard for approximately the last 20 years and want to replace it. It will be in the same location on a concrete patio.

MOTION by Commissioner Gengler, **SECONDED** by Commissioner Kucharski to approve Gazebo, 317 Crescent Lane, Tom and Yvonne Eynon. **MOTION CARRIED UNANIMOUSLY.**

E. Review and Action regarding Shed, 410 Crescent Lane, Dennis F. Pecus (att)

Applicant Dennis Pecus, 410 Crescent Lane, proposes an 8' x 13' backyard shed to store woodworking equipment, a lawnmower, a snowblower and tools. It will match the color of the house.

MOTION by Commissioner Kucharski, **SECONDED** by Commissioner Gengler to approve Shed, 410 Crescent Lane, Dennis F. Pecus. **MOTION CARRIED UNANIMOUSLY.**

F. Review and Action regarding Single-Family Home Construction, 636 Green Bay Road, Mikkelson Builders, Cameron Mikkelson (att)

Fred Dahms of Mikkelson Builders was present to discuss plans to build a home on a vacant lot at 636 Green Bay Road. Planner Censky reported that the project plans comply with Village Code. Director LaFond noted the lot is 0.6 acre. Mr. Dahms added the home will be approximately 2,800 square feet.

MOTION by Commissioner Gengler, **SECONDED** by Commissioner Chimenti to approve Single-Family Home Construction, 636 Green Bay Road, Mikkelson Builders, Cameron Mikkelson. **MOTION CARRIED UNANIMOUSLY.**

G. Review and Recommendation to the Village Board to Amend the Sign Code to Regulate Feather and Flag Banners (att)

Director LaFond noted the Sign Code revisions reflect changes discussed at the last meeting.

The proposed Ordinance change covers both A-frame signs and feather banners. Business owners will be permitted to have one or the other at the same time with an annual permit. Commissioners agreed to strike a requirement from the proposed Ordinance that A-frame signs must be framed around the edges and that A-frame signs include the business name or logo.

MOTION by Commissioner Chimenti, **SECONDED** by Commissioner Gengler to Recommend to the Village Board to Amend the Sign Code to Regulate Feather and Flag Banners. **MOTION CARRIED UNANIMOUSLY.**

VI. STAFF REPORT

A. Staff Report (att)

Director LaFond noted staff approved fence applications for 250 Green Bay Road and 328 Washington Court. Code Compliance included a tenant complaint at 611 North Main Street, a complaint about storage at 120 North Main Street, abandoned vehicles at 239 North Main Street and an overflowing dumpster at 217 Vernon Avenue. Police reported a boat and trailer in a driveway at 200 Madero Drive; signs in the right of way at 105 West Freistadt Road and the 200 block of North Main Street; rubbish in the road at 340 Crescent Lane; unregistered vehicles at 223 Green Bay Road and 225 Green Bay Road; and snow on the sidewalk at 192 Green Bay Road, 215 North Main Street, 525-A North Main Street, 206 Elm Street, 101 Ellenbecker Road and 206 Elm Street.

VII. ADJOURNMENT

MOTION by Commissioner Kucharski, **SECONDED** by Commissioner Chimenti to adjourn the meeting at 7:10 PM. **MOTION CARRIED UNANIMOUSLY.**

Submitted by,

Gary Achterberg
Administrative Assistant

Signed by,

Andy LaFond
Director of Community Services/Public Works



Village of Thiensville

Plan Commission Application

Property Address: 425 Alta Loma Drive, Thiensville WI 53092

12-054-01-02-000

Tax Key #

R-1

Current Zoning

Property Owner

Ross Grenfell

Name

Applicant ☒ Same as owner

Name

425 Alta Loma Dr

Address

262-853-2754

Phone

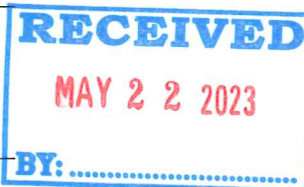
rgrenfell@yahoo.com

Email address

Address

Phone

Email address



Project description

Please describe your project in detail. Include details about height and dimensions, color, materials used and setbacks from the street and property lines. Provide any information that you believe will assist staff in reviewing and approving your request.

10'x12'x11' shed located in the backyard of the property. The shed will be Deep Amazon (Dark blue) with white trim. These colors match the house. The shingles will be charcoal colored Architectural shingles to match the house. The foundation will consist of the manufactured pressure treated floor with 9 4x4 (pressure treated) posts. The west side will be setback 4 ft from the property line. The north side will have a setback 10 ft from the property line.

Ross Grenfell

Applicant's Signature

05/21/23

Date

A complete application along with the appropriate fees shall be submitted by the deadline stated on the meeting schedule to the Village Clerk In order for an application to be considered complete, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. The applicant is responsible to pay planner charges after a first half hour of planner time. Owner, architect, builder or owner's representative must attend the Plan Commission meeting for action to be taken. Work cannot begin until Plan Commission approval and paid and approved building permit.

Planner Fee Schedule: The Village provides the first half hour of the Village Planner's services. Any additional plan review time is billed at \$50.00/hr

Application Checklist: *Two Paper Copies and an electronic copy with files in PDF format (plan size 11X17) must be submitted for all applicable items below for planner review and the Plan Commission packet.*

- ☐ Submit scaled site plan with proposed location and setbacks with accurate dimensions indicating the property size, its relationship to surrounding properties, existing topography, key natural features and show the location of all existing and proposed:

A. Structures, showing all entrances	K. Dumpster location and screening
B. Driveways & street access	L. Location, color, message, dimensions and materials of all signs
C. Parking areas	M. Location, size and character of dedicated or private open space
D. Walkways	N. Location of sanitary sewer, storm sewer, water mains and services and storm water detention facilities
E. Existing landscaping	O. Floor plan of building or addition
F. Abutting public and private streets	
G. Public easements	
H. Surrounding land uses and zoning	
I. Retaining walls	
J. Decorative accessories	

- ☐ Storm water management plan.
- ☐ Completed building permit application (including two full size plan sets with state stamp for commercial and multi-family).
- ☐ Grading plan showing existing and finished grades.
- ☐ Professionally prepared landscape plan.
- ☐ Lighting plan; photometric plan, type of fixtures, wattage and location and height of lighting structures.
- ☐ Topographic data or pertinent grade elevations, if necessary, for proper remodeling of existing buildings showing finished exterior treatment.
- ☐ Colored elevations of proposed buildings, structures and fencing, or of proposed remodeling of existing buildings, showing finished exterior treatment and a listing of building materials.

Is property in Thiensville's Historic District? ☐ Yes ☒ No

If yes, you must apply for a Certificate of Appropriateness with the Historic Preservation Commission. Complete the COA application. Attendance at HPC meeting is required

***All Commercial and Multi-Family projects including any change of occupancy, change of use, or construction/alteration must be submitted to the Thiensville Fire Department for review, approval, and inspections.**

=====

VILLAGE STAFF REVIEW

☒ Application Complete. Items needed: _____

Submitted to Village Planner on 5/22/23 Planner Staff Report Completed on _____

Plan Commission Meeting Date 6/13/23

☐ Historic Preservation Approval (if needed) on N/A

ADDITIONAL REMARKS/CONDITIONS:

F41: This is a shed being purchased from Costco. - JH

_____	_____	_____
Village Staff	Title	Date

Grenfell shed at 425 Alta Loma Drive

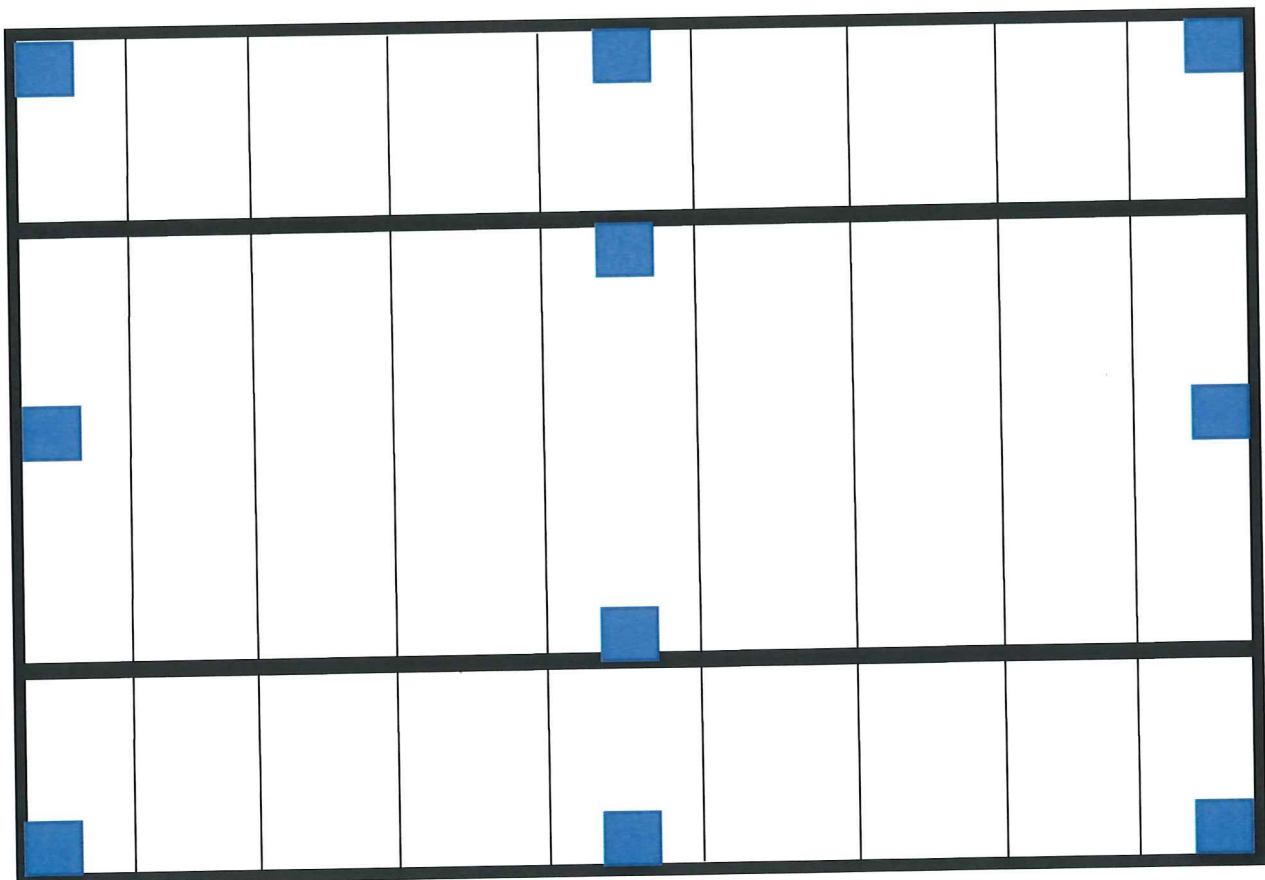


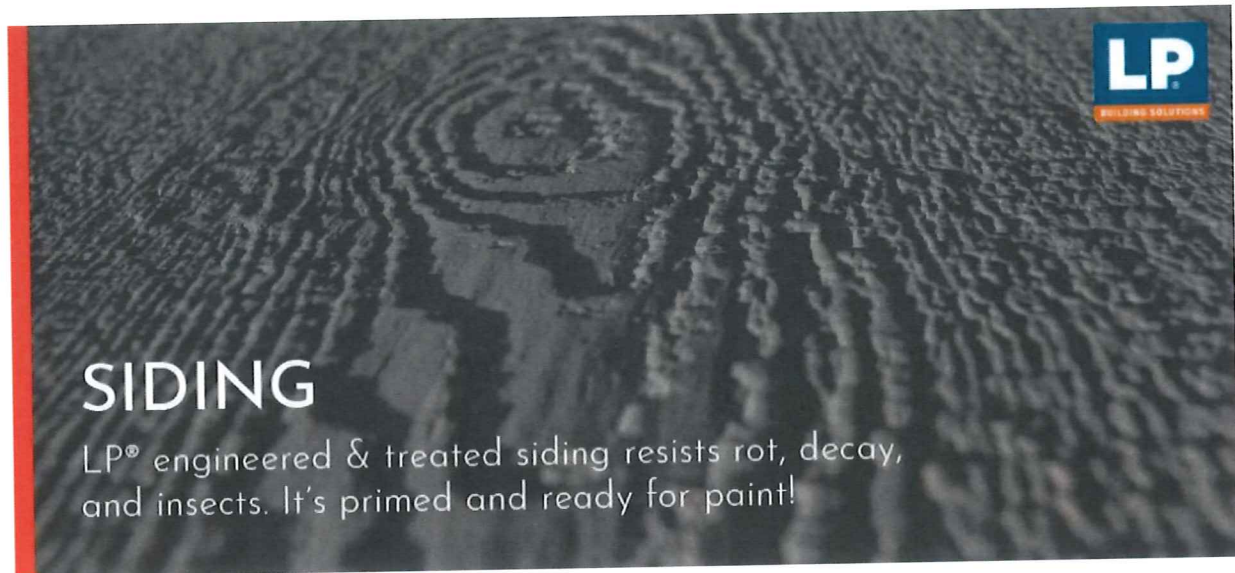
Grenfell shed at 425 Alta Loma Drive





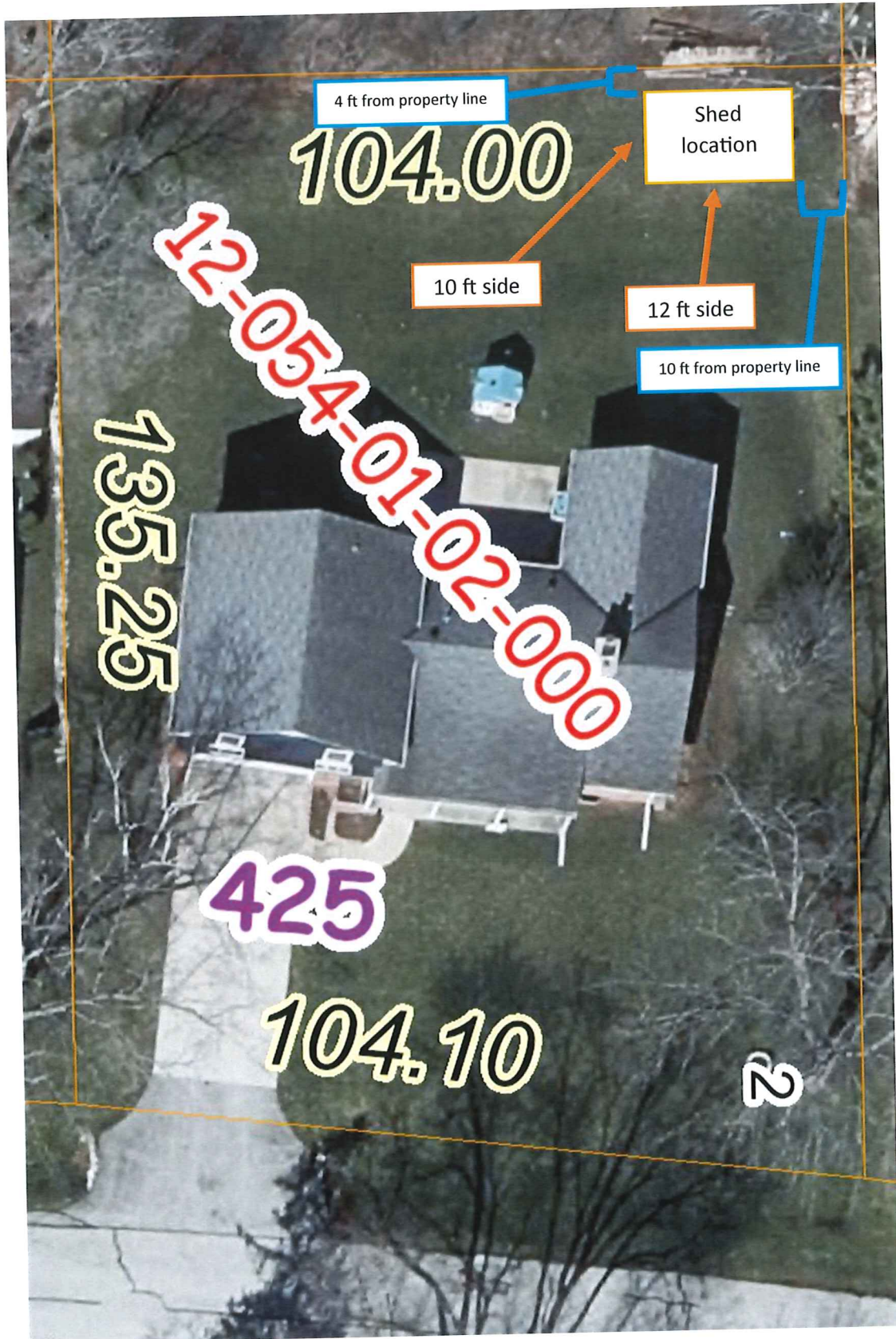
4x4 pole placement





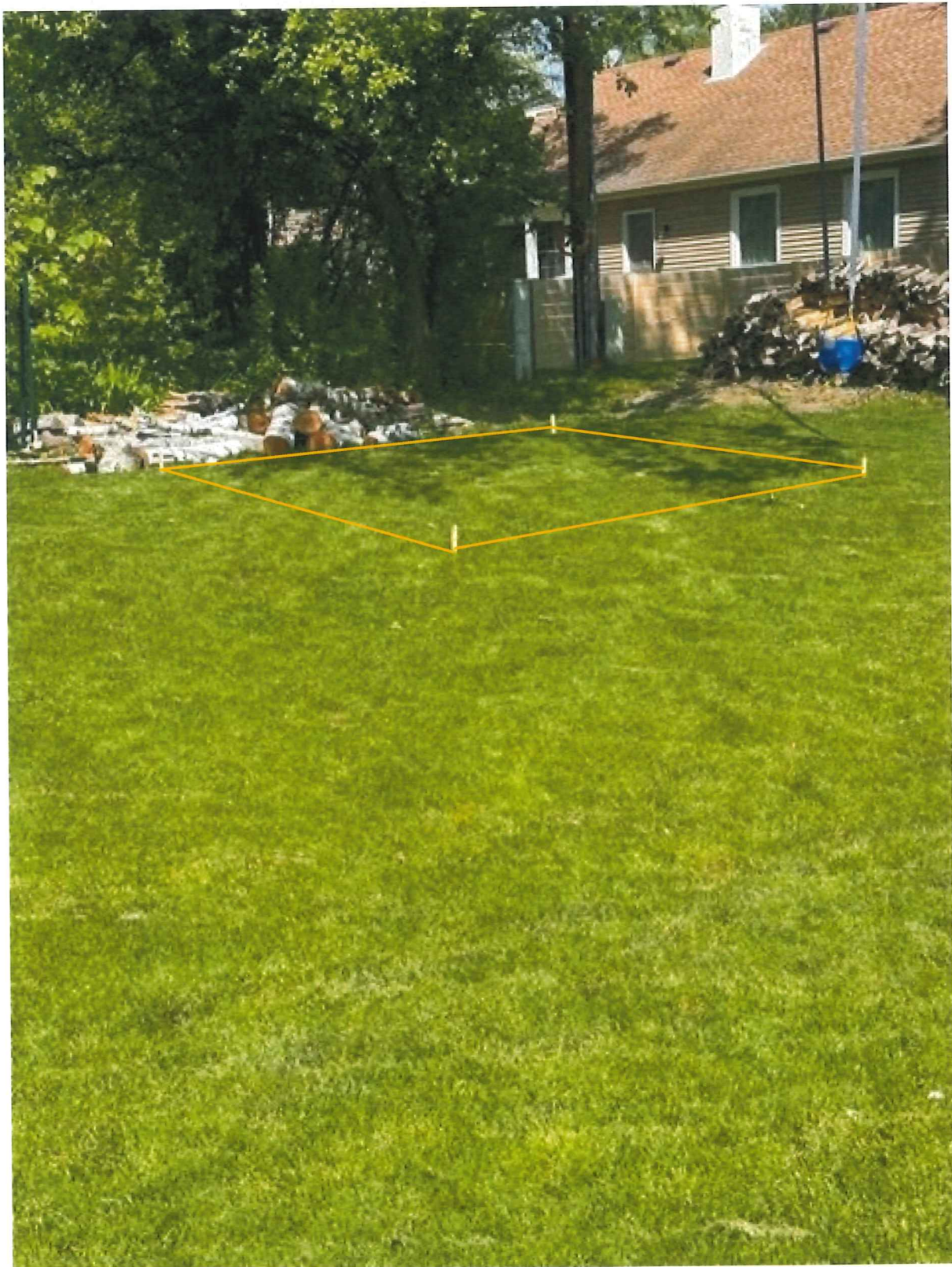
- **Common Size (w x d x h):** 10' x 12' x 10'11"
- **Actual Interior Dimensions (w x d):** 10'x12'
- **Floor size:** 10'x12'
- **Recommended Concrete Slab Size:** 10' x 12'
- **Type of Floor included:** Treated frame (5/8 in.) OSB Decking
- **Wood Floor Decking:** Included
- **Floor weight capacity:** 40 lbs. /sq.ft. | 6,345 lbs.
- **Peak Height:** 10'11"
- **Sidewall Height:** 6'
- **Cubic Feet Storage:** 960
- **Square Footage:** 120
- **Double Door Opening Width:** 56"
- **Double Door Opening Height:** 70.5"
- **Wall Framing:** 2"x4"
- **Joist Spacing:** 16"
- **Stud Spacing:** 24"
- **Number of Rafters:** 6
- **Rafter Spacing:** 24"
- **Vents:** (2) 8"x16"
- **Overhang Length (Front):** 7.5"
- **Overhang Length (sides):** 6"
- **Transom Windows:** (1) 9 x 42; (4) 9 x 19
- **Workbench/loft:** 20" x 113"
- **Pegboard Material:** Hardboard
- **Aluminum Threshold:** Included
- **Continuous Hinges:** Included
- **Type of lock Handle:** T- handle
- **Shed Roof Style:** Gable
- **Roof Pitch:** 9.5/12
- **Maximum Roof Load (lb./ sq. ft.):** 30 lbs.
- **Maximum Wind Resistance (mph):** 90 m.p.h.
- **Warranty:** 15-year limited material | 50-year limited on LP® SmartSide® siding
- **Shed Kit Dimensions:** 48.5" x 96.5" x 21.75"
- **Country of origin:** USA
- **Tools needed for assembly:** Hammer, tape measure, drill, screwdriver, ladder, chalk line, framing square and pencil

Not drawn to scale

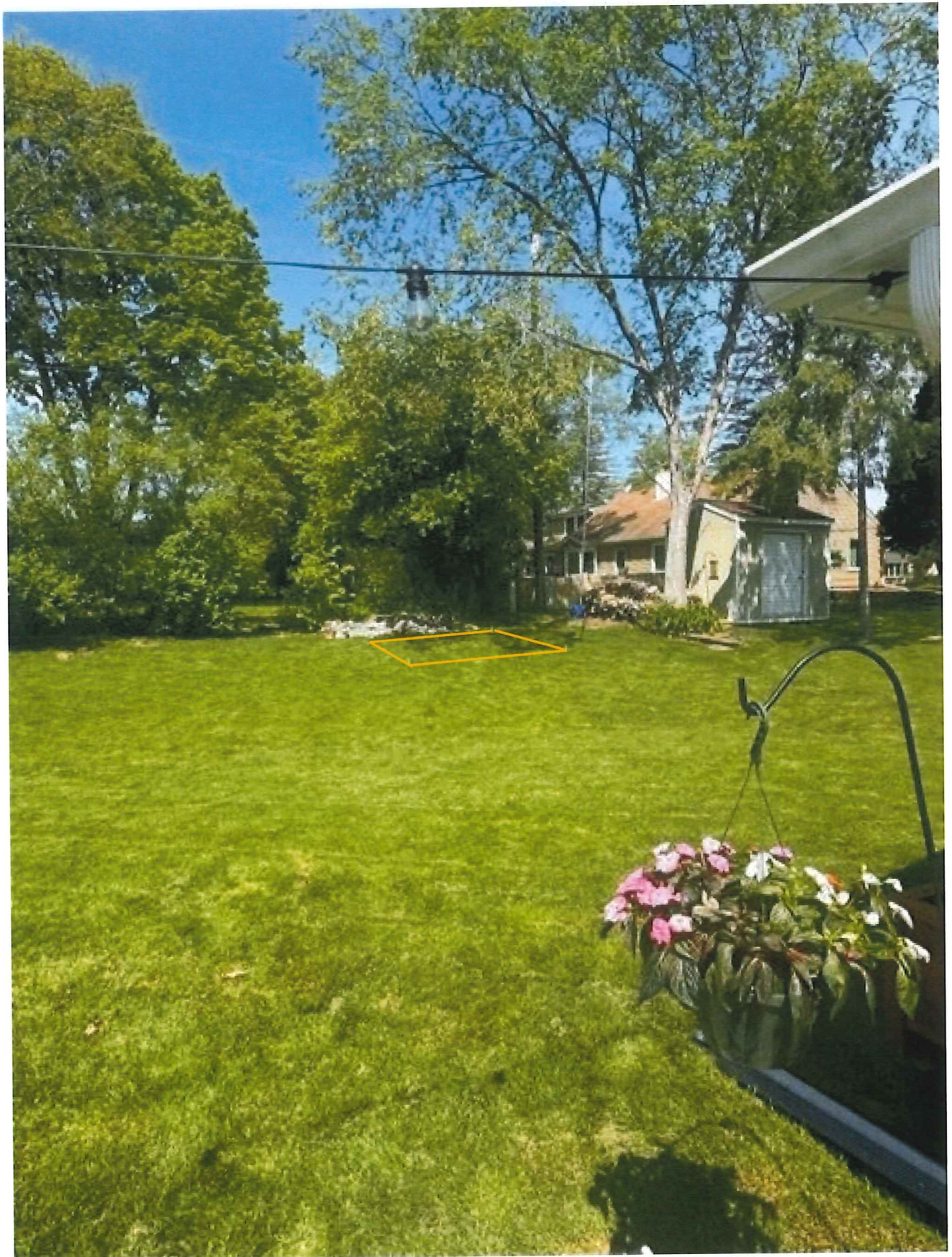


Grenfell shed at 425 Alta Loma Drive

Proposed location pictures



Grenfell shed at 425 Alta Loma Drive



Grenfell shed at 425 Alta Loma Drive



Grenfell shed at 425 Alta Loma Drive



262-420-4732 SAFEbuilt.		WI UNIFORM PERMIT APPLICATION Wlinspections@safebuilt.com <i>Inspections need to be called in by 4 pm for next business day inspections.</i>			PERMIT NO. _____	
☐ TOWN ☒ VILLAGE ☐ CITY OF <u>Thiensville</u> COUNTY: <u>Ozaukee</u> PROJECT LOCATION (Building Address) <u>425 Alta Loma Drive</u>		PROJECT DESCRIPTION <u>Shed</u>			TAXKEY# _____	
					☐ COMMERCIAL ☒ ONE & TWO FAMILY	
Owner's Name <u>Ross Grenfell</u> Mailing Address - Include City & Zip <u>425 Alta Loma Dr. Thiensville, WI 53092</u> Telephone - Include Area Code <u>262-853-2754</u>		Construction Contractor (DC Lic No.) _____ Mailing Address - Include City & Zip _____ Telephone - Include Area Code _____				
Dwelling Contractor Qualifier (DCQ Lic No.) _____ Dwelling Contractor Qualifier shall be an owner, CEO, COB, or employee of Dwelling Contractor		Telephone - Include Area Code _____				
Plumbing Contractor (Lic No.) _____ Mailing Address - Include City & Zip _____		Telephone - Include Area Code _____				
Electrical Contractor (Lic No.) _____ Mailing Address - Include City & Zip _____		Telephone - Include Area Code _____				
HVAC Contractor (Lic No.) _____ Mailing Address - Include City & Zip _____		Telephone - Include Area Code _____				

RECEIVED
MAY 22 2023
BY:

PROJECT INFORMATION			Subdivision Name _____			Lot No. _____	Block No. _____
Zoning District _____	Lot Area _____ Sq. Ft.	N.S.E.W. _____	Front _____ Ft.	Rear _____ Ft.	Left _____ Ft.	Right _____ Ft.	

1a. PROJECT ☐ New ☐ Addition ☐ Raze ☒ Single Family ☐ Alteration ☐ Repair ☐ Move ☐ Two Family ☒ Other <u>Shed</u> ☐ Multi ☐ Commercial	3. TYPE ☒ Single Family ☐ Two Family ☐ Multi ☐ Commercial	6. STORIES ☒ 1-Story ☐ 2-Story ☐ Other	9. HVAC EQUIPMENT ☐ Forced Air Furnace ☐ Radiant Baseboard or Panel ☐ Heat Pump ☐ Boiler ☐ Central Air Conditioning ☐ Other _____	12. ENERGY SOURCE <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th>Fuel</th> <th>Nat. Gas</th> <th>L.P.</th> <th>Oil</th> <th>Elec.</th> <th>Solid</th> <th>Solar</th> </tr> <tr> <td>Space Htg</td> <td>☐</td> <td>☐</td> <td>☐</td> <td>☐</td> <td>☐</td> <td>☐</td> </tr> <tr> <td>Water Htg</td> <td>☐</td> <td>☐</td> <td>☐</td> <td>☐</td> <td>☐</td> <td>☐</td> </tr> </table> * ☐ Dwelling unit will have 3 kilowatt or more installed electric space heater equipment capacity.	Fuel	Nat. Gas	L.P.	Oil	Elec.	Solid	Solar	Space Htg	☐	☐	☐	☐	☐	☐	Water Htg	☐	☐	☐	☐	☐	☐
Fuel	Nat. Gas	L.P.	Oil	Elec.	Solid	Solar																			
Space Htg	☐	☐	☐	☐	☐	☐																			
Water Htg	☐	☐	☐	☐	☐	☐																			
1b. GARAGE ☐ Attached ☐ Detached	4. CONST. TYPE ☐ Site Constructed ☐ Mfd. UDC ☐ Mfd. HUD	7. FOUNDATION ☐ Concrete ☐ Masonry ☐ Treated Wood ☐ ICF ☐ Other _____	10. PLUMBING Sewer ☐ Municipal ☐ Septic No. _____	13. HEAT LOSS (Calculated) Total _____ BTU/HR																					
2. AREA Basement _____ Sq. Ft. Living Area _____ Sq. Ft. Garage _____ Sq. Ft. Other _____ Sq. Ft. TOTAL _____	5. ELECTRICAL Entrance Panel Size: _____ amp Service: ☐ New ☐ Rewire _____ Phase _____ Volts ☐ Underground ☐ Overhead Power Company: _____	8. USE ☐ Seasonal ☐ Permanent ☐ Other _____	11. WATER ☐ Municipal Utility ☐ Private On-Site Well	14. ESTIMATED COST \$ <u>3300.00</u>																					

I understand that I: am subject to all applicable codes, laws, statutes and ordinances, including those described on the Notice to Permit Applicants form; am subject to any conditions of this permit; understand that the issuance of this permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If one acre or more of soil will be disturbed, I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and the owner shall sign the statement on the Notice to Permit Applicants form. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.

☒ I vouch that I am or will be an owner-occupant of this dwelling for which I am applying for an erosion control or construction permit without a Dwelling Contractor Certification and have read the cautionary statement regarding contractor responsibility on the Notice to Permit Applicants form.

APPLICANT (PRINT): Ross Grenfell **SIGN:** [Signature] **DATE:** 5/21/23

APPROVAL CONDITIONS This permit is issued pursuant to the attached conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. Owner/Builder solely responsible for compliance with all applicable State & Local Building and Zoning codes.

INSPECTIONS NEEDED Building ☐ Footing ☐ Foundation ☐ Rough ☐ Insulation ☐ Bsmt. Fl. ☐ Final
 Electric ☐ Rough ☐ Service ☐ Final Plumbing ☐ Rough ☐ Underfloor ☐ Final HVAC ☐ Rough ☐ Final

FEES: Building Fee _____ Zoning Fee _____ WI Seal _____ Electric Fee _____ Plumbing Fee _____ HVAC Fee _____ Adm. Fee _____ Other _____ Total _____ \$ 0.00	PERMIT(S) ISSUED Bldg. # At top of form _____ Zoning # _____ Elec. # _____ Plmb. # _____ HVAC # _____	SEAL NO. _____ Municipality No. _____	RECEIPT CK # _____ Amount \$ _____ Date _____ From _____ Rec By. _____	PERMIT EXPIRATION: Permit expires two years from date issued unless municipal ordinance is more restrictive.	PERMIT ISSUED BY MUNICIPAL AGENT: Name _____ Date _____ Certification No. _____
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BACKYARD SHED 425 ALTA LOMA CIRCLE

To: Village of Thiensville, Plan Commission

Prepared by: Jon Censky, Village Planner

Date: June 13, 2023

Item No.

General Information

Applicant:

Ross Grenfell

Status of Applicant:

Owner

Requested Action:

Backyard Shed

Zoning

R-1 Single Family Residential District

Proposed Zoning:

No Change

Location:

425 Alta Loma Circle

Land Use Plan Designation:

Residential

Existing Land Use:

Single Family

Report:

The applicant is proposing to install a backyard shed to be located at the northwest corner of his property, 4' from the west property lines and 10' from the north line. The shed will measure 10' x 12' for 120 square feet in size and will have a height of 11'. The shed will be Dark Blue with white trim and light blue door.

According to **Sections 17.0603. E.** of the zoning code, **Accessory structures, such as garden or utility sheds, shall be placed or erected in the rear yard provided, cannot exceed 150 square feet and shall not be closer than 5 feet to the principle structure, shall not exceed 12 feet in height and shall be located no closer than 3 feet to any property line.**

Staff Comments:

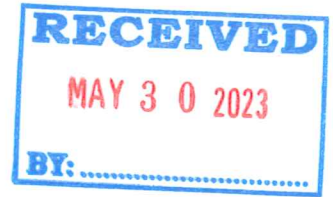
Staff's review indicates full compliance with the R-1 requirements that therefore approval is recommended subject to the following:

- The applicant securing a building permit prior to construction.



Village of Thiensville

Plan Commission Application



Property Address: 301 CRESCENT LN, Thiensville WI 53092

Tax Key # 12-051-0012-000

Current Zoning R-1

Property Owner

Applicant ☒ Same as owner

Name MICHAEL SMITH

Name

Address 301 CRESCENT LN

Address

Phone 414-916-0930

Phone

Email address MICHAEL SMITH 916 @ GMAIL.COM

Email address

Project description

Please describe your project in detail. Include details about height and dimensions, color, materials used and setbacks from the street and property lines. Provide any information that you believe will assist staff in reviewing and approving your request.

THIS WILL BE FOR A SHALLER STYLE SHED. BOTH THE
TRIM AND WALLS WILL BE PAINTED TO MATCH EXISTING
HOME. SIZE TO BE 10 X 12 AND 120 SQ/FT.

• LOCATION IN BACK YARD OF HOME AND
3 1/2 - 4' OFF PROPERTY LINE ON ALL SIDES

PLEASE REVIEW ATTACHED PROPOSAL + SKETCH

Applicant's Signature

Date

A complete application along with the appropriate fees shall be submitted by the deadline stated on the meeting schedule to the Village Clerk In order for an application to be considered complete, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. The applicant is responsible to pay planner charges after a first half hour of planner time. Owner, architect, builder or owner's representative must attend the Plan Commission meeting for action to be taken. Work cannot begin until Plan Commission approval and paid and approved building permit.

Planner Fee Schedule: The Village provides the first half hour of the Village Planner's services. Any additional plan review time is billed at \$50.00/hr

Application Checklist: *Two Paper Copies and an electronic copy with files in PDF format (plan size 11X17) must be submitted for all applicable items below for planner review and the Plan Commission packet.*

- ☒ Submit scaled site plan with proposed location and setbacks with accurate dimensions indicating the property size, its relationship to surrounding properties, existing topography, key natural features and show the location of all existing and proposed:

A. Structures, showing all entrances	K. Dumpster location and screening
B. Driveways & street access	L. Location, color, message, dimensions and materials of all signs
C. Parking areas	M. Location, size and character of dedicated or private open space
D. Walkways	N. Location of sanitary sewer, storm sewer, water mains and services and storm water detention facilities
E. Existing landscaping	O. Floor plan of building or addition
F. Abutting public and private streets	
G. Public easements	
H. Surrounding land uses and zoning	
I. Retaining walls	
J. Decorative accessories	

- ☐ Storm water management plan.
- ☐ Completed building permit application (including two full size plan sets with state stamp for commercial and multi-family).
- ☐ Grading plan showing existing and finished grades.
- ☐ Professionally prepared landscape plan.
- ☐ Lighting plan; photometric plan, type of fixtures, wattage and location and height of lighting structures.
- ☐ Topographic data or pertinent grade elevations, if necessary, for proper remodeling of existing buildings showing finished exterior treatment.
- ☐ Colored elevations of proposed buildings, structures and fencing, or of proposed remodeling of existing buildings, showing finished exterior treatment and a listing of building materials.

Is property in Thiensville's Historic District? ☐ Yes ☒ No

If yes, you must apply for a Certificate of Appropriateness with the Historic Preservation Commission. Complete the COA application. Attendance at HPC meeting is required

***All Commercial and Multi-Family projects including any change of occupancy, change of use, or construction/alteration must be submitted to the Thiensville Fire Department for review, approval, and inspections.**

=====

VILLAGE STAFF REVIEW

☒ Application Complete. Items needed: _____

Submitted to Village Planner on 5/30/23 Planner Staff Report Completed on _____

Plan Commission Meeting Date 6/13/23

☐ Historic Preservation Approval (if needed) on _____

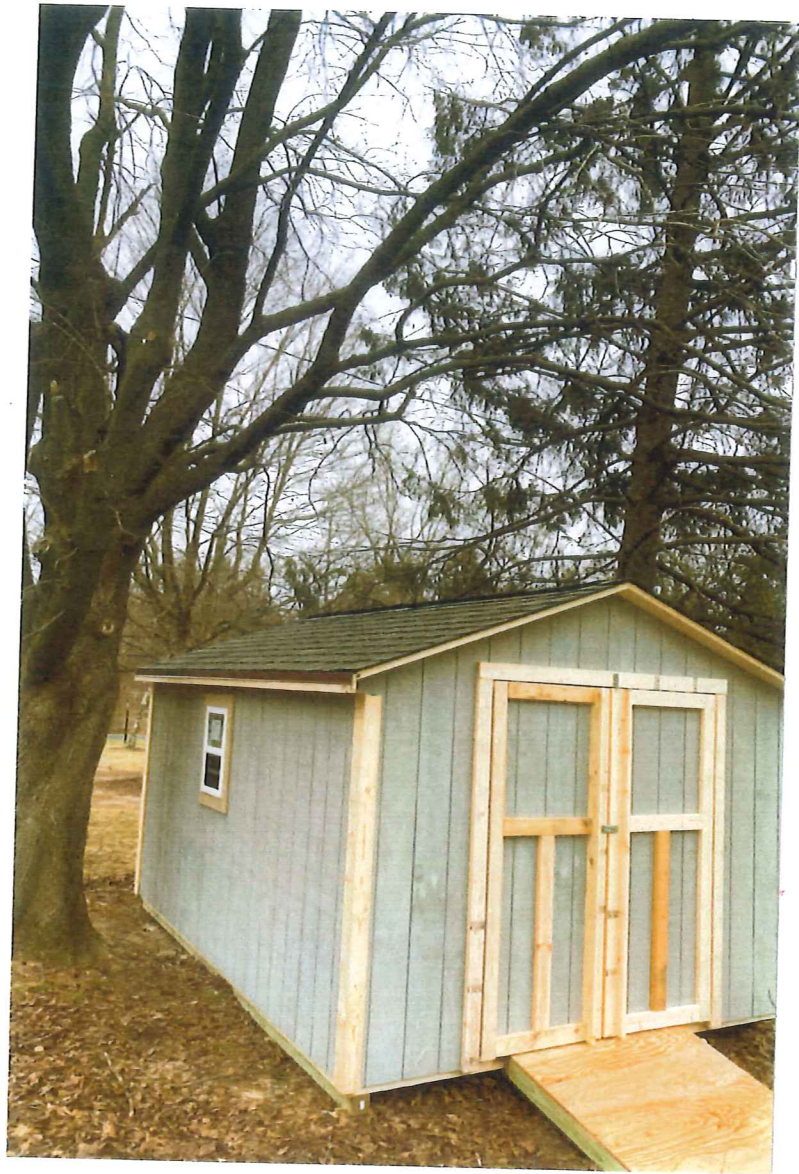
ADDITIONAL REMARKS/CONDITIONS:

Village Staff

Title

Date





ESTIMATE

Prepared For

Micheal Smith
301 Crescent Ln Theinsville Wi 53092
(414) 916-0930

Rains Built Storage Sheds

N68 W12467 Appleton Ave
Menomonee Falls, Wi 53051
Phone: (262) 470-9879
Email: david.sheds@gmail.com

Estimate # 415

Date 05/02/2023

Description	Total
10x12 gable Standard specs included in this price are as follows: Wood floor built on treated 4x4s and leveled. 2x4 floor joists every 12 oc with 5/8" OSB sheeting 6' sidewalls with studs every 16" oc and a double top plate 4/12 pitch rafters every 24" oc. LP Smartside T-1-11 siding at 3/8" thick and primed Otherwise No paint is included	\$4,050.00
Doors Standard - 64" total opening Ask if you want a different size Located on the 12' sidewall	\$0.00
Shingles Black	\$0.00
Ridge vent Mesh material under the caps of the peak of the roof.	\$90.00
Window Standard 18x24" white white vinyl with screen and lock	\$215.00

Ramp - all treated wood	\$250.00
60" wide	
Treated deck board finish.	
7' sidewalls	\$150.00
clear brush	\$175.00
Cut to the ground and remove the brush (not the roots).	
We will take the items away to dispose of.	

Subtotal	\$4,930.00
general tax	\$187.20
Total	\$5,117.20

Micheal Smith

262-420-4732 SAFEbuilt.		WI UNIFORM PERMIT APPLICATION WIinspections@safebuilt.com <i>Inspections need to be called in by 4 pm for next business day inspections.</i>				PERMIT NO. TAXKEY#																						
		☐ TOWN ☒ VILLAGE ☐ CITY OF Thiensville COUNTY: Ozaukee		PROJECT LOCATION (Building Address) 301 CRESCENT LN THIENSVILLE		PROJECT DESCRIPTION STORAGE SHED ☐ COMMERCIAL ☒ ONE & TWO FAMILY																						
Owner's Name MICHAEL SMITH		Mailing Address - Include City & Zip 301 CRESCENT LN THIENSVILLE WI		Telephone - Include Area Code 414-916-8930																								
Construction Contractor (DCLic No.) RAINS BUILDS STORAGE SHEDS		Mailing Address - Include City & Zip N68 W12467 APPLETON AVE (FMC)		Telephone - Include Area Code 262-470-9879																								
Dwelling Contractor Qualifier (DCQLic No.)		Dwelling Contractor Qualifier shall be an owner, CEO, COB, or employee of Dwelling Contractor		Telephone - Include Area Code																								
Plumbing Contractor (Lic No.)		Mailing Address - Include City & Zip		Telephone - Include Area Code																								
Electrical Contractor (Lic No.)		Mailing Address - Include City & Zip		Telephone - Include Area Code																								
HVAC Contractor (Lic No.)		Mailing Address - Include City & Zip		Telephone - Include Area Code																								
PROJECT INFORMATION				Subdivision Name		Lot No.																						
Zoning District		Lot Area Sq. Ft.		N.S.E.W. Setbacks		Block No.																						
1a. PROJECT		3. TYPE		6. STORIES		9. HVAC EQUIPMENT																						
☒ New ☐ Addition ☐ Raze ☐ Alteration ☐ Repair ☐ Move ☒ Other STORAGE SHEDS		☐ Single Family ☐ Two Family ☐ Multi ☐ Commercial		☐ 1-Story ☐ 2-Story ☐ Other		☐ Forced Air Furnace ☐ Radiant Baseboard or Panel ☐ Heat Pump ☐ Boiler ☐ Central Air Conditioning ☐ Other																						
1b. GARAGE		4. CONST. TYPE		7. FOUNDATION		12. ENERGY SOURCE																						
☐ Attached ☐ Detached		☐ Site Constructed ☐ Mfrd. UDC ☐ Mfrd. HUD		☐ Concrete ☐ Masonry ☐ Treated Wood ☐ ICF ☐ Other		<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th>Fuel</th> <th>Nat. Gas</th> <th>L.P.</th> <th>Oil</th> <th>Elec. *</th> <th>Solid</th> <th>Solar</th> </tr> <tr> <td>Space Htg</td> <td>☐</td> <td>☐</td> <td>☐</td> <td>☐</td> <td>☐</td> <td>☐</td> </tr> <tr> <td>Water Htg</td> <td>☐</td> <td>☐</td> <td>☐</td> <td>☐</td> <td>☐</td> <td>☐</td> </tr> </table>		Fuel	Nat. Gas	L.P.	Oil	Elec. *	Solid	Solar	Space Htg	☐	☐	☐	☐	☐	☐	Water Htg	☐	☐	☐	☐	☐	☐
Fuel	Nat. Gas	L.P.	Oil	Elec. *	Solid	Solar																						
Space Htg	☐	☐	☐	☐	☐	☐																						
Water Htg	☐	☐	☐	☐	☐	☐																						
2. AREA		5. ELECTRICAL		10. PLUMBING		13. HEAT LOSS (Calculated)																						
Basement _____ Sq. Ft. Living Area _____ Sq. Ft. Garage _____ Sq. Ft. Other _____ Sq. Ft. TOTAL _____		Entrance Panel Size: _____ amp Service: _____ New _____ Rewire _____ Phase _____ Volts _____ Underground _____ Overhead Power Company: _____		Sewer ☐ Municipal ☐ Septic No. _____		Total _____ BTU/HR																						
		8. USE		11. WATER		14. ESTIMATED COST																						
		☐ Seasonal ☐ Permanent ☐ Other		☐ Municipal Utility ☐ Private On-Site Well		\$ 5117.20																						
I understand that I: am subject to all applicable codes, laws, statutes and ordinances, including those described on the Notice to Permit Applicants form; am subject to any conditions of this permit; understand that the issuance of this permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If one acre or more of soil will be disturbed, I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and the owner shall sign the statement on the Notice to Permit Applicants form. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.																												
☐ I vouch that I am or will be an owner-occupant of this dwelling for which I am applying for an erosion control or construction permit without a Dwelling Contractor Certification and have read the cautionary statement regarding contractor responsibility on the Notice to Permit Applicants form.																												
APPLICANT (PRINT): MICHAEL SMITH				SIGN:		DATE: 5/26/23																						
APPROVAL CONDITIONS				This permit is issued pursuant to the attached conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. Owner/Builder solely responsible for compliance with all applicable State & Local Building and Zoning codes.																								
INSPECTIONS NEEDED Building ☐ Footing ☐ Foundation ☐ Rough ☐ Insulation ☐ Bsmt. Fl. ☐ Final Electric ☐ Rough ☐ Service ☐ Final Plumbing ☐ Rough ☐ Underfloor ☐ Final HVAC ☐ Rough ☐ Final																												
FEES:		PERMIT(S) ISSUED		SEAL NO.		Municipality No.																						
Building Fee _____ Zoning Fee _____ WI Seal _____ Electric Fee _____ Plumbing Fee _____ HVAC Fee _____ Adm. Fee _____ Other _____ Total \$0.00		Bldg. # At top of form Zoning # _____ Elec. # _____ Plmb. # _____ HVAC # _____		RECEIPT CK # _____ Amount \$ _____ Date _____ From _____ Rec By. _____		PERMIT EXPIRATION: Permit expires two years from date issued unless municipal ordinance is more restrictive.																						
						PERMIT ISSUED BY MUNICIPAL AGENT: Name _____ Date _____ Certification No. _____																						

BACKYARD SHED 301 Crescent Lane

To: Village of Thiensville, Plan Commission

Prepared by: Jon Censky, Village Planner

Date: June 13, 2023

Item No.

General Information

Applicant:

Michael Smith

Status of Applicant:

Owner

Requested Action:

Backyard Shed

Zoning

R-1 Single Family Residential District

Proposed Zoning:

No Change

Location:

301 Crescent Lane

Land Use Plan Designation:

Residential

Existing Land Use:

Single Family

Report:

The applicant is proposing to install a backyard shed and however, since the plans are not clear where in the backyard they propose to locate the structure, staff notes that the structure will need to be located back from the Laurel Drive plain of the house and no closer than 3' from adjacent property lines. The structure will measure 10' x 12' for 120 square feet in size and will have side walls at 12' at high.

According to **Sections 17.0603. E.** of the zoning code, **Accessory structures, such as garden or utility sheds, shall be placed or erected in the rear yard provided, cannot exceed 150 square feet and shall not be closer than 5 feet to the principle structure, shall not exceed 12 feet in height and shall be located no closer than 3 feet to any property line.**

Staff Comments:

Staff's review indicates full compliance with the R-1 requirements that therefore approval is recommended subject to the following:

- The shed to be located back from the Laurel Drive plain of the house and no closer than 3' from adjacent property lines.
- The applicant secures a building permit prior to construction.



Village of Thiensville

Plan Commission Application



Property Address: 139-141 Green Bay Road, Thiensville WI 53092
#120500307000

Tax Key #

Current Zoning

Property Owner

Shully's Events LLC

Applicant ☒ Same as owner

Beth Shully

Name

Beth/Scott Shully

Name

Address

56110 W Parkview Drive, Mequon WI

Address

Phone

414-510-6633

Phone

beth@shullyscuisine.com

Email address

Email address

Project description

Please describe your project in detail. Include details about height and dimensions, color, materials used and setbacks from the street and property lines. Provide any information that you believe will assist staff in reviewing and approving your request.

The building on the property of 139-141 Green Bay Road has been taken down, an asphalt parking lot will be added. The existing garage will remain in place.

The lot will have 21 spaces, Not sure if a curb will be added. . 1 wheelchair space. We will need a new apron for entrance off of Green Bay Road. There is a tree in the area the new driveway should go.

The first phase of the project will be leveling the area. The engineering company will stake the area. Gravel will be added to the specifications outlined in the plan.

Elevations are noted in the plans. Site is out of the floodway. See survey

Beth Shully Digitally signed by Beth Shully
Date: 2023.04.07 13:40:41 -05'00'

05/15/23

Applicant's Signature

Date

A complete application along with the appropriate fees shall be submitted by the deadline stated on the meeting schedule to the Village Clerk In order for an application to be considered complete, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. The applicant is responsible to pay planner charges after a first half hour of planner time. Owner, architect, builder or owner's representative must attend the Plan Commission meeting for action to be taken. Work cannot begin until Plan Commission approval and paid and approved building permit.

Thiensville Plan Commission Application Revised 10.10.22

Page 1 of 3

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<u>D.</u> Walkways	N. Location of sanitary sewer, storm sewer, water mains and services and storm water detention facilities
E. Existing landscaping <i>N/A</i>	O. Floor plan of building or addition
<u>F.</u> Abutting public and private streets	<i>P. PLANS -</i>
<u>G.</u> Public easements	
H. Surrounding land uses and zoning	
I. Retaining walls	
J. Decorative accessories	

- ☒ Storm water management plan.
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- ☒ Grading plan showing existing and finished grades.
- ☐ Professionally prepared landscape plan.
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- ☐ Colored elevations of proposed buildings, structures and fencing, or of proposed remodeling of existing buildings, showing finished exterior treatment and a listing of building materials.

Is property in Thiensville's Historic District? ☒ Yes ☐ No

If yes, you must apply for a Certificate of Appropriateness with the Historic Preservation Commission. Complete the COA application. Attendance at HPC meeting is required

**All Commercial and Multi-Family projects including any change of occupancy, change of use, or construction/alteration must be submitted to the Thiensville Fire Department for review, approval, and inspections.*

=====

VILLAGE STAFF REVIEW

☒ Application Complete. Items needed: _____

Submitted to Village Planner on 5/18/23 Planner Staff Report Completed on _____

Plan Commission Meeting Date 6/13/23

☐ Historic Preservation Approval (if needed) on N/A

ADDITIONAL REMARKS/CONDITIONS:

Village Staff

Title

Date

STAFF REPORT

To: Thiensville Plan Commission

Prepared by: Jon Censky, Planner

Agenda Item: 7.A.

Date: June 13, 2023

General Information

Applicant:	Beth and Scott Shully
Status of Applicant:	Owner
Location:	139–141 Green Bay Road
Requested Action:	Parking Lot Approval
Existing Zoning:	B-1 Central Business District
Lot Size:	23,057sf.
Existing Land Use:	Vacant Site

Report:

The Shully's purchased this property a number of years ago with the intent to construct a parking lot to support their satellite restaurant/catering use at 141 Green Bay Road. They recently appeared before the Historic Preservation Commission with a request to raze the existing home and with that approval, that structure has now been remove. The request before you here is to approve their proposed parking lot which is designed to support 21 stalls with one handicap stall located near the building entrance.

Staff Comments:

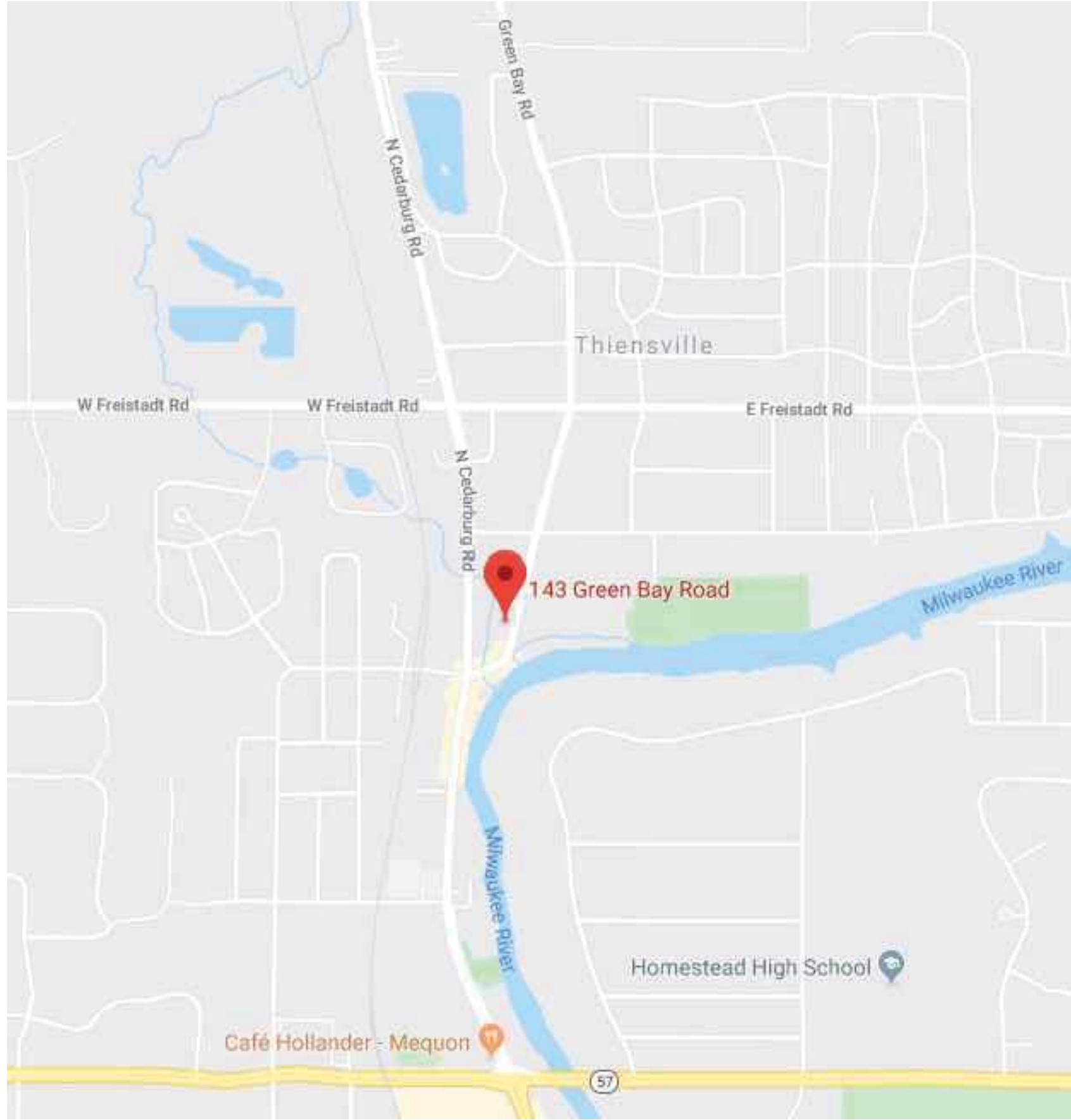
Staff notes that the existing garage and the proposed parking lot are classified as accessory structures/uses in the B-1 District which are only allowed when a principal structure exists. Since the applicant removed the principal structure on this site to pave the way for the proposed parking lot and since the applicant owns the adjacent property to the north, which has a principal structure, he will be required to combine these lots into one before installing the parking lot. By combining these lots into one the parking lot and exiting garage are permitted structures as accessory to the principal structure at 141 Green Bay Road.

Staff has not objection to this request subject to:

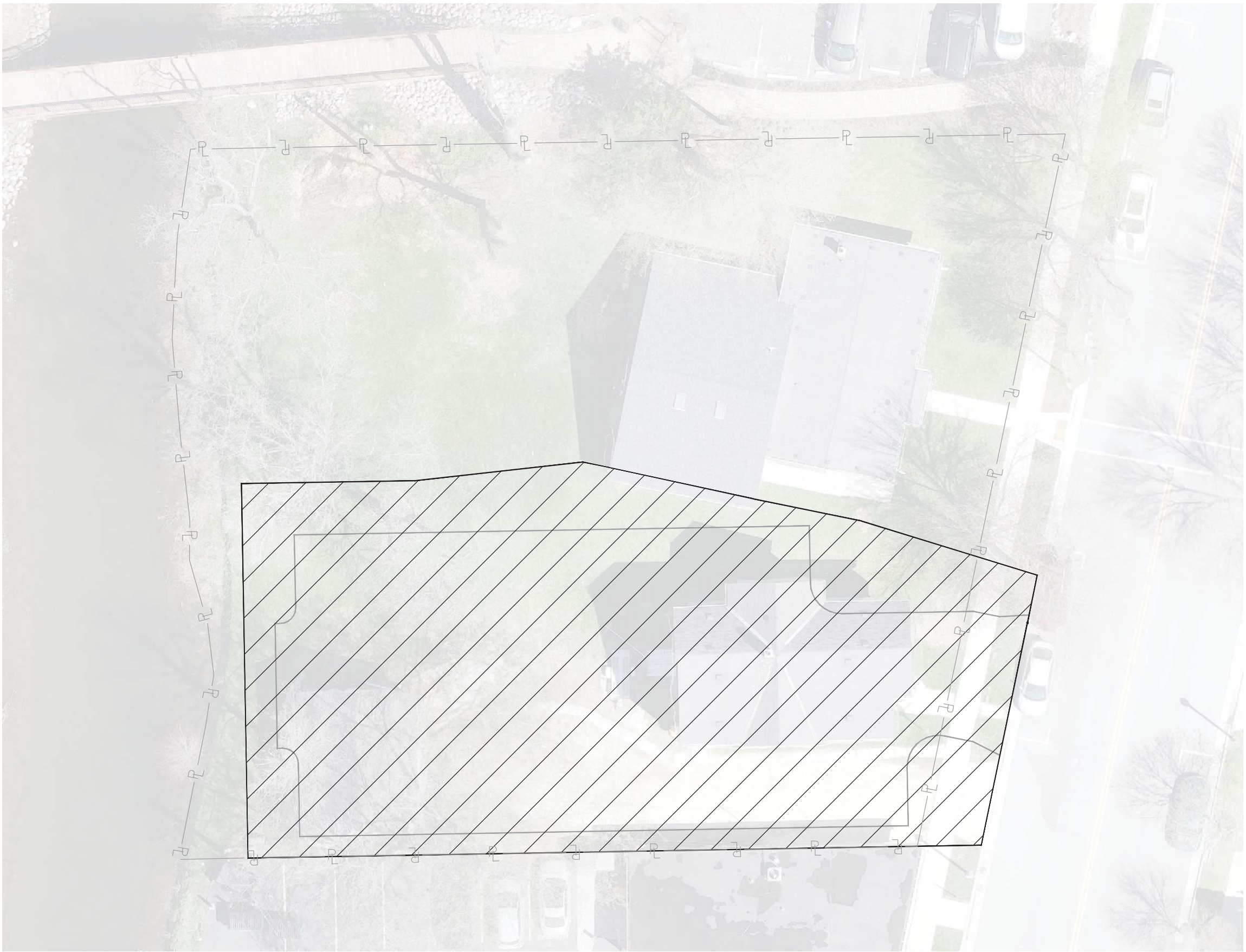
- The two lots being combined into one prior to installing the parking lot.
- The applicant installing the parking lot in accordance with Section 17.0503 of the Zoning Code.
- Resolution to any floodplain encroachment issues prior to construction of the parking lot.

Shully's Catering

Shully's Parking Lot Redevelopment
139-143 North Green Bay Road
Thiensville, WI 53092



SITE LOCATION MAP



BIRD EYE VIEW

SHEET INDEX

COVER SHEET	H0.0
OVERALL SITE PLAN	H1.0
EXISTING/ DEMOLITION PLAN	H1.1
PROPOSED SITE/GRADING PLANS	H1.2
EROSION CONTROL PLAN	H1.3
DETAILS	H1.4

SCOPE DOCUMENT

Site plan has been generated from non-survey sources, is scaled accordingly, and is provided to aid in orientation and general bidding information. Contractor is responsible to field verify existing conditions and all measurements.

Grading plan is provided to illustrate design intent for bidding purposes. Existing elevations have been provided from GPS network and are limited in accuracy. Contractor shall verify all grades and may make adjustments to ensure positive drainage as part of his responsibility to avoid areas of standing water on finish pavements.

© 2019 STR-SEG LLC

PROJECT

**Shully's Parking
Lot Redevelopment**
139-143 North Green Bay Road
Thiensville, WI 53092

CLIENT PROJECT NUMBER

•

STR PROJECT NUMBER

14817

DRAWING DATES

NUMBER	DATE	COMMENTS
--------	------	----------

DRAWING TITLE

COVER SHEET

SHEET NUMBER

H0.0

SCOPE DOCUMENT

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DRAWING DATES

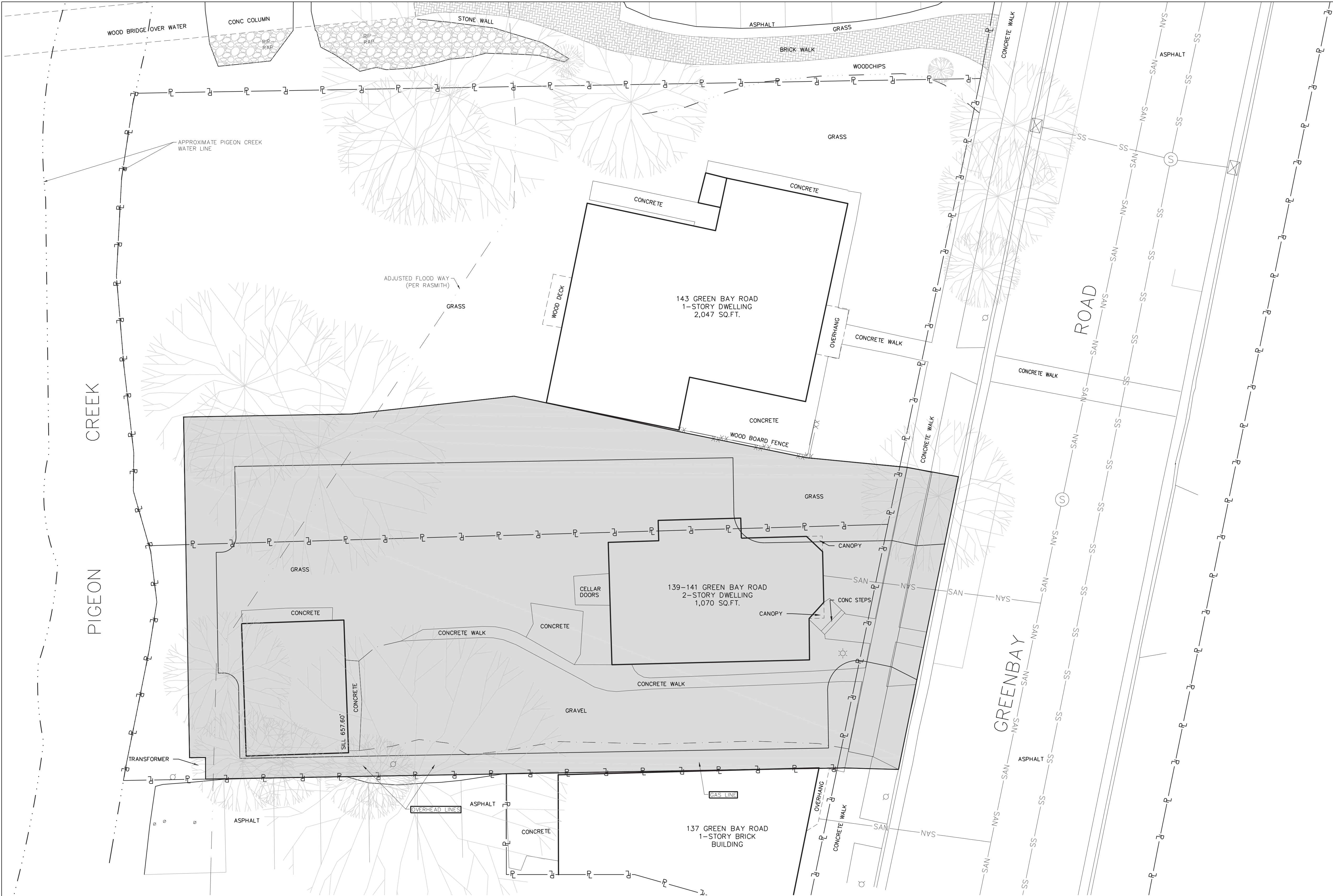
NUMBER	DATE	COMMENTS
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DRAWING TITLE

OVERALL SITE PLAN

SHEET NUMBER

H1.0



1 OVERALL SITE PLAN



SCALE:
0' 2' 5' 10' 20'

AREA OF WORK

KEY

- AREA BOUNDARY LINE
- BENCH MARK
- CORE
- MAIL BOX
- FLAG POLE
- IRON PIN
- SIGN
- BOLLARD
- LIGHT POLE
- UTILITY POLE
- SANITARY SEWER MH
- STORM SEWER MH/CB
- HYDRANT
- VALVE

SCOPE DOCUMENT

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PROJECT

**Shully's Parking
Lot Redevelopment**
139-143 North Green Bay Road
Thiensville, WI 53092

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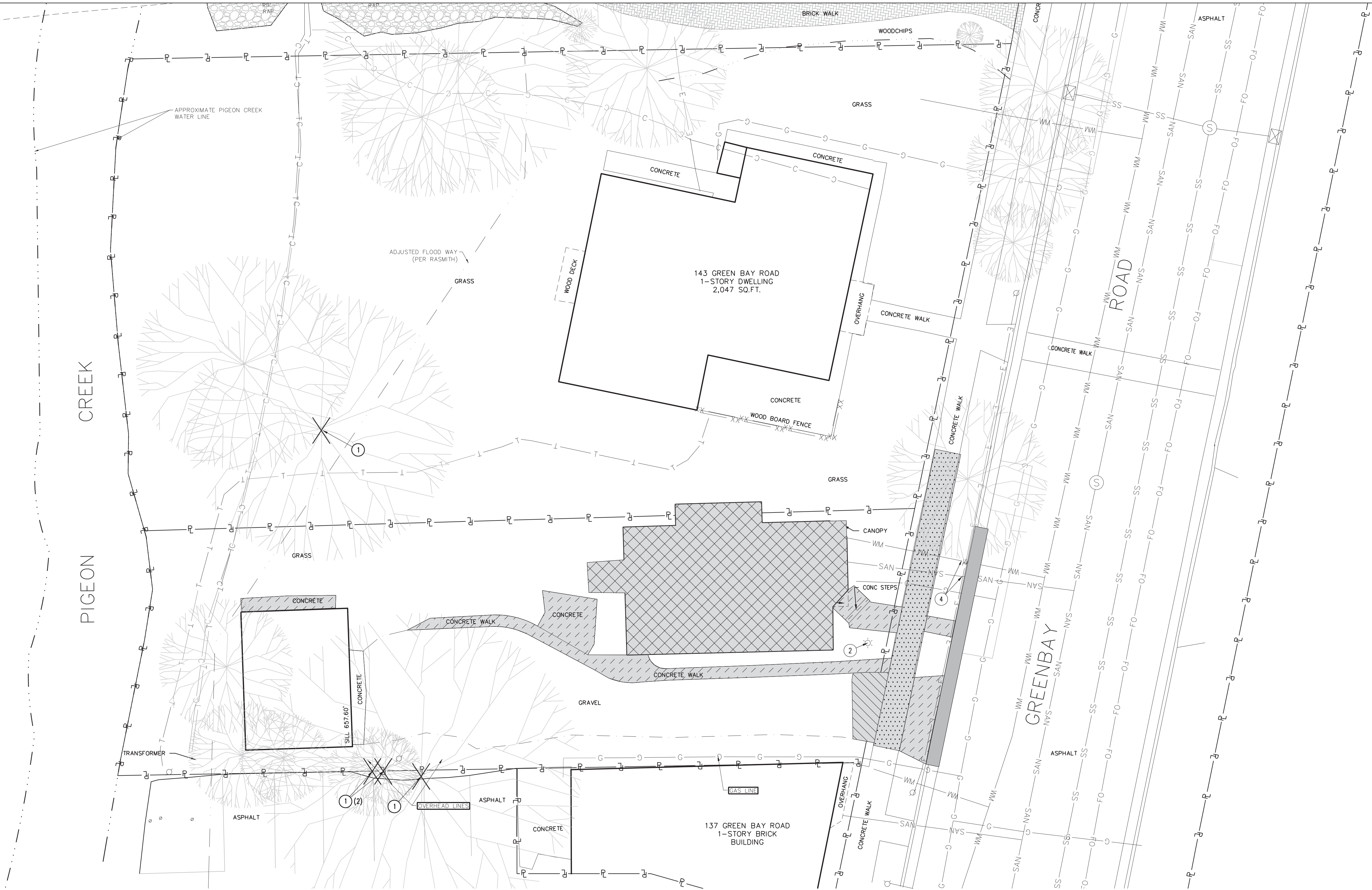
NUMBER	DATE	COMMENTS
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DRAWING TITLE

**EXISTING/
DEMOLITION PLAN**

SHEET NUMBER

H1.1



1 EXISTING/ DEMOLITION PLAN

CONSTRUCTION KEY

	REMOVE EXISTING CONCRETE	≈ 600 SQ.FT.
	BUILDING REMOVAL (SEE NOTE 3)	≈ 1660 SQ.FT.
	REMOVE EXISTING AGGREGATE & RESTORE TO GRASS	≈ 75 SQ.FT.
	REPLACE EXISTING CONCRETE WALK	≈ 290 SQ.FT.
	REPLACE EXISTING CONCRETE CURB & GUTTER	≈ 120 SQ.FT.

NOTES:

- 2335 SQ.FT. IMPERVIOUS REMOVAL
- ON SITE COMPATIBLE MATERIAL TO BE USED TO FILL VOID FROM BUILDING BASEMENT/FOUNDATION.
- COORDINATE WITH EXISTING UTILITY OWNERS FOR BUILDING SERVICE LINE REMOVAL/ABANDONMENTS
- ① REMOVE SEVEN TREES EACH AND GRIND STUMPS
- ② REMOVE LIGHT POLE
- ③ SLAB TO BE BROKEN UP AND REMAIN IN PLACE. TOP OF WALLS TO BE TAKEN DOWN TO AT LEAST 2 FEET BELOW BOTTOM OF BASE COURSE. BACKFILL WITH WELL GRADED SAND AND GRAVEL OR SRUSHED STONE, GRAVEL OR CONCRETE. COMPACT TO 92 PERCENT MODIFIED BELOW 3 FEET FROM BASE COURSE AND 95 PERCENT WITHIN UPPER 3 FEET.
- ④ ABANDON EXISTING WATER AND SEWER SERVICE AND CAP AT ROAD.

KEY

	AREA BOUNDARY LINE
	BENCH MARK
	CORE
	MAIL BOX
	FLAG POLE
	IRON PIN
	SIGN
	BOLLARD
	LIGHT POLE
	UTILITY POLE
	SANITARY SEWER MH
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	HYDRANT
	VALVE

SCOPE DOCUMENT

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PROJECT

**Shully's Parking
Lot Redevelopment**
139-143 North Green Bay Road
Thiensville, WI 53092

CLIENT PROJECT NUMBER

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DRAWING DATES

NUMBER DATE COMMENTS

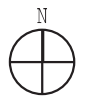
DRAWING TITLE

PROPOSED SITE PLAN

SHEET NUMBER

H1.2

1 PROPOSED SITE PLAN



SCALE:
0' 2' 5' 10' 20'

CONSTRUCTION KEY

	CONCRETE REPLACEMENT 5" CONCRETE EXISTING AGGREGATE BASE	≈ 165 SQ.FT.		ASPHALT PATCHING AT ROADWAY AS NECESSARY 5" ASPHALT EXISTING BASE	≈ 95 SQ.FT.
	NEW CONCRETE WALK 5" CONCRETE FLATWORK 4" AGGREGATE BASE	≈ 65 SQ.FT.		PLANTING BED 18" TOPSOIL, FUTURE PLANTING BY OWNERS	≈ 535 SQ.FT.
	CONCRETE DRIVE APPROACH 5" CONCRETE FLATWORK 4" AGGREGATE BASE	≈ 270 SQ.FT.		LANDSCAPE RESTORATION	≈ 2400 SQ.FT.
	ASPHALT RECONSTRUCTION 4" ASPHALT 10" AGGREGATE BASE	≈ 6850 SQ.FT.		RIP-RAP STONE	≈ 65 SQ.FT.
				30" CURB & GUTTER REPLACEMENT	≈ 46 LF.
				SAWCUT	

NOTES:

- 4,015 SQ.FT. EXISTING IMPERVIOUS
- 7,350 SQ.FT. PROPOSED IMPERVIOUS
- 3,340 SQ.FT. IMPERVIOUS EXPANSION
- ALL PAVEMENT WORK IN VILLAGE RIGHT OF WAY TO BE CONSTRUCTED PER VILLAGE REQUIREMENTS
- ALL CONCRETE FLAT WORK TO BE ADA COMPLIANT
- YELLOW STRIPING FOR ALL GENERAL PARKING AND ADA STALLS AND ACCESS ISLES
- 58' WIDE PARKING LOT DESIGNED TO ALLOW PARKING LOT TO FIT IN SPACE WHILE PROVIDING LANDSCAPE BED AT SOUTH.
- ALL WORK PERFORMED WITHIN THE VILLAGE OF THIENSVILLE RIGHT-OF-WAY (ROW) TO BE CONSTRUCTED PER VILLAGE STANDARDS.

- ① HANDICAP SIGN ON POST SET IN CONCRETE FOOTING.
② HANDICAP PARKING STALL AND SYMBOL.

GRADING NOTES:

- PROPOSED FINISH ELEVATION INCREASE FLOOD PLAIN/ FLOODWAY WATER STORAGE CAPACITY BY APPROXIMATELY 54 CU.YD. OR 202 GALLONS OF WATER.

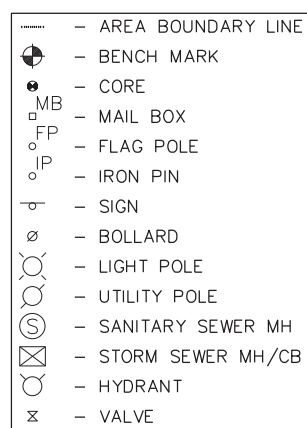
SITE BENCH MARK:

BM 1: NE FLANGE BOLT ON HYDRANT
ELEVATION = 660.98

GRADING KEY

XXX.XX	EXISTING ELEVATION
XXX.XX	FINISHED ELEVATION
RIM XXX.XX	RIM ELEVATION
CF XXX.XX	CURB FLANGE
TC XXX.XX	TOP OF CURB
TW XXX.XX	TOP OF WALK
TS XXX.XX	TOP OF STEP
C XXX.XX	CONCRETE
A XXX.XX	ASPHALT
XXX.XX LP	LOW POINT
XXX.XX HP	HIGH POINT
FFE XXX.XX	FINISH FLOOR ELEVATION
BM 1	BENCH MARK
CP 1	CONTROL POINT

KEY



SCOPE DOCUMENT

Site plan has been generated from non-survey sources, is scaled accordingly, and is provided to aid in orientation and general bidding information. Contractor is responsible to field verify existing conditions and all measurements.

Grading plan is provided to illustrate design intent for bidding purposes. Existing elevations have been provided from GPS network and are limited in accuracy. Contractor shall verify all grades and may make adjustments to ensure positive drainage as part of his responsibility to avoid areas of standing water on finish pavements.

© 2019 STR-SEG LLC

PROJECT

**Shully's Parking
Lot Redevelopment**
139-143 North Green Bay Road
Thiensville, WI 53092

CLIENT PROJECT NUMBER

•

STR PROJECT NUMBER

14817

DRAWING DATES

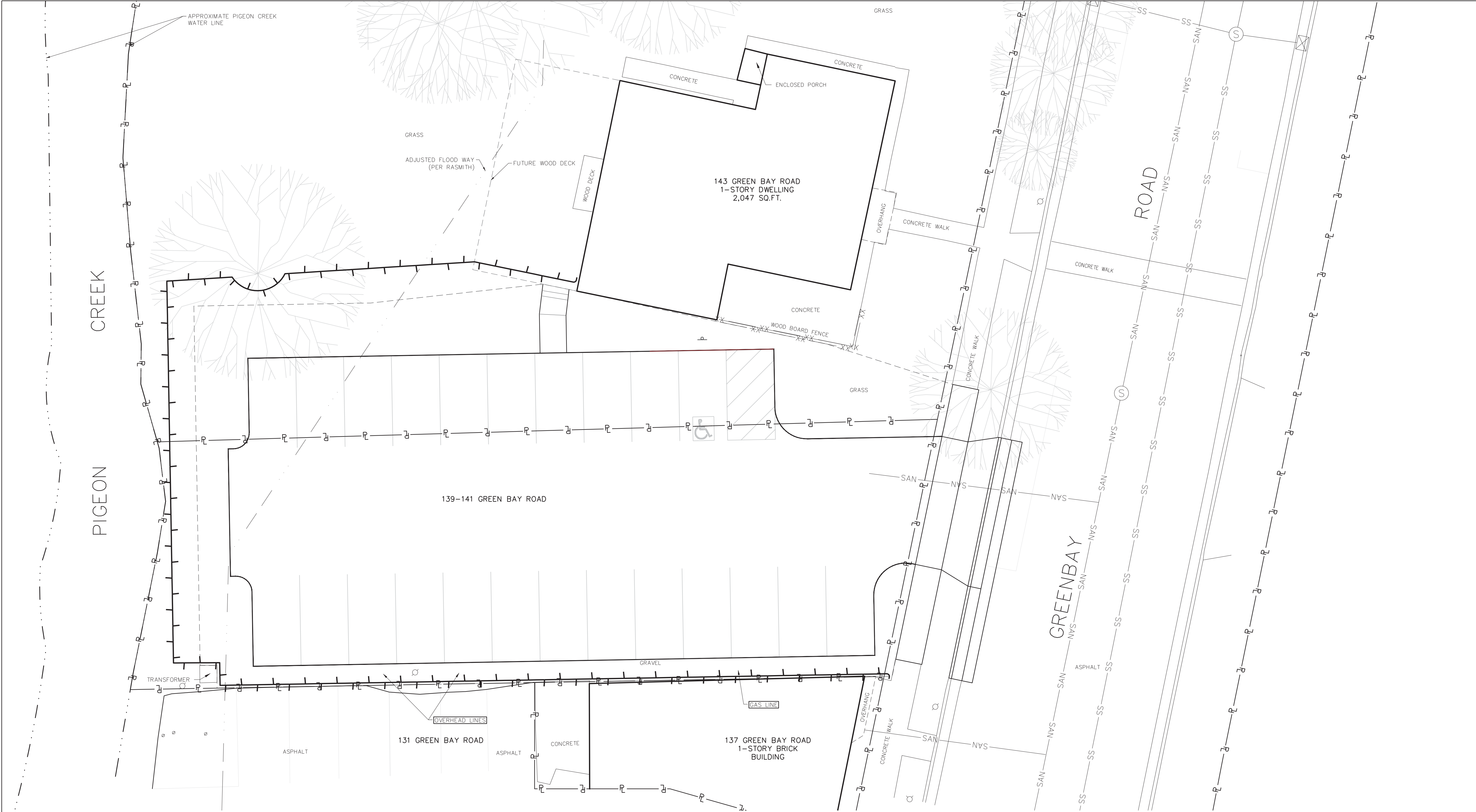
NUMBER	DATE	COMMENTS
--------	------	----------

DRAWING TITLE

**EROSION CONTROL
PLAN**

SHEET NUMBER

H1.3



1 EROSION CONTROL PLAN

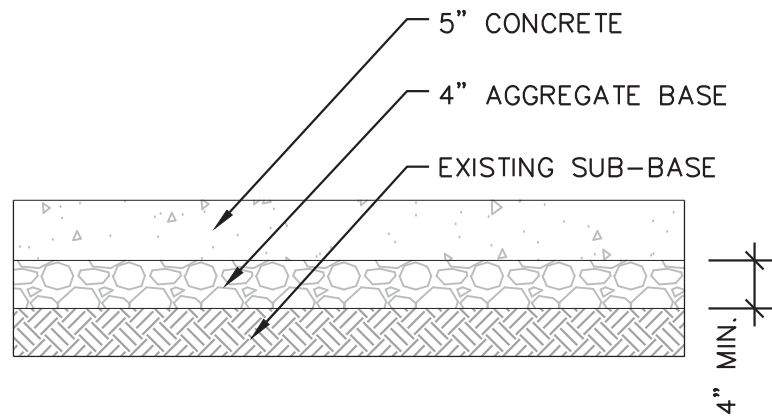
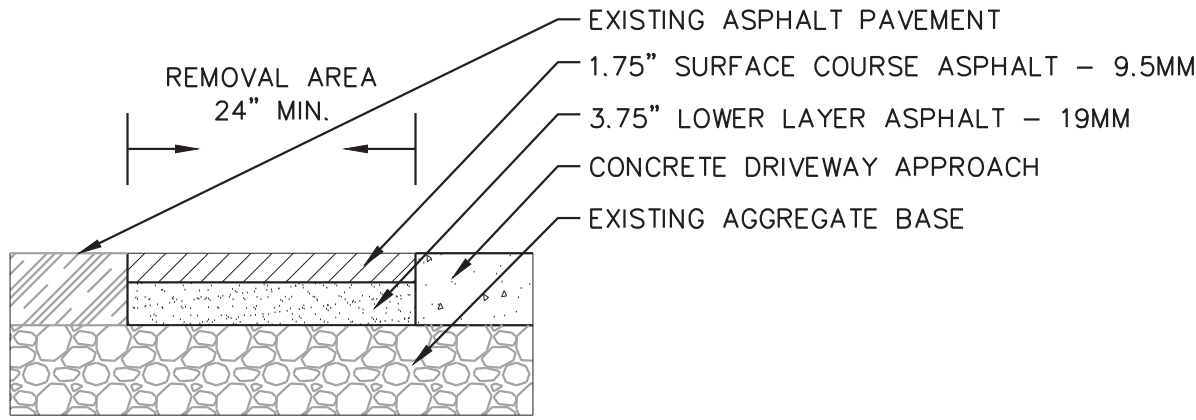
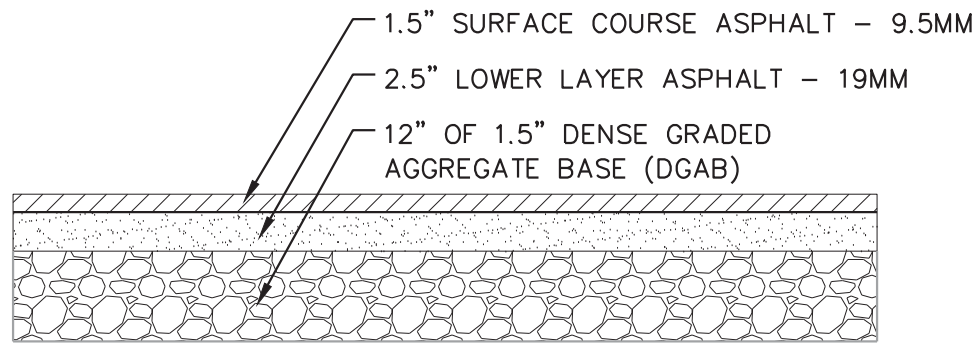
CONSTRUCTION KEY

SILT FENCE

NOTES:

KEY

- AREA BOUNDARY LINE
- BENCH MARK
- CORE
- MAIL BOX
- FLAG POLE
- IRON PIN
- SIGN
- BOLLARD
- LIGHT POLE
- UTILITY POLE
- SANITARY SEWER MH
- STORM SEWER MH/CB
- HYDRANT
- VALVE



- NOTES:
- SAW CUT EXISTING PAVEMENT TO PROVIDE STRAIGHT AND CLEAN MATCH POINT
 - ADD/REMOVE, RE-GRADE, AND COMPACT EXISTING AGGREGATE BASE AS NECESSARY TO ACCOMMODATE PLACEMENT OF NEW ASPHALT.
 - INTENT IS NOT TO HAVE TO PATCH THE STREET. UTILIZING EXISTING EDGE OF PAVEMENT TO POUR NEW CURB AGAINST.

- NOTES:
- PANEL SIZE TO BE NO GREATER THAN 6'-0" x 6'-0"
 - FINISH TO HAVE HAND TOOLED JOINTS AND MEDIUM BROOM FINISH

1 4" ASPHALT RECONSTRUCTION

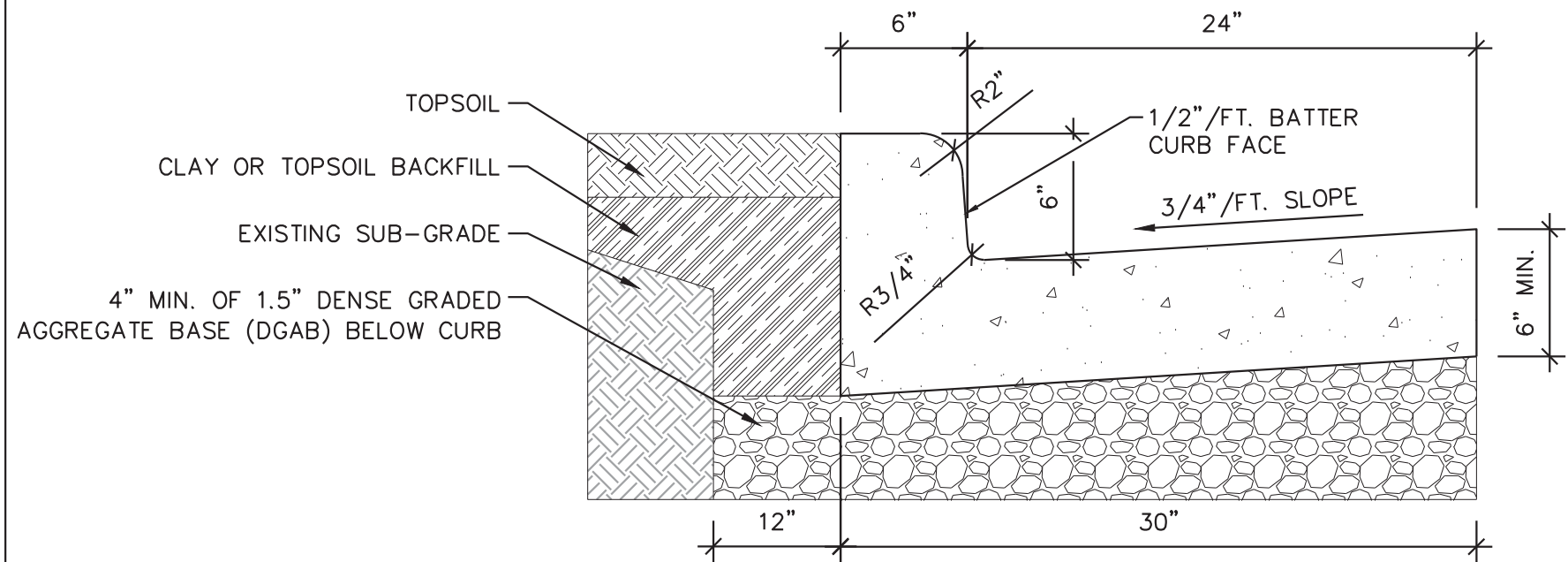
N.T.S

2 5" ASPHALT PATCHING AT STREET

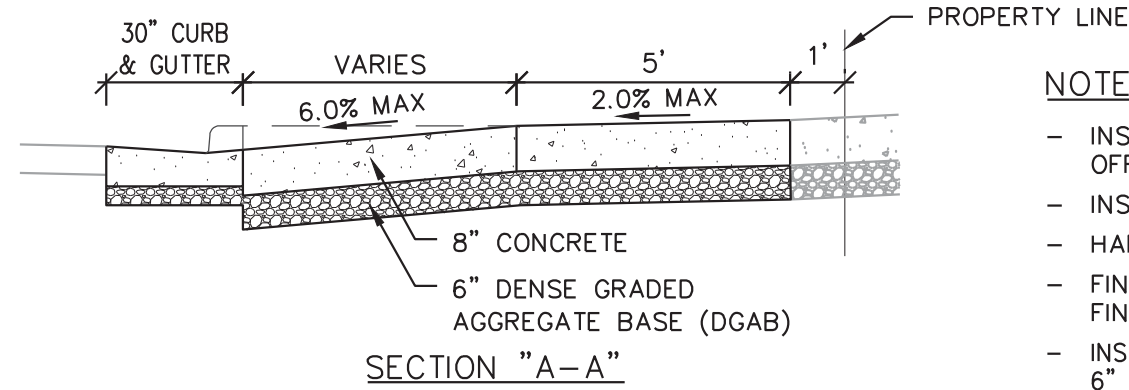
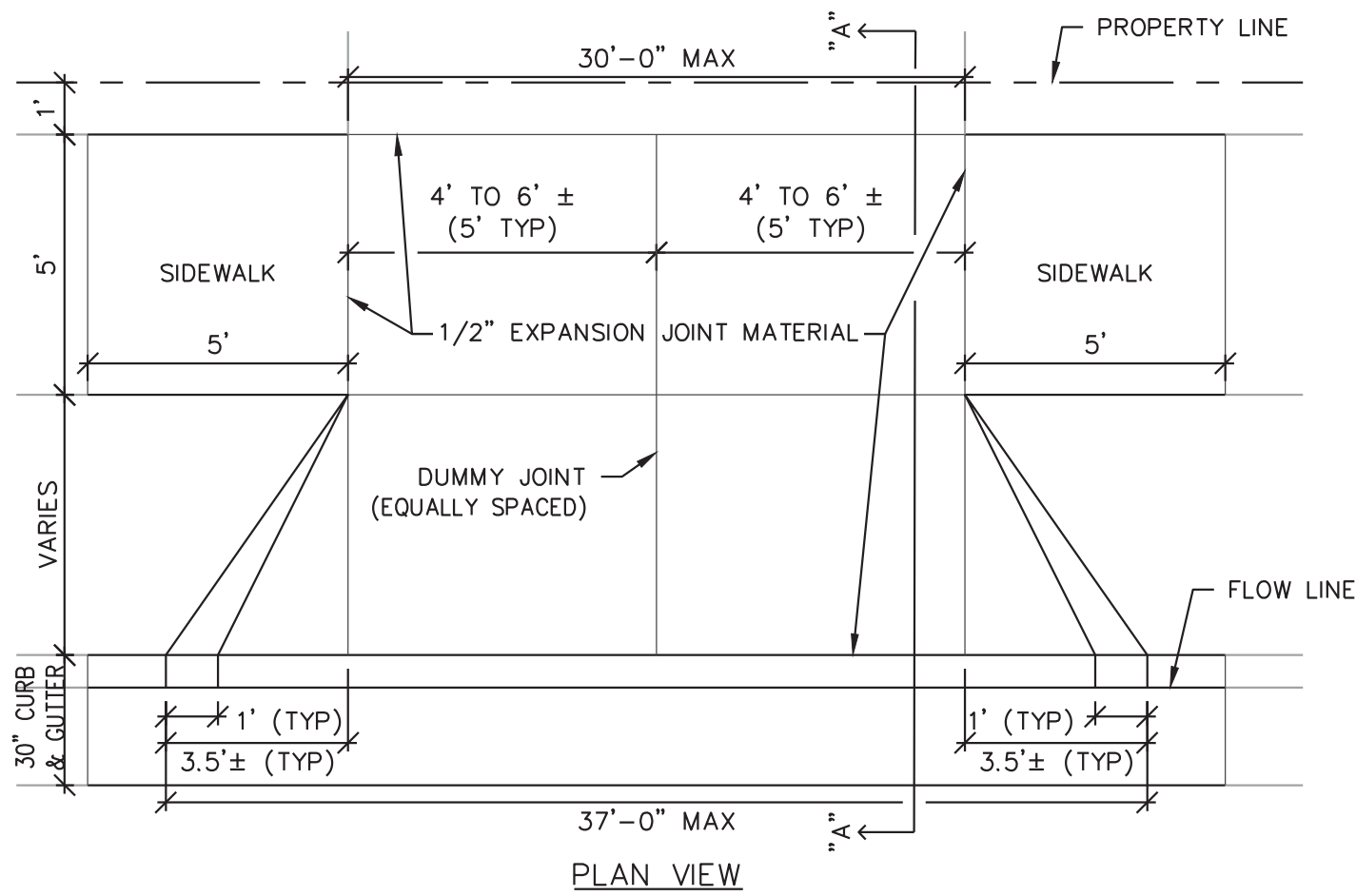
N.T.S

3 5" CONCRETE

N.T.S



- NOTES:
- TIE BARS ARE REQUIRED FOR CURB AND GUTTERS THAT ABUT CONCRETE
 - THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUB-GRADE OR BASE AGGREGATE PROVIDED A 6" MIN. GUTTER THICKNESS IS MAINTAINED
 - INSTALL CONTROL JOINTS 10' MAX. O.C.



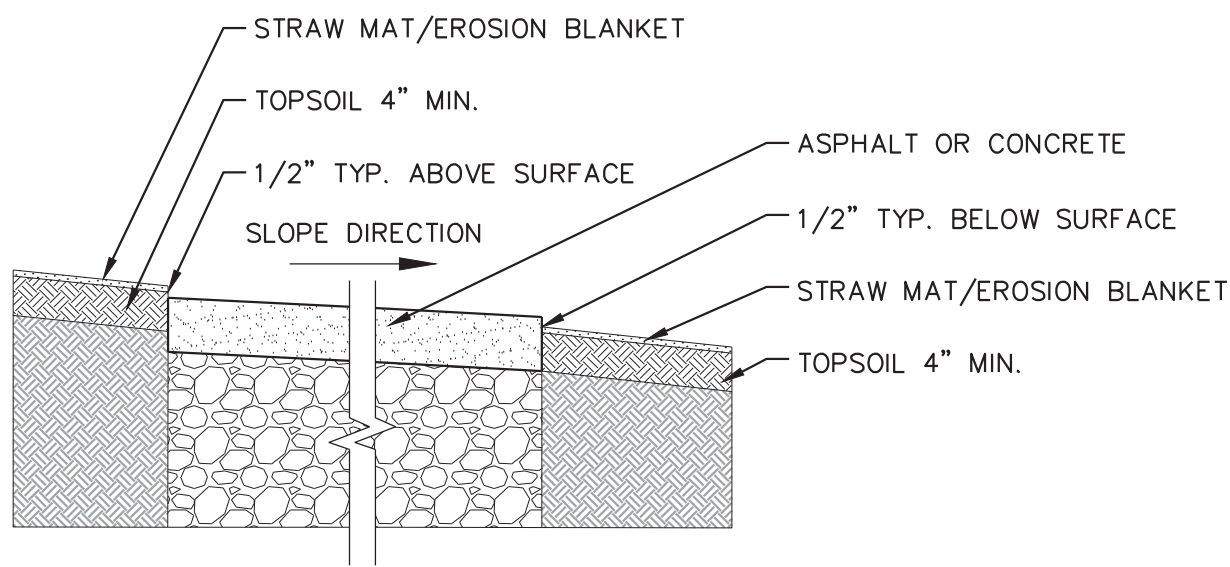
- NOTES:
- INSTALL 1/2" POLYETHYLENE EXPANSION JOINT WITH PEEL OFF TOP FOR SEALANT CAVITY AT EXISTING CONCRETE
 - INSTALL JOINT SEALANT OVER ALL EXPANSION JOINTS
 - HAND TOOL JOINTS AT 6' INTERVALS (MAX)
 - FINISH TO HAVE HAND TOOLED JOINTS AND MEDIUM BROOM FINISH
 - INSTALL #4x12" SMOOTH DOWEL BARS AT MATCH POINTS, INCLUDE 6" EMBEDMENT INTO EXISTING CONCRETE, EPOXY GROUTED
 - CROSS SLOPE OF SIDEWALK NOT TO EXCEED 2% IN ANY DIRECTION PER ADA REGULATIONS

4 30" CURB AND GUTTER (TYPE A/D)

N.T.S

5 COMMERCIAL DRIVEWAY APPROACH

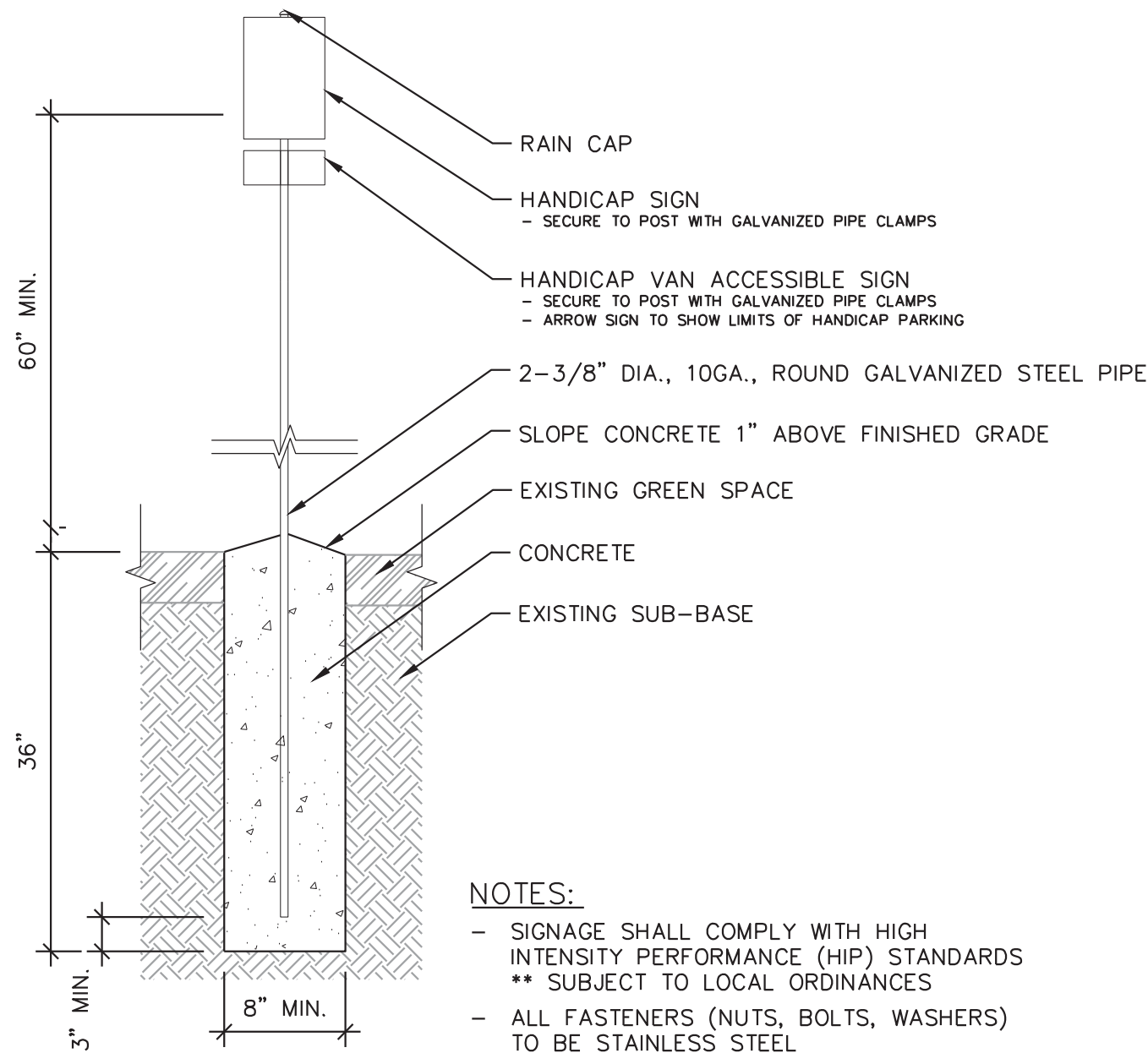
N.T.S



- NOTES:
- PROVIDE FOR 4" MIN. THICKNESS OF TOPSOIL UNLESS BLENDING INTO EXISTING TOPSOIL AND GRASS
 - WHERE POSSIBLE LANDSCAPE RESTORATION TO PROVIDE A MINIMUM 72" "STRAIGHT LINE GRADE" TO PROVIDE OWNER ABILITY TO MOW GRASS WITHOUT SCALPING LAWN.
 - WHERE EXISTING LANDSCAPE IS TOO HIGH, BLOCKING POSSIBLE SURFACE DRAINAGE FROM PAVEMENT, RE-GRADE AND RESTORE TO ALLOW FOR POSITIVE DRAINAGE
 - EROSION BLANKET TO BE "NET FREE" AND SECURED WITH BIODEGRADABLE STAPLES

6 LAWN RESTORATION

N.T.S



- NOTES:
- SIGNAGE SHALL COMPLY WITH HIGH INTENSITY PERFORMANCE (HIP) STANDARDS
 - ** SUBJECT TO LOCAL ORDINANCES
 - ALL FASTENERS (NUTS, BOLTS, WASHERS) TO BE STAINLESS STEEL

7 SIGN POST IN GREENSPACE

N.T.S

STR SEG

SPECIALTY ENGINEERING GROUP LLC
N89w16785 APPLETON AVENUE, SUITE 201
MENOMONEE FALLS, WI 53051
TEL: 262 253 4700 | www.str-seg.com

SCOPE DOCUMENT

Site plan has been generated from non-survey sources, is scaled accordingly, and is provided to aid in orientation and general bidding information. Contractor is responsible to field verify existing conditions and all measurements.

Grading plan is provided to illustrate design intent for bidding purposes. Existing elevations have been provided from GPS network and are limited in accuracy. Contractor shall verify all grades and may make adjustments to ensure positive drainage as part of his responsibility to avoid areas of standing water on finish pavements.

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PROJECT

**Shully's Parking
Lot Redevelopment**
139-143 North Green Bay Road
Thiensville, WI 53092

CLIENT PROJECT NUMBER

•

STR PROJECT NUMBER

14817

DRAWING DATES

NUMBER	DATE	COMMENTS
--------	------	----------

DRAWING TITLE

DETAILS

SHEET NUMBER

H1.4

PLAT OF SURVEY

139-143 N. GREEN BAY RD.

Known as: 139-143 N. Green Bay Rd. Thiensville, WI.

Lot 7 and Lot 9, of Block 3, of Assessor's Plat of the Village of Thiensville, in the Northwest 1/4 of Section 23, Township 9 North, Range 23 East, in the Village of Thiensville, Ozaukee County, Wisconsin.

Starting BM: Witness corner on the West line of the Northwest 1/4 of Section 23-9-21, elevation: 660.139'

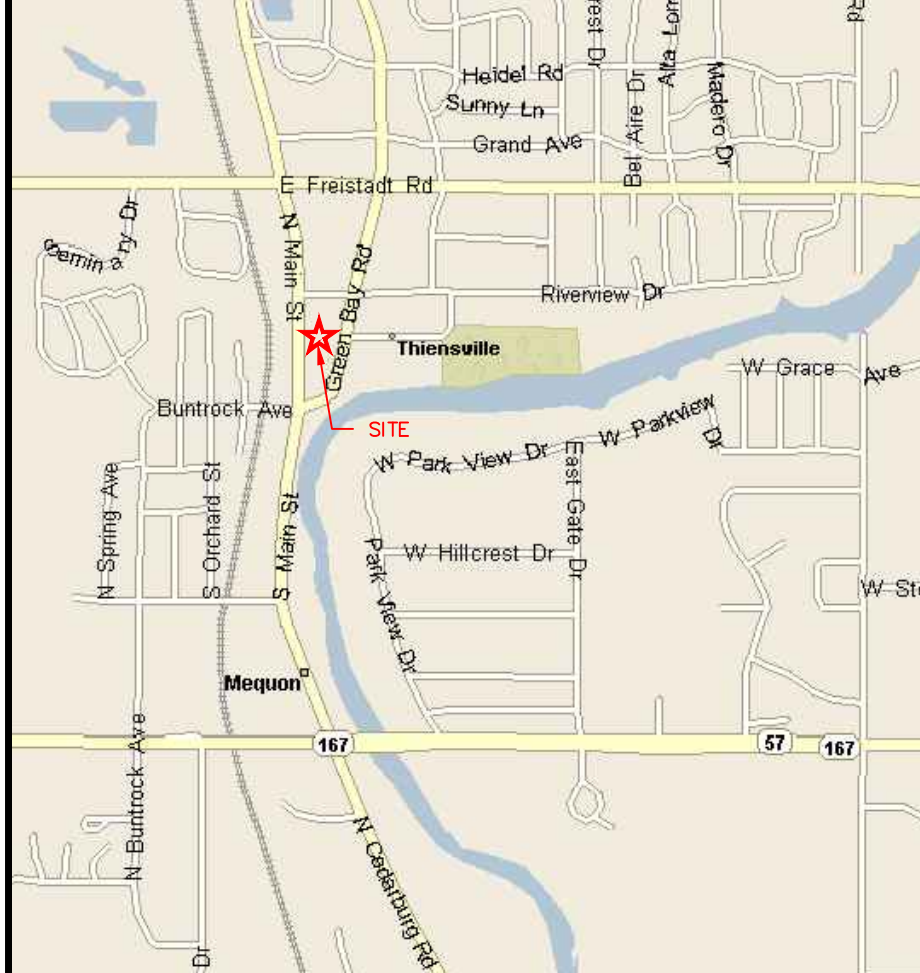
Elevations are based on NGVD29 Datum.

Prepared for: Shully's Parking Lot
Drawing No: 168029-KAC
Date: November 7, 2019

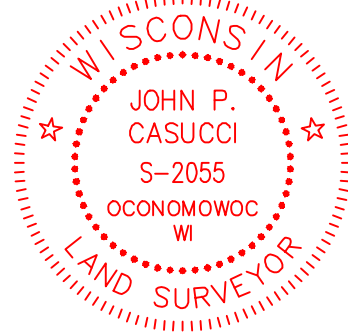
LEGEND

- BOLLARD
- SOIL BORING/MONITORING WELL
- FLAGPOLE
- MAILBOX
- SIGN
- AIR CONDITIONER
- CONTROL BOX
- TRAFFIC SIGNAL
- CABLE PEDESTAL
- POWER POLE
- GUY POLE
- GUY WIRE
- LIGHT POLE
- SPOT/YARD/PEDESTAL LIGHT
- HANDICAPPED PARKING
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- UTILITY VAULT
- GAS VALVE
- GAS METER
- GAS WARNING SIGN
- STORM MANHOLE
- ROUND INLET
- SQUARE INLET
- STORM SEWER END SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT OR SEPTIC VENT
- SANITARY INTERCEPTOR MANHOLE
- MISCELLANEOUS MANHOLE
- IRRIGATION CONTROL BOX
- WATER VALVE
- HYDRANT
- WATER SERVICE CURB STOP
- WATER MANHOLE
- WELL
- WATER SURFACE
- WETLANDS FLAG
- MARSH
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUB
- EDGE OF TREES
- S - SANITARY SEWER
- STO - STORM SEWER
- W - WATERMAIN
- G - MARKED GAS MAIN
- E - MARKED ELECTRIC
- OHW - OVERHEAD WIRES
- B - BUREAU ELEC. SERV.
- T - MARKED TELEPHONE
- TV - MARKED CABLE TV LINE
- FO - MARKED FIBER OPTIC
- INDICATES EXISTING
- CONTOUR ELEVATION
- INDICATES EXISTING
- SPOT ELEVATION

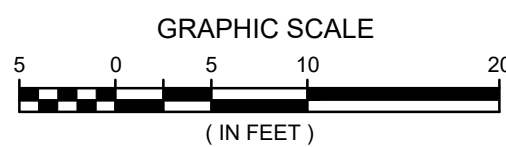
VICINITY MAP - NOT TO SCALE



I CERTIFY, that this survey was prepared under my supervision and is correct to the best of my professional knowledge and belief and complies with Chapter AE-7 of the Wisconsin Administrative Code.



John P. Casucci
JOHN P. CASUCCI
WISCONSIN PROFESSIONAL LAND SURVEYOR S-2055



raSmith
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

SHEET 1 OF 1

S:\S168029\dwg\PS101D10.dwg \ SHULLY'S

AUG 27 2019

BY:

VILLAGE OF THIENSVILLE
HISTORIC PRESERVATION COMMISSION
MINUTES

DATE: Wednesday, September 11, 2019

TIME: 6:00 pm

I. CALL TO ORDER

Chairman Heinritz called the meeting to order at 6:03 PM.

II. ROLL CALL

Chairman: Ron Heinritz

Commissioners: Robert Blazich
Jennifer Abraham
Joseph Miller

Karin Flodstrom - Excused
Thomas Streifender - Excused
Mary Giuliani – Excused

Guest(s): Beth and Scott Shully
Tom Montaine

III. TIME & DATE OF NEXT MEETING

Wednesday, October 9, 2019

IV. APPROVAL OF MINUTES

Approval of the minutes of our August 14, 2019 meeting was moved by Miller and seconded by Blazich. Carried unanimously.

V. BUSINESS

A. The commission approved a Certificate of appropriateness for the demolition of a duplex at 139-141 Green Bay Road. Scott and Beth Shully gave an explanation of the proposed demolition of the duplex and construction of a parking area for their existing building at 143 Green Bay Road. Chairman Heinritz reviewed the pertinent Ordinances for demotion: Chapter 42-59 (b)(3) a. through g. and a historic property evaluation by design associates Brust & Heike 8/28/1984. After review and discussion, the Commission determined that the building had lost all of its historic features and that demolition and new use as a parking area would not be harmful to the historic district. Blazich moved to approve the demolition with a second by Miller. The motion carried unanimously with the following stipulations:

Historic Preservation Commission Minutes
September 11, 2019
Page two of three

1. Scott and Beth Shully own the property at 139-141 Green Bay Road. Certificate of Appropriateness to be valid for a period of 12 months.
2. The new development to be a parking lot. Design plans for the parking lot will be submitted to the Historic Preservation Commission for a Certificate of Appropriateness and approval. All Village requirements for the parking lot must be met.



Village of Thiensville

Plan Commission Application



Property Address: 208 Vernon Av., Thiensville WI 53092

Tax Key # N/A 12-072-01-10-000

Current Zoning RCS

R-2

Property Owner

Name Linda D Speed

Address 208 Vernon Av.

Phone 251-605-5779

Email address N/A

Applicant ☐ Same as owner

Name Carl Scharenbrock

Address P.O. Box 80343 Saukville
WI 53080

Phone 262-483-9520

Email address carlsjigs@hotmail.com

Project description

Please describe your project in detail. Include details about height and dimensions, color, materials used and setbacks from the street and property lines. Provide any information that you believe will assist staff in reviewing and approving your request.

12x12 Cedar framed screen porch built on existing deck tied into main house fascia 1-12 roof pitch, board & batten siding to match existing house, 2 screen doors, 6 screen windows, open framing on inside. 3 added 4x4 post for deck support, CertainTeed Flintastic rolled roofing to match house shingle color.

Applicant's Signature Carl Scharenbrock

Date 5-31-23

A complete application along with the appropriate fees shall be submitted by the deadline stated on the meeting schedule to the Village Clerk In order for an application to be considered complete, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. The applicant is responsible to pay planner charges after a first half hour of planner time. Owner, architect, builder or owner's representative must attend the Plan Commission meeting for action to be taken. Work cannot begin until Plan Commission approval and paid and approved building permit.

Planner Fee Schedule: The Village provides the first half hour of the Village Planner's services. Any additional plan review time is billed at \$50.00/hr

Application Checklist: Two Paper Copies and an electronic copy with files in PDF format (plan size 11X17) must be submitted for all applicable items below for planner review and the Plan Commission packet.

- ☐ Submit scaled site plan with proposed location and setbacks with accurate dimensions indicating the property size, its relationship to surrounding properties, existing topography, key natural features and show the location of all existing and proposed:

A. Structures, showing all entrances	K. Dumpster location and screening
B. Driveways & street access	L. Location, color, message, dimensions and materials of all signs
C. Parking areas	M. Location, size and character of dedicated or private open space
D. Walkways	N. Location of sanitary sewer, storm sewer, water mains and services and storm water detention facilities
E. Existing landscaping	O. Floor plan of building or addition
F. Abutting public and private streets	
G. Public easements	
H. Surrounding land uses and zoning	
I. Retaining walls	
J. Decorative accessories	

- ☐ Storm water management plan.
- ☐ Completed building permit application (including two full size plan sets with state stamp for commercial and multi-family).
- ☐ Grading plan showing existing and finished grades.
- ☐ Professionally prepared landscape plan.
- ☐ Lighting plan; photometric plan, type of fixtures, wattage and location and height of lighting structures.
- ☐ Topographic data or pertinent grade elevations, if necessary, for proper remodeling of existing buildings showing finished exterior treatment.
- ☐ Colored elevations of proposed buildings, structures and fencing, or of proposed remodeling of existing buildings, showing finished exterior treatment and a listing of building materials.

Is property in Thiensville's Historic District? ☐ Yes ☒ No

If yes, you must apply for a Certificate of Appropriateness with the Historic Preservation Commission. Complete the COA application. Attendance at HPC meeting is required

***All Commercial and Multi-Family projects including any change of occupancy, change of use, or construction/alteration must be submitted to the Thiensville Fire Department for review, approval, and inspections.**

=====

VILLAGE STAFF REVIEW

☒ Application Complete. Items needed: _____

Submitted to Village Planner on 6/1/23 Planner Staff Report Completed on _____

Plan Commission Meeting Date 6/13/23

☐ Historic Preservation Approval (if needed) on N/A

ADDITIONAL REMARKS/CONDITIONS:

Village Staff

Title

Date



Village of Thiensville

250 Elm Street
Thiensville, WI 53092-1602

Phone (262) 242-3720
Fax (262) 242-4743

May 24, 2023

Linda Speed
208 Vernon Avenue
Thiensville, WI 53092

Dear Ms. Speed:

During a drive-by inspection of Village properties, staff noticed improvements underway on your property that appear to be occurring without a building permit. The addition to the southeast side of the house also must receive prior approval from the Plan Commission prior to issuance of a building permit.

I have attached a Plan Commission application and a building permit application. Please complete both of those within seven days and return them to Village Hall with all related materials requested in the application. If it is received in that time frame, your application will be considered at the Tuesday, June 6 Plan Commission meeting. That meeting begins at 6 p.m. at Village Hall. Either the homeowner or contractor must be present to discuss the project.

Also, be advised that projects requiring a building permit that occur prior to obtaining a permit are subject to double fees.

Sincerely,

Andy LaFond
Director of Community Services/Public Works

cc Paul Mortimer, Building Inspector
Property File



Village of Thiensville

208 Vernon Avenue

DISCLAIMER: The Village of Thiensville does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



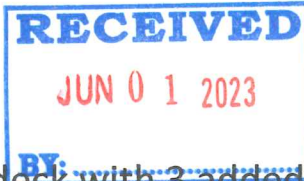
SCALE: 1 = 32'



Village of Thiensville

250 Elm Street
Thiensville, WI 53092
262-242-3720

Print Date: 6/1/2023



12x12 screened in porch built on existing treated deck with 3 added 4x4 pt post in the ground 36 inches on top concrete footings.

Cedar 2x4 framing open on the inside, exposed framing.

2x6 roof joists 16 inches oc with hurricane clips and tied into existing overhang with 4 inch lag bolts and 2x8 double header for roof joist support.

Board and batten siding to match existing home siding, painted same color.

6- 36x48 screened openings and 2- screened doors

Roof system ties into existing shingle roof, 24 inches up roof. Roof material is Certaineed Flintastic rolled roofing, color matches existing shingle color

Please see pictures.

57

yellow highlight = grass areas

X = front entrance

~~X~~ = back entrance

□ = screen door

● = septic

Garage 24x24

Driveway

RECEIVED

JUN 01 2023

BY:

Paver
patio

Treated deck with
screened porch
12x12

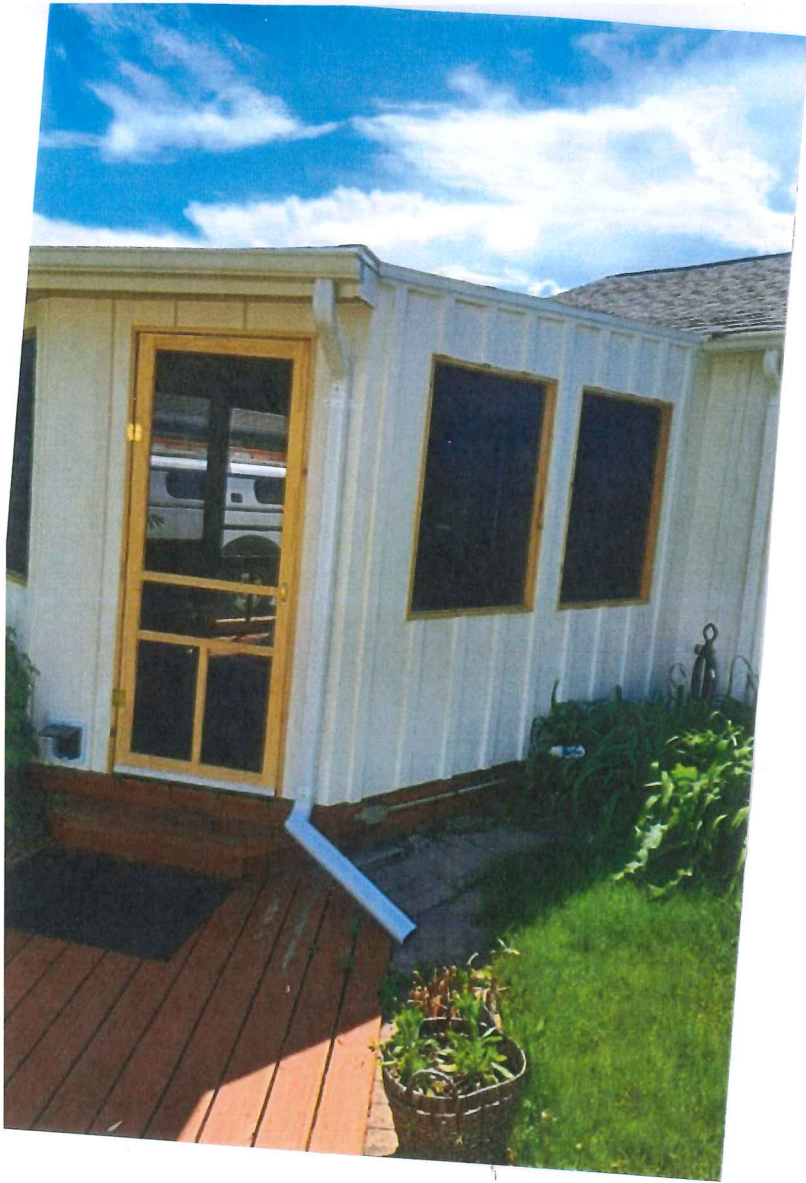
House 30x25

← 14' →

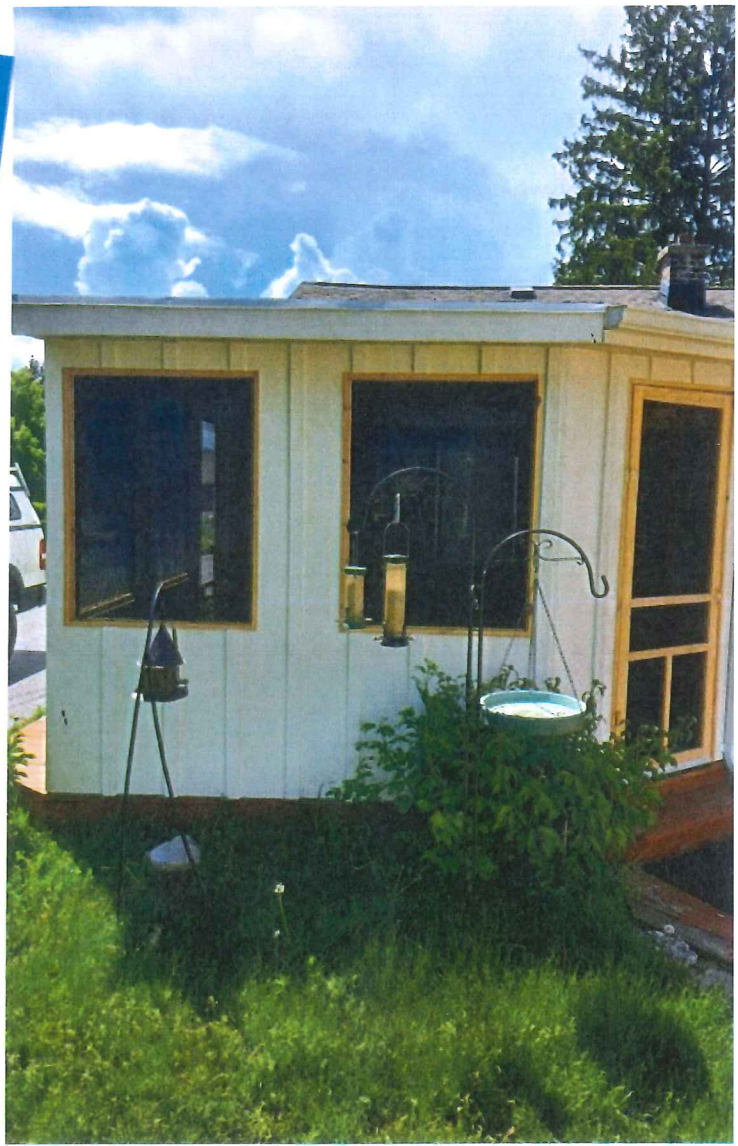
↑ 8' ↓

← 18' →

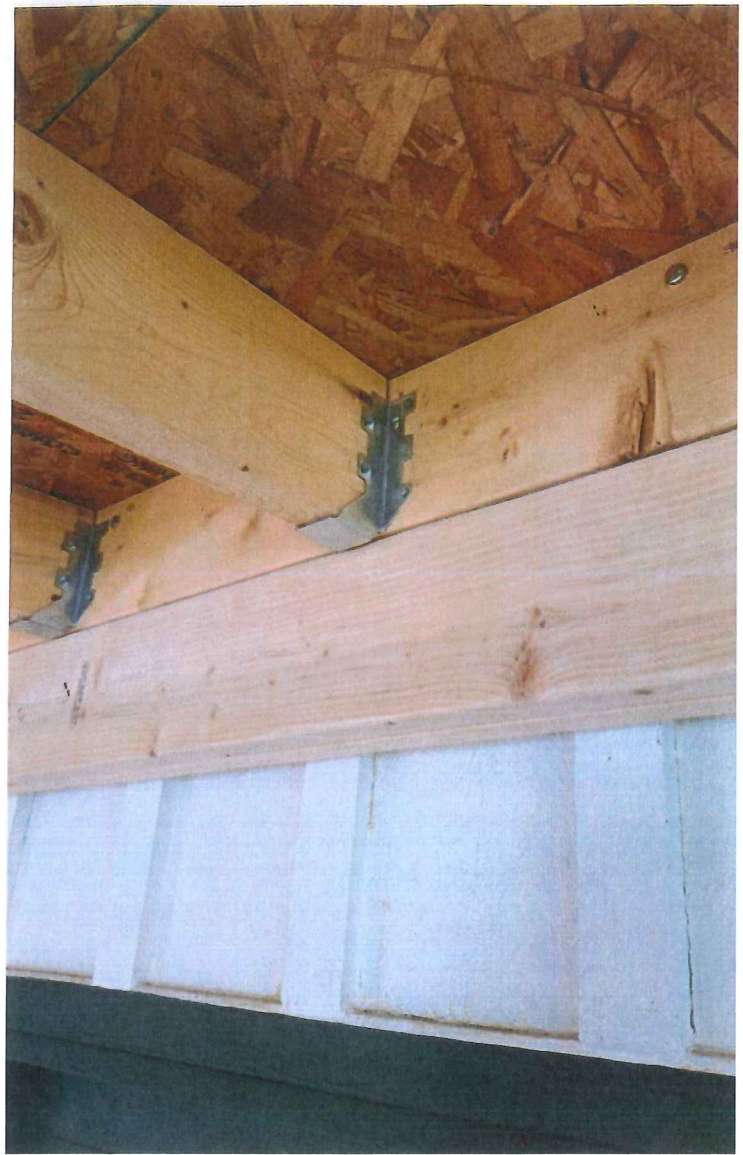
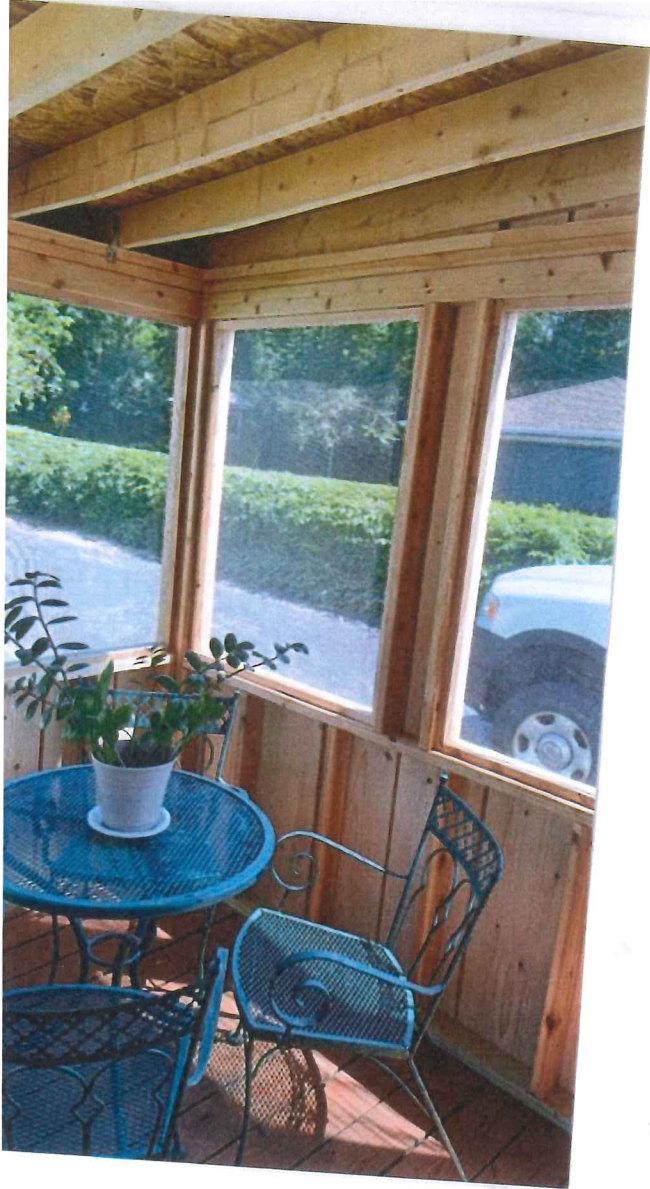
Vernon St.



RECEIVED
JUN 01 2023
BY:









All new services and upgrades shall be done underground per Ordinance 1995-07

262-346-4577 SAFEbuilt.		WI UNIFORM PERMIT APPLICATION hartfordinspections@safebuilt.com <i>Inspections need to be called in by 4 pm for next business day inspections.</i>				PERMIT NO. TAXKEY#	
ISSUING MUNICIPALITY		☐ TOWN ☒ VILLAGE ☐ CITY OF <u>Thiensville</u> COUNTY: <u>Braklee</u>		PROJECT LOCATION (Building Address) <u>208 Vernon Av.</u>		PROJECT DESCRIPTION <u>Screened Porch</u> ☐ COMMERCIAL ☒ ONE & TWO FAMILY	
Owner's Name <u>Linda D Speed</u>		Mailing Address - Include City & Zip <u>208 Vernon Av Thiensville 53092</u>				Telephone - Include Area Code <u>251-605-5779</u>	
Construction Contractor (DC Lic No.) <u>CS Construction</u>		Mailing Address - Include City & Zip <u>P.O. Box 80343 Saukville WI 53080</u>				Telephone - Include Area Code <u>262-483-9520</u>	
Dwelling Contractor Qualifier (DCQ Lic No.) <u>DO 081600050</u>		Dwelling Contractor Qualifier shall be an owner, CEO, COB, or employee of Dwelling Contractor				Telephone - Include Area Code <u>262-483-9520</u>	
Plumbing Contractor (Lic No.)		Mailing Address - Include City & Zip				Telephone - Include Area Code	
Electrical Contractor (Lic No.)		Mailing Address - Include City & Zip				Telephone - Include Area Code	
HVAC Contractor (Lic No.)		Mailing Address - Include City & Zip				Telephone - Include Area Code	
PROJECT INFORMATION			Subdivision Name <u>Riverview</u>			Lot No. <u>10</u>	
Zoning District			Lot Area <u>12,000</u> Sq. Ft.			Block No. <u>1</u>	
N.S.E.W. <u>Setbacks</u>			Front Ft.			Rear Ft.	
1a. PROJECT ☐ New ☒ Addition ☐ Raze ☐ Alteration ☐ Repair ☐ Move ☐ Other <u>Screen Porch</u>		3. TYPE ☒ Single Family ☐ Two Family ☐ Multi ☐ Commercial		6. STORIES ☒ 1-Story ☐ 2-Story ☐ Other		9. HVAC EQUIPMENT ☐ Forced Air Furnace ☐ Radiant Baseboard or Panel ☐ Heat Pump ☐ Boiler ☐ Central Air Conditioning ☐ Other	
1b. GARAGE ☐ Attached ☐ Detached		4. CONST. TYPE ☐ Site Constructed ☐ Mfd. UDC ☐ Mfd. HUD		7. FOUNDATION ☐ Concrete ☐ Masonry ☐ Treated Wood ☐ ICF ☐ Other		10. PLUMBING ☐ Sewer ☐ Municipal ☐ Septic No.	
2. AREA Basement _____ Sq. Ft. Living Area _____ Sq. Ft. Garage _____ Sq. Ft. Other _____ Sq. Ft. TOTAL _____		5. ELECTRICAL Entrance Panel Size: _____ amp Service: ☐ New ☐ Rewire _____ Phase _____ Volts ☐ Underground ☐ Overhead Power Company:		8. USE ☐ Seasonal ☐ Permanent ☐ Other		11. WATER ☐ Municipal Utility ☐ Private On-Site Well	
I understand that I: am subject to all applicable codes, laws, statutes and ordinances, including those described on the Notice to Permit Applicants form; am subject to any conditions of this permit; understand that the issuance of this permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If one acre or more of soil will be disturbed, I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and the owner shall sign the statement on the Notice to Permit Applicants form. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.						* ☐ Dwelling unit will have 3 kilowatt or more installed electric space heater equipment capacity.	
☐ I vouch that I am or will be an owner-occupant of this dwelling for which I am applying for an erosion control or construction permit without a Dwelling Contractor Certification and have read the cautionary statement regarding contractor responsibility on the Notice to Permit Applicants form.						13. HEAT LOSS (Calculated) Total _____ BTU/HR	
APPLICANT (PRINT): <u>Carl Scharenbrock</u> SIGN: <u>[Signature]</u> DATE: <u>5-31-23</u>						14. ESTIMATED COST \$ <u>6000 00</u>	
APPROVAL CONDITIONS This permit is issued pursuant to the attached conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. Owner/Builder solely responsible for compliance with all applicable State & Local Building and Zoning codes.							
INSPECTIONS NEEDED Building ☐ Footing ☐ Foundation ☐ Rough ☐ Insulation ☐ Bsmt. Fl. ☒ Final Electric ☐ Rough ☐ Service ☐ Final Plumbing ☐ Rough ☐ Underfloor ☐ Final HVAC ☐ Rough ☐ Final							
FEES:		PERMIT(S) ISSUED		SEAL NO. _____ Municipality No. _____		RECEIPT	
Building Fee _____ Zoning Fee _____ WI Seal _____ Electric Fee _____ Plumbing Fee _____ HVAC Fee _____ Adm. Fee _____ Other _____ Total _____		Bldg. # At top of form _____ Zoning # _____ Elec. # _____ Plmb. # _____ HVAC # _____		CK # _____ Amount \$ _____ Date _____ From _____ Rec By. _____		PERMIT EXPIRATION: Permit expires two years from date issued unless municipal ordinance is more restrictive.	
PERMIT ISSUED BY MUNICIPAL AGENT:						Name _____ Date _____ Certification No. _____	

LINDA SPEED PORCH ADDITION

To: The Thiensville Plan Commission

Prepared by: Jonathan Censky, Village Planner

Date: June 13, 2023

Item

General Information

Applicant:	Linda Speed
Status of Applicant:	Property Owner
Requested Action:	Porch Addition Approval
Zoning	R-2 Single Family Residential District
Proposed Zoning:	No Change
Location:	208 Vernon Avenue
Land Use Plan Designation:	Single Family Residential
Existing Land Use:	Single Family Residential

Proposal:

The applicant has recently built a screen porch over her existing concrete patio unaware of the permitting requirement. When contacted by Village staff about the oversight, she immediately filed an application with her plans requesting your after the fact approval.

The porch is located off the southeast corner of the house, between the house and garage and measure 12' X 12' in size. The porch is sided with board and batten wood material to match the material of the house and is painted the same. The roof is cover with Certaineed Flintastic rolled roofing of a color to match the existing shingled roof material.

Planners Comments:

This porch addition is designed to complement the look of the home in terms of color and siding material, and the roof color matched the color of the shingles. The applicant will be at Tuesday's meeting to discuss her project.

- The applicant secure a building permit.

Thiensville Plan Commission Staff Report -June 2023

Staff Approved Projects May 2023

Date	Address	Applicant	Project	Staff Approval	ZBOA	Approved	Denied
4/24/2023	301 Crescent Lane	Michael Smith	Fence	4/26/2023		XX	
5/11/2023	317 West Street	Brian Kendzor	Deck	6/1/2023		xx	
5/15/2023	300 Vernon Avenue	Bradley & Jennifer Condon	Fence	6/1/2023		xx	
5/25/2023	506 E. Freistadt Road	Tony & Jackie Burkart	Fence	6/1/2023		xx	

Code Compliance May 2023

Community Services

Address	Owner	Complaint	Action
423 N. Main Street	Schramka Funeral Home	Excessive parking lot lighting	Letter requesting lighting plan within 15 days
208 Vernon Avenue	Linda Speed	Addition without building permit	Letter advising need for Plan Commission review and permit
304 Bel Aire Drive	Elizabeth Agnello	Garbage out early	Letter and handout with garbage collection policy
136 Grand Avenue	Stacey Brunner-Jones	Deck without building permit	Letter advising need for staff approval and building permit

Police Department May 2023

Date	Location	Complaint	Action
5/9/2023	300 Woodside Lane	Camper trailer complaint	Unfounded